

14 DAY OPPORTUNITY TO COMMENT



www.multco.us/landuse ▪ Email: land.use.planning@multco.us ▪ Phone: (503) 988-3043

Application for Decision by the Planning Director, Geologic Hazards (GH), Significant Environmental Concern for Streams (SEC-s), Significant Environmental Concern for Wildlife Habitat (SEC-h)

CASE FILE: T2-2024-0040

APPLICANT: Karina Adams

LOCATION: 13719 NW Germantown Road, Portland

Property ID # R725736

Map, Tax lot: 1N1W09B -00303

Alt. Acct. # R649960830

BASE ZONE: Rural Residential (RR)

OVERLAYS: Geologic Hazards (GH)
Significant Environmental Concern for Streams (SEC-s)
Significant Environmental Concern for Wildlife Habitat (SEC-h)

PROPOSAL: Request for a Decision by the Planning Director to implement Clear and Object Standards for housing pursuant to ORS 197 and 215 and Geologic Hazards (GH), Significant Environmental Concern for Streams (SEC-s), Significant Environmental Concern for Wildlife Habitat (SEC-h) permits for a new single-family dwelling, accessory building, accessory structures (pool, septic system, drainfield, stormwater drainage control system, private driveway, etc.), and associated ground disturbance.

- ❖ **COMMENT PERIOD:** Neighbors are invited to submit written comments for the proposal described above. Comments should be directed toward the approval criteria listed below. Any neighbor that submits comments will receive the County’s complete decision. Written comments will be accepted at LUP-comments@multco.us if received by **4:00 pm on Monday, November 18, 2024**. If you do not wish to submit comments, no response is necessary.

Further information regarding this application is available by contacting LUP-comments@multco.us. Paper copies of these materials may be purchased for \$0.46/per page.

- ❖ **APPLICABLE APPROVAL CRITERIA** [Multnomah County Code (MCC)]:

General Provisions: MCC 39.1250 Code Compliance and Applications, MCC 39.2000 Definitions

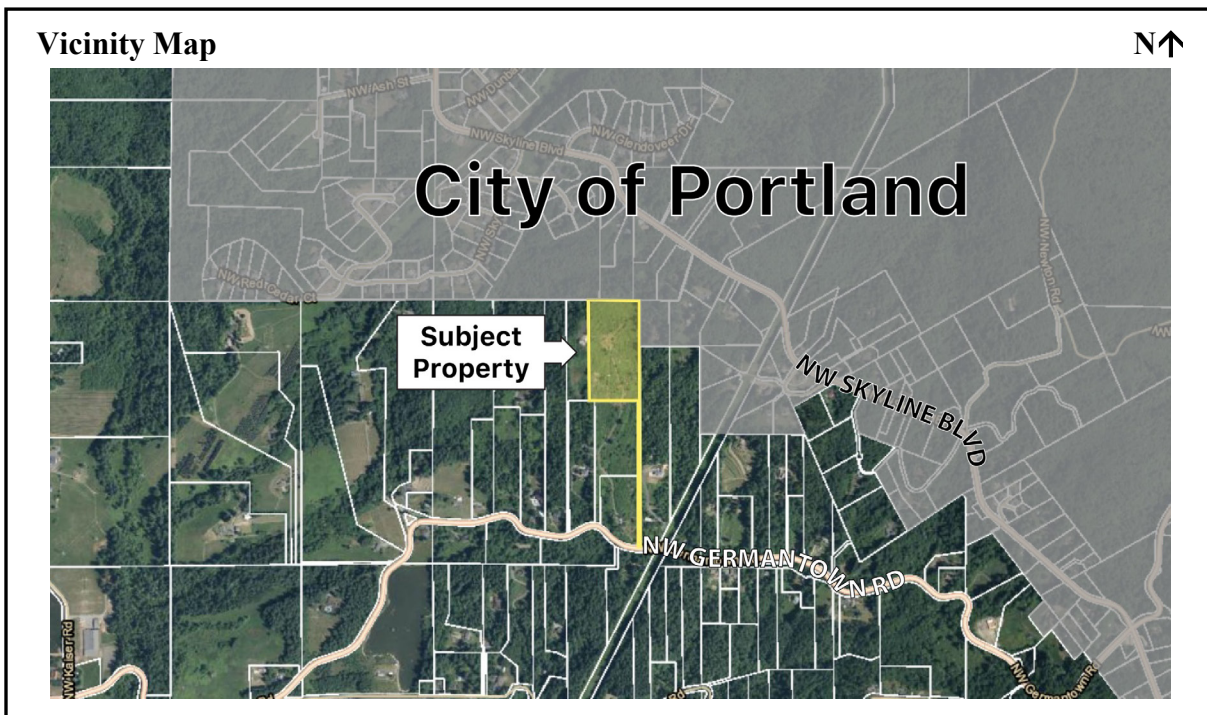
Lot of Record: MCC 39.3005 Lot of Record - Generally, MCC 39.3090 Lot of Record - Rural Residential (RR)

