

**MULTNOMAH COUNTY**

LAND USE AND TRANSPORTATION PROGRAM

1600 SE 190TH Avenue Portland, OR 97233

PH: 503-988-3043 FAX: 503-988-3389

http://www.co.multnomah.or.us/dbcs/LUT/land_use**FLOODPLAIN DEVELOPMENT PERMIT****CASE FILE: T1-03-056****March 1, 2005**

Request: Permit for development to occur on land located adjacent to and outside the 100-year flood boundary as identified on Flood Insurance Rate (FIRM) Maps published by the Federal Emergency Management Agency.

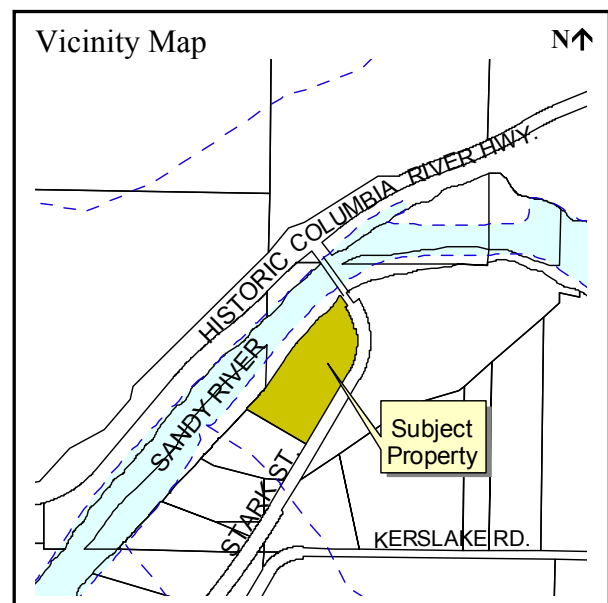
Location: 29311 SE Stark St.
TL 00700, Sec 6AC, T1S, R4E,
W.M.
Tax Account #R994060640

Applicant: Junki Yoshida
8440 NE Alderwood. STE A
Portland, Oregon 97220

Owner: Virginia Goodwin
7244 SW Durham Rd. #990 Bldg
Portland, OR 97224

Tributary: Sandy River

FIRM Map: Panel #410179 0238 A, dated 6/15/82

**ORDINANCE REQUIREMENTS:**

Applicable standards for this permit can be found within Chapter 29.620 et. al., Flood Hazard Regulations of the Multnomah County Building and Specialty Codes, copies of which are available at our offices. The development, as represented on the submitted plans (Exhibit 1.3), demonstrates that development is entirely outside the 100-year Floodplain as shown on FEMA, Flood Insurance Rate Map, Community-Panel Number 410179 0238 A effective date June 15, 1982 (Exhibit 2.2). Additionally the applicant has submitted a completed Elevation Certificate which is signed and stamped by Kent W. Cox, Registered Professional Engineer indicating Base Flood Elevation at 49.5 feet and lowest floor at 53.67 feet (Exhibit 1.5).

MODIFICATIONS AND LIMITATIONS:

This permit is based on written narrative(s), plan(s) and an elevation certificate provided by the applicant (attached). No development shall occur under this permit other than that which is specified within these documents. It shall be the responsibility of the property owner to comply with these documents and the limitations described herein.

EXHIBITS

Exhibit Provided by The Applicant

- Exhibit 1.1: Application form submitted 12/30/03 (1 page);
- Exhibit 1.2: Narrative submitted 6/24/04 (2 pages);
- Exhibit 1.3: Site development plan showing the boundary of the 100 year floodplain with Profession Register Engineer stamp by Kent W. Cox PE and Registered Professional Land Surveyor submitted 1/26/05 (1 page) with oversized version included in file labeled Exhibit 1.3o (1 page);
- Exhibit: 1.4: Letter dated February 15, 2005 from Michael K. Anderson PE including Registered Professional Engineer stamp verifying lowest floor elevation submitted 2/18/05 (1 page);
- Exhibit 1.5: Elevation Certificate with Register Profession Surveyor stamp completed by Kent W. Cox PE and Registered Professional Land Surveyor submitted 2/23/05 (2 pages).

Exhibit included by County

- Exhibit 2.1: County Assessment Record
- Exhibit 2.2: FEMA, Flood Insurance Rate Map, Community-Panel Number 410179 0238 A effective date June 15, 1982.

Issued by:

Signed: George A. Plummer, Planner
For: Karen Schilling - Planning Director

Date: Tuesday, March 1, 2005