Rural Residential (RR): MCC 39.4360(A) Allowed Uses - Residential use consisting of a single family dwelling on a Lot of Record..., MCC 39.4360(F) Allowed Uses – Accessory Structures..., MCC 39.4375(C), (D), and (F)-(H) Dimensional Standards and Development Standards

Geologic Hazards (GH): MCC 39.5085 Geologic Hazards Permit Application Information Required, MCC 39.5090 Geologic Hazards Permit Standards

Significant Environmental Concern Overlays (SEC): MCC 39.5510 Uses; Sec Permit Required, MCC 39.5580 Nuisance Plant List, MCC 39.5750 Criteria for Approval of SEC-s Permit - Streams, MCC 39.5860 Criteria for Approval of SEC-h Permit - Wildlife Habitat

Copies of the referenced Multnomah County Code sections can be obtained by visiting our website at <https://multco.us/landuse/zoning-codes/> under the link **Chapter 39 – Zoning Code** or by contacting our office at (503) 988-3043.



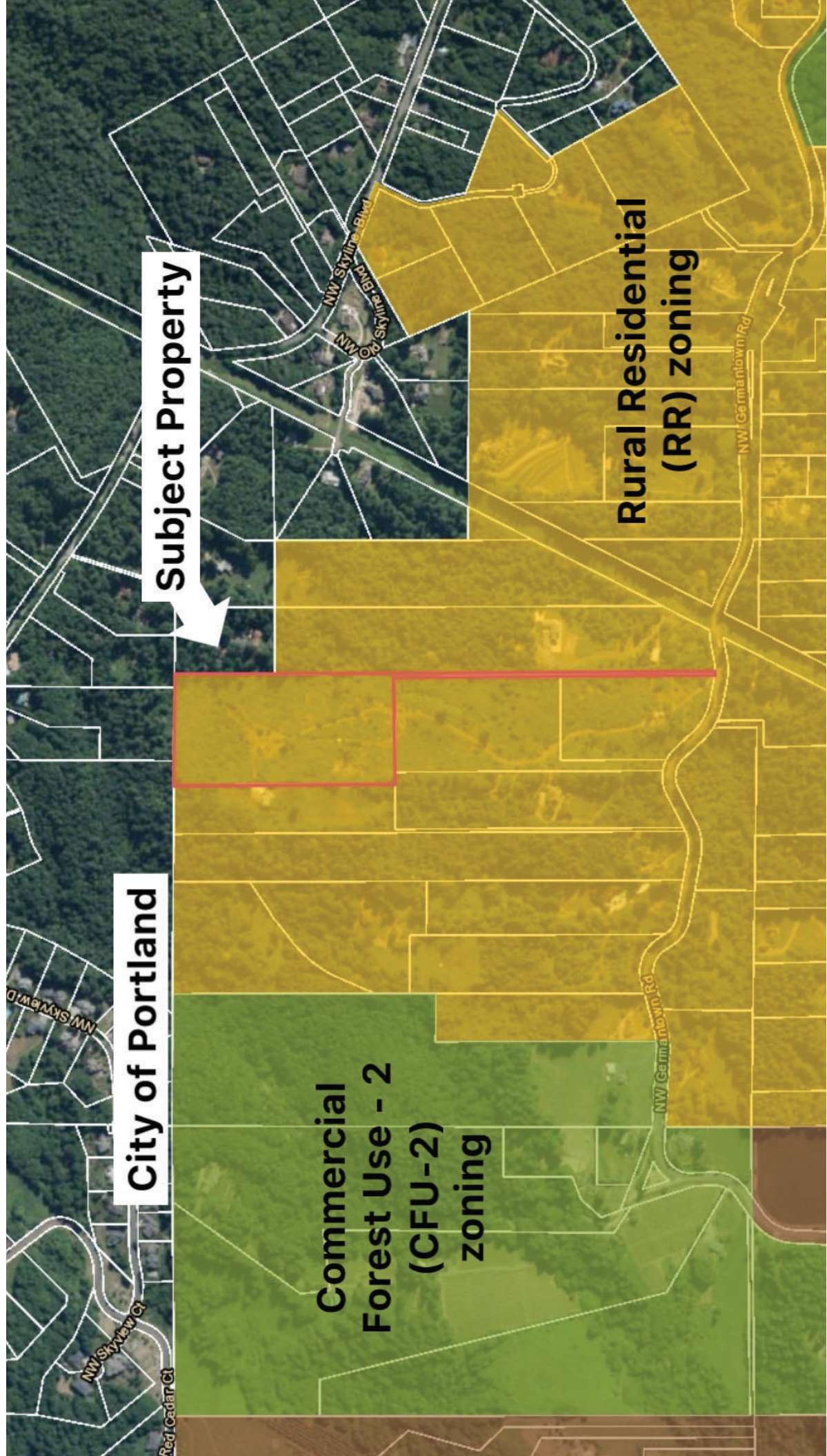
- ❖ **DECISION MAKING PROCESS:** The Planning Director will render a decision on this application after the comment period expires. Notice of the Director's decision will be mailed to the applicant, parties within 750 feet of the subject property, and any other persons who submitted written comments during the comment period. The Planning Director's decision can be appealed. An explanation of the requirements for filing an appeal will be included in the notice of decision.

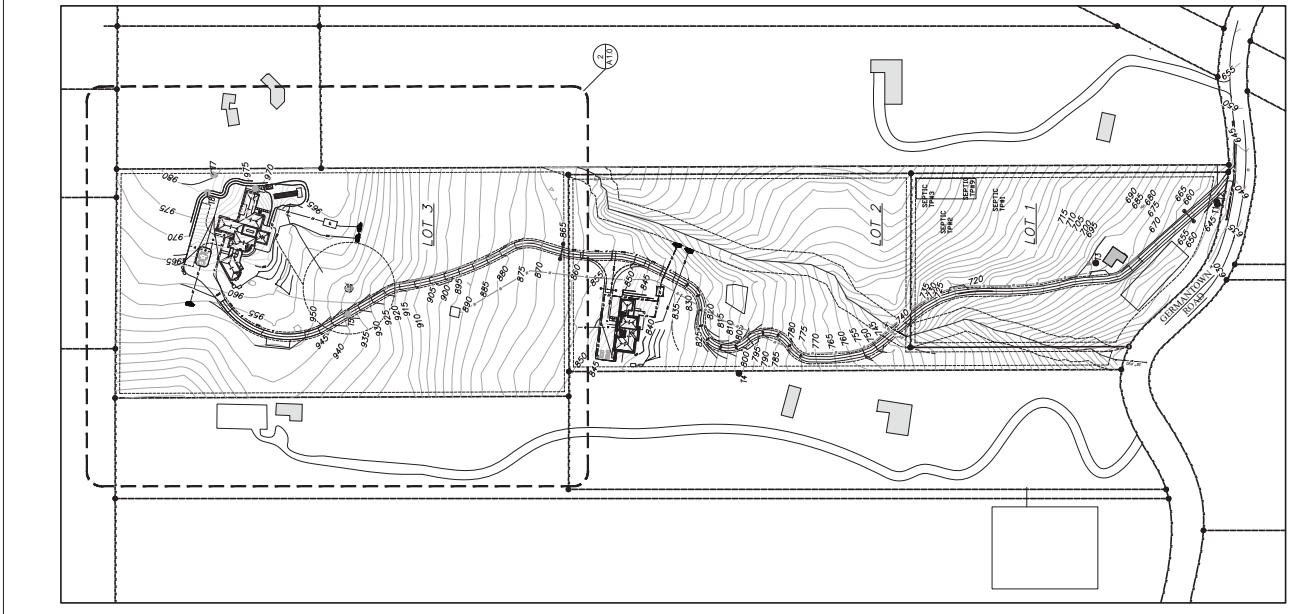
- ❖ **IMPORTANT NOTE:** Failure to raise an issue before the close of the public record in sufficient detail to afford the County and all parties an opportunity to respond may preclude appeal on that issue to the Land Use Board of Appeals.

- ❖ **ENCLOSURES:**
 - Zoning Map
 - Site Plan
 - Floor Plan
 - Building Elevation

Notice to Mortgagee, Lien Holder, Vendor, or Seller:
ORS chapter 215 requires that if you receive this notice, it must promptly be forwarded to the purchaser.

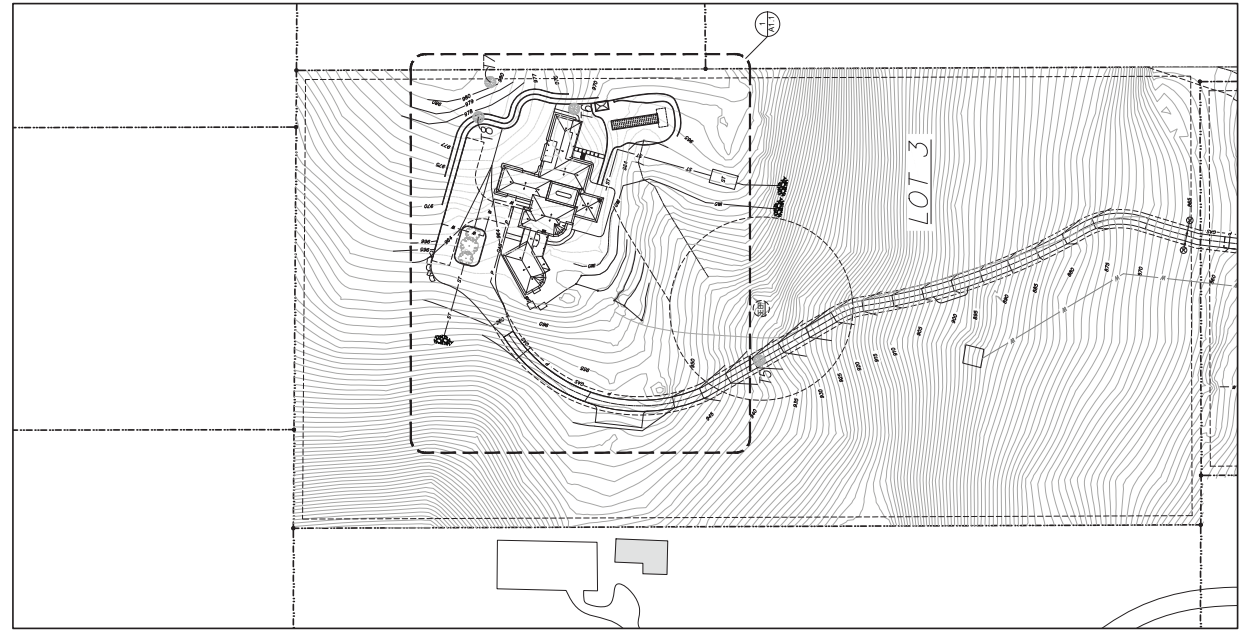
Map showing zoning of the subject property and surrounding area



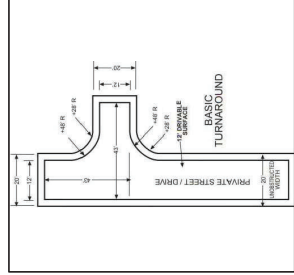


1 DRIVEWAY SITE PLAN
SCALE: 1/162" = 1'-0"
NORTH

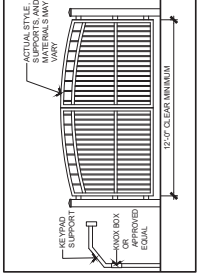
2 LOT 3 SITE PLAN
SCALE: 1/164" = 1'-0"
NORTH



3 GATE DETAIL
SCALE: 1/14" = 1'-0"



4 FIRETRUCK TURNAROUND
SCALE: 1/14" = 1'-0"



THESE SITE DRAWINGS ARE FOR PERMITTING USE ONLY. FOR THESE DRAWINGS TO BE USED FOR CONSTRUCTION, THE CLIENT MUST OBTAIN ALL NECESSARY PERMITS FROM THE CITY OF PORTLAND, OREGON, AND THE PORTLAND PLANNING AND DEVELOPMENT DEPARTMENT. THESE DRAWINGS ARE THE PROPERTY OF KARINA E. ADAMS ARCHITECT AND SHALL REMAIN THE PROPERTY OF KARINA E. ADAMS ARCHITECT. NO PART OF THESE DRAWINGS SHALL BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN PERMISSION OF KARINA E. ADAMS ARCHITECT. THESE DRAWINGS ARE NOT TO BE USED FOR ANY OTHER PROJECT WITHOUT THE WRITTEN PERMISSION OF KARINA E. ADAMS ARCHITECT.

GENERAL NOTES:

- CONTRACTOR TO NOTE THAT THIS PROPERTY FALLS WITHIN A DESIGNATED FIRE PROTECTION ZONE (DPZ) CONSERVATION ZONE AND ALL APPLICABLE ZONING CODES ARE TO BE FOLLOWED.
- ALL EXISTING UTILITIES SHALL BE MAINTAINED TO REMAIN IN PLACE AND NOT TO BE MOVED OR DELETED UNLESS OTHERWISE NOTED.
- ALL EXISTING LIGHTING SHALL REMAIN IN PLACE UNLESS OTHERWISE NOTED. NEW LIGHTING SHALL BE INSTALLED AS SHOWN ON THESE DRAWINGS.
- CONTRACTOR TO CONTINUALLY MONITOR AND RECORD DIMENSIONS/HEIGHTS THROUGHOUT THE PROJECT TO PROVIDE IRREGULAR TOLERANCES IN PROJECT SO THAT TREES THAT ARE REQUIRED TO BE REMOVED OUTSIDE THE PROPERTY LINE CAN BE PROTECTED THROUGHOUT CONSTRUCTION.
- SOIL DISTRIBUTION ACTIVITIES WITHIN THE STREAM CHANNEL AND BANKS SHALL BE MONITORED AND REPORTED TO THE PORTLAND PLANNING AND DEVELOPMENT DEPARTMENT. ALL ACTIVITIES MUST BE APPROVED PRIOR TO CONSTRUCTION.
- ANY CLEARANCE OF TREES TO ALLOW INSTALLATION OF LOGGING DECKS MUST OCCUR DURING FAVORABLE WEATHER CONDITIONS.
- ALL NEW UTILITY LINES, INCLUDING BUT NOT LIMITED TO ELECTRICAL, POWER, COMMUNICATION, CABLE TELEVISION, GAS, AND SEWER, SHALL BE INSTALLED IN ACCORDANCE WITH THE PORTLAND PLANNING AND DEVELOPMENT DEPARTMENT. ALL UTILITIES SHALL BE INSTALLED IN ACCORDANCE WITH THE PORTLAND PLANNING AND DEVELOPMENT DEPARTMENT. ALL UTILITIES SHALL BE INSTALLED IN ACCORDANCE WITH THE PORTLAND PLANNING AND DEVELOPMENT DEPARTMENT.
- AN IN-PLACE RESIDENTIAL FIRE SPRINKLER AND METAL ROOF SHALL BE MAINTAINED IN PLACE UNLESS OTHERWISE NOTED.
- ELECTRIC CABLES SHALL BE COVERED WITH A BENEFICIAL OPERATOR BY FIRE DEPARTMENT PERSONNEL. ELECTRIC CABLES SHALL BE COVERED WITH A BENEFICIAL OPERATOR BY FIRE DEPARTMENT PERSONNEL. ELECTRIC CABLES SHALL BE COVERED WITH A BENEFICIAL OPERATOR BY FIRE DEPARTMENT PERSONNEL.
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- UPDATED DRAWINGS SHALL BE IN THE HANDS OF AN ENGINEER OR ARCHITECT WITHIN 12 MONTHS OF THE DATE OF THE DRAWINGS. ALL DRAWINGS SHALL BE IN THE HANDS OF AN ENGINEER OR ARCHITECT WITHIN 12 MONTHS OF THE DATE OF THE DRAWINGS. ALL DRAWINGS SHALL BE IN THE HANDS OF AN ENGINEER OR ARCHITECT WITHIN 12 MONTHS OF THE DATE OF THE DRAWINGS.

KEYNOTES:

- EXISTING UTILITIES SHALL BE MAINTAINED IN PLACE UNLESS OTHERWISE NOTED.
- ALL UTILITIES SHALL BE INSTALLED IN ACCORDANCE WITH THE PORTLAND PLANNING AND DEVELOPMENT DEPARTMENT. ALL UTILITIES SHALL BE INSTALLED IN ACCORDANCE WITH THE PORTLAND PLANNING AND DEVELOPMENT DEPARTMENT. ALL UTILITIES SHALL BE INSTALLED IN ACCORDANCE WITH THE PORTLAND PLANNING AND DEVELOPMENT DEPARTMENT.

FILE NAME: _____
DRAWING NAME: _____

LEGEND

PROPERTY LINE
CONTINGENT LINE
EASEMENT/SETBACK
BOUNDARY
TURNAROUND FIRE PROTECTION CONSTRUCTION FENCE
ORIENTED GARDEN BED
PROPOSED BOLLARDS FOR RESIDENTIAL USE

UTILITIES

POWER LINE (OVERHEAD - EXIST)

COMMUNICATIONS LINE (OVERHEAD - EXIST)

POWER LINE (UNDERGROUND - PROPOSED)

COMMUNICATIONS LINE (UNDERGROUND - PROPOSED)

GAS LINE (EXIST TO PROPERTY)

PROPOSED SHOWN IMPROVING OF PROPERTY

SEWER LINE TO SEPTIC TANK (PROPOSED)

SEWER LINE TO SEPTIC TANK (PROPOSED)

STORMWATER DRAINAGE LINE (PROPOSED)

WATER LINE (PROPOSED)

SEPTIC TANK (PROPOSED NEW SEPTIC TANK)

EXISTING UTILITY POLE W/ DOWNSPOUT

GARDEN BEDS (NEW LOCATION W/ CLIENT IN FIELD. SEE FLOOR PLANS FOR LOCATIONS ATTACHED TO HOME)

EXISTING WELL HEAD

NO.	DESCRIPTION	DATE
1	ISSUED FOR PERMITTING	02/20/2024
2	REVISIONS	02/20/2024
3	REVISIONS	02/20/2024
4	REVISIONS	02/20/2024
5	REVISIONS	02/20/2024
6	REVISIONS	02/20/2024
7	REVISIONS	02/20/2024
8	REVISIONS	02/20/2024
9	REVISIONS	02/20/2024
10	REVISIONS	02/20/2024

Karina E. Adams, Architect
Karina Adams
2726 NW UPLAND ST
PORTLAND, OREGON 97210
503.525.2916
karina@karinaadams.com



TYPE B PLANNING REVIEW DRAWINGS FOR
THOMA LOT 3 RESIDENCE
13715 NW GERRARDTOWN RD
Portland, Oregon 97231

FILE NAME: _____
DRAWING NAME: _____

SHEET
A10
LOT 3

Karina E. Adams, Architect
 Karina Adams
 ARCHITECT
 2725 NW 25TH ST
 PORTLAND, OREGON 97227
 503-253-2916
 karina@karinaadams.com



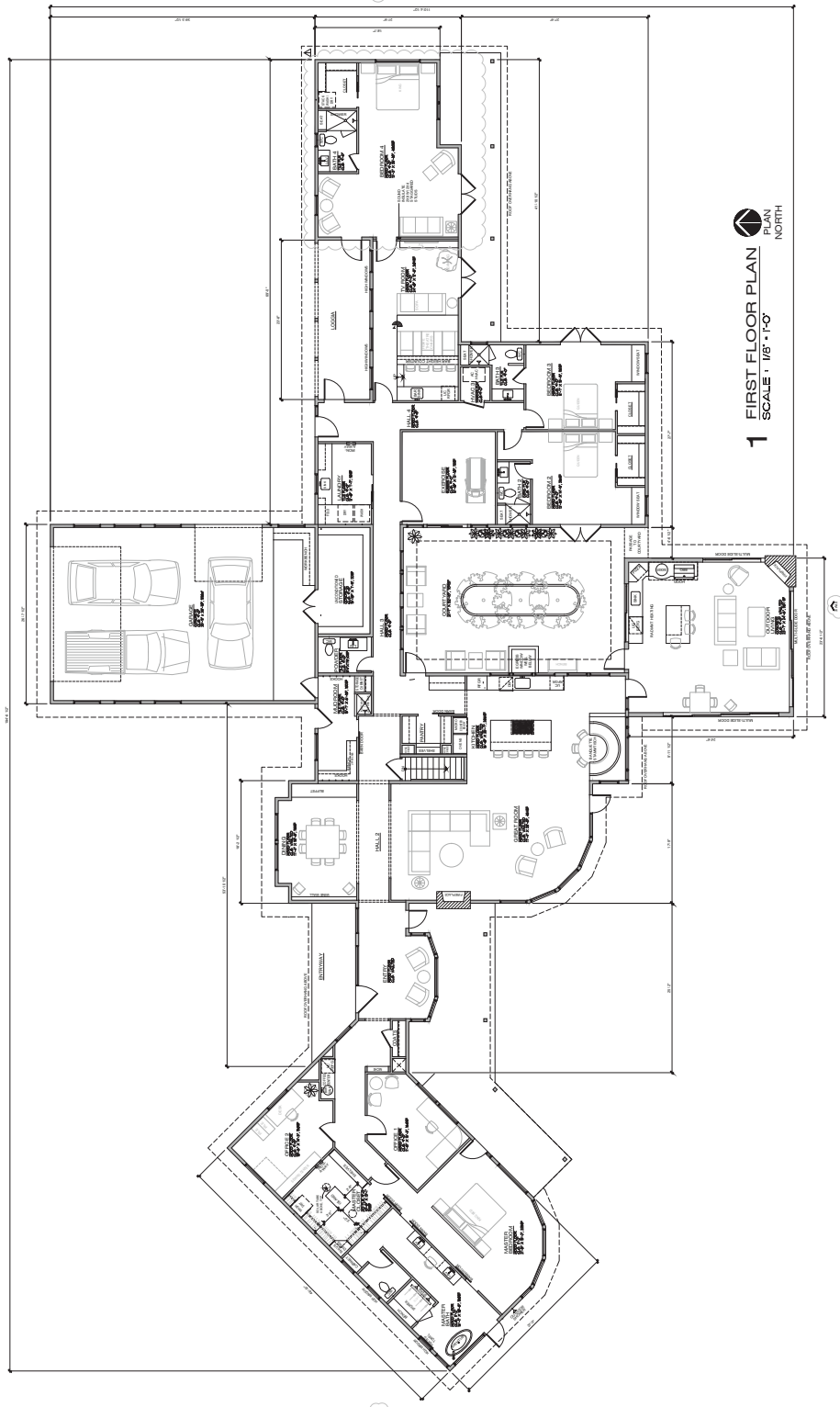
TYPE II PLANNING REVIEW DRAWINGS FOR
THOMA LOT 3 RESIDENCE
 13715 NW Germantown Rd
 Portland, Oregon 97231

FILE NAME: _____
 SHEET: _____

SHEET
A2.0
 LOT 3

DRAWING NAME:
1ST FLOOR & BASEMENT

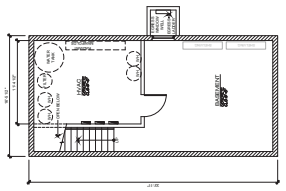
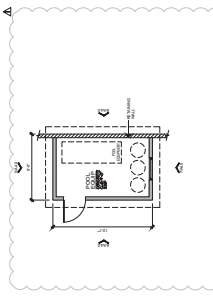
CURRENT DESIGN	
CONDITIONED	5226 SF
MAN YARD	100 SF
UNFINISHED	100 SF
OUTDOOR LIVING HEATED	6271 SF
TOTAL	6997 SF
GARAGE + STORAGE + POOL EQUIP.	1208 SF
COURTYARD	701 SF
COURTESY PATIOES	133 + 428 + 346 + 183 + 16 = 1117 SF

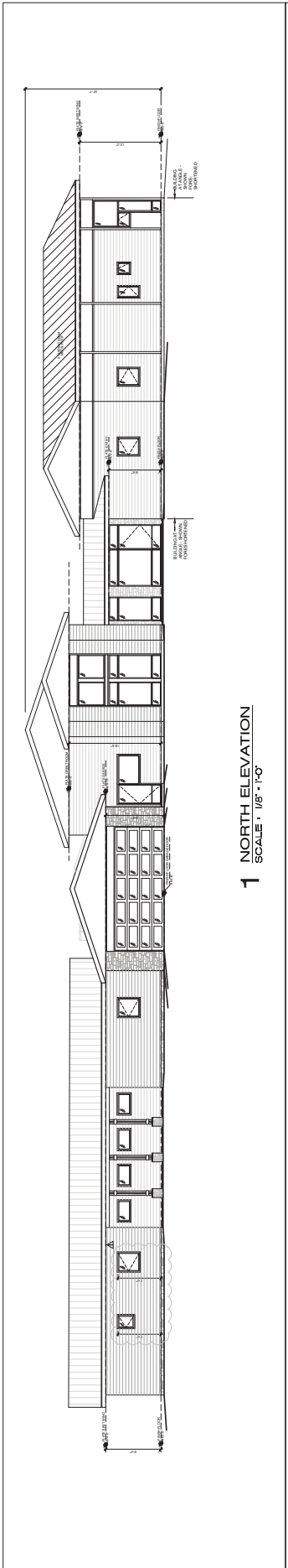


1 FIRST FLOOR PLAN
 SCALE: 1/8" = 1'-0"
 NORTH

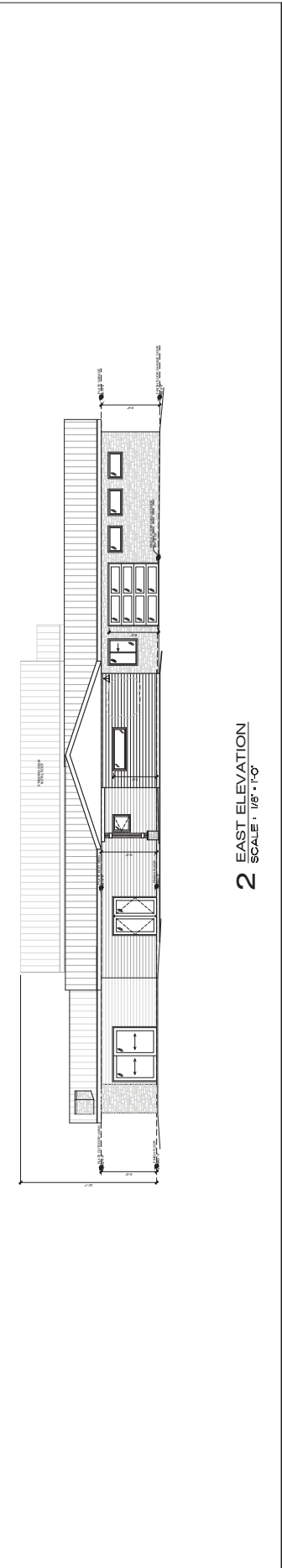
3 POOL EQUIPMENT FLOOR PLAN
 SCALE: 1/8" = 1'-0"
 NORTH

2 BASEMENT FLOOR PLAN
 SCALE: 1/8" = 1'-0"
 NORTH

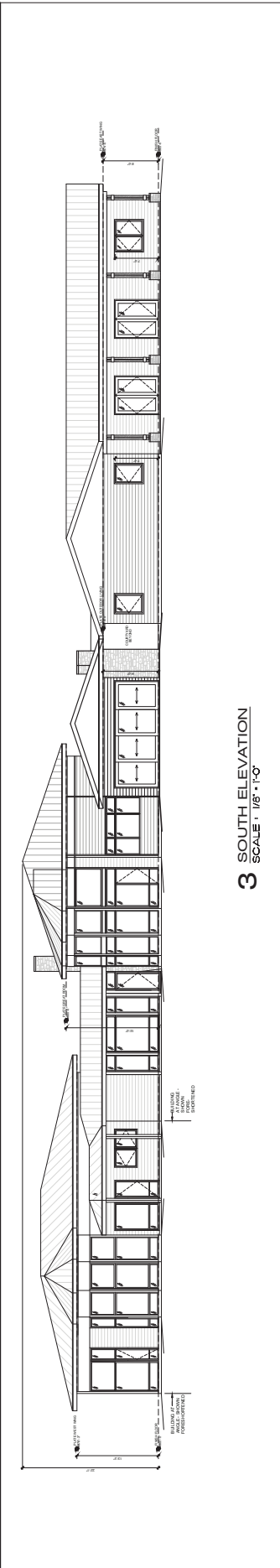




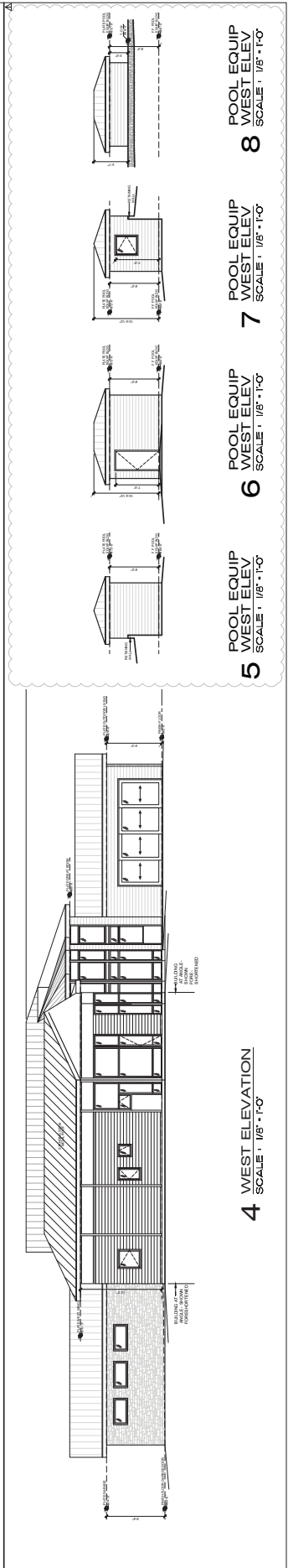
1 NORTH ELEVATION
 SCALE: 1/8" = 1'-0"



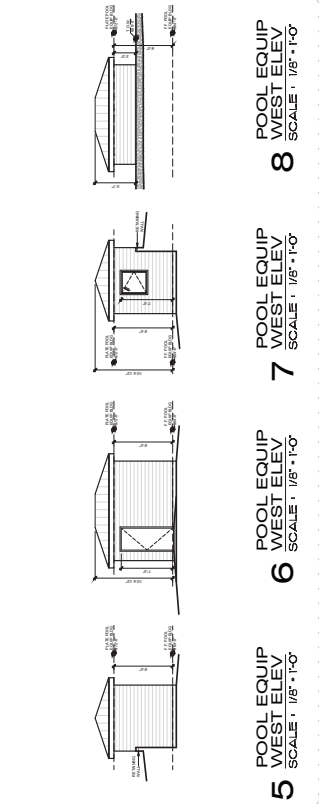
2 EAST ELEVATION
 SCALE: 1/8" = 1'-0"



3 SOUTH ELEVATION
 SCALE: 1/8" = 1'-0"



4 WEST ELEVATION
 SCALE: 1/8" = 1'-0"



5 POOL EQUIP WEST ELEV
 SCALE: 1/8" = 1'-0"

6 POOL EQUIP WEST ELEV
 SCALE: 1/8" = 1'-0"

7 POOL EQUIP WEST ELEV
 SCALE: 1/8" = 1'-0"

8 POOL EQUIP WEST ELEV
 SCALE: 1/8" = 1'-0"