



## MULTNOMAH COUNTY OREGON

### LAND USE AND TRANSPORTATION PROGRAM

1600 SE 190<sup>TH</sup> Avenue Portland, OR 97233

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[http://www.co.multnomah.or.us/dbcs/LUT/land\\_use](http://www.co.multnomah.or.us/dbcs/LUT/land_use)

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## GRADING AND EROSION CONTROL PERMIT

### CASE FILE: T1-04-010

### June 14, 2004

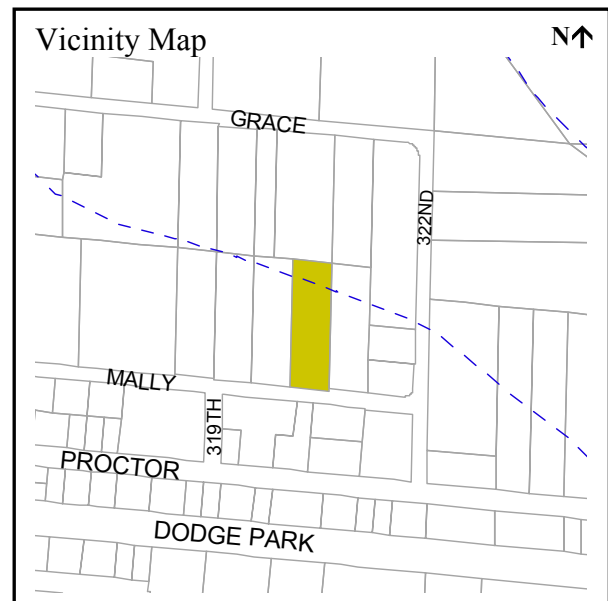
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**Request:** Grading and Erosion Control Permit application for grading activities associated with development of a single family residence; attached garage; driveway; deck; septic system; stormwater disposal system; and improvement in the Mally Road right of way related to the development.

**Location:** 32037 Mally Road  
TL 00500, Sec 20AD, T1S, R4E W.M.  
Tax Account #R677802250

**Applicant  
& Owner:** William F. & Carol J. Lewis  
2204 SW Redfern Ave.  
Gresham, OR 97080

**Location:** 32037 Mally Road  
TL 00500, Sec 20AD, T1S, R4E W.M.  
Tax Account #R677802250



### ORDINANCE REQUIREMENTS:

Applicable standards for this permit can be found in Chapter 29.320 through 29.325: Grading and Erosion Control Code of the Multnomah County Building and Specialty Codes, copies of which are available at our office.

### MODIFICATIONS AND LIMITATIONS:

This permit is based on written narrative(s) and plan(s) provided by the applicant (attached). No development shall occur under this permit other than that which is specified within these documents. It shall be the responsibility of the property owner to comply with these documents and the limitations described herein.

### Prior to any land disturbing activities:

1. The erosion control permit notice (attached) is to be posted at the driveway entrance from Mally Road in a clearly visible location (print towards the road). This notice is to remain posted until such time as the grading work is completed. In the event this sign is lost, destroyed, or otherwise removed prior to the completion of the grading work, the applicant shall immediately contact the

Land Use Planning Office to obtain a suitable replacement.

**On-going restrictions:**

2. The property owner (or representative thereof) shall maintain best erosion control practices through all phases of development. Erosion control measures are to include the installation of silt fence barriers at the toe of disturbed areas and as shown on the plan labeled Exhibit 1.6. If there is any indication of overland flow of water carrying sediment onto a neighboring property or the right of way, additional silt fence shall be required to remedy that problem. The property owner shall ensure post construction re-establishment of vegetative ground cover for disturbed soil. Straw mulch, erosion blankets, or 6-mil plastic sheeting shall be used as a wet weather measure to provide erosion protection for exposed soils. **The property owner shall verify that all erosion control measures are properly installed and in working order prior to initiating grading activities.**
3. On-site disposal of construction debris is not authorized under this permit. Any spoil materials or construction debris removed off-site shall be taken to a location approved for the disposal of such material by applicable Federal, State and local authorities.
4. The property owner or representative thereof shall install the stormwater drainage system consistent specifications in the report, dated March 13, 2004, and the addendum April 26, 2004 prepared by Craig C. LaVielle, PE, as detailed in Exhibits 1.4 and 1.8.
5. Unsupported cuts and/or fill slopes shall not be steeper than 3:1. No fill shall be placed on the property to the north of the location of the silt fence shown in Exhibit 1.6. No fill shall be placed closer than ten feet from the property line.
6. Fill materials shall be clean and non-toxic. This permit does not authorize dumping or disposal of hazardous or toxic materials, synthetics (i.e. tires), petroleum-based materials, or other solid wastes which may cause adverse leachates or other off-site water quality effects.
7. The property owner is responsible for removing any sedimentation caused by development activities from all neighboring surfaces and/or drainage systems. If any features within adjacent public right-of-way are disturbed, other than approved by County Right of Way Program, the property owner shall be responsible for returning such features to their original condition or a condition of equal quality.
8. The County may supplement described erosion control techniques if turbidity or other down slope erosion impacts result from on-site grading work. The Portland Building Bureau (Special Inspections Section), the local Soil and Water Conservation District, or the U.S. Natural Resource Conservation Service can also advise or recommend measures to respond to unanticipated erosion effects.

**Follow up requirements after grading:**

9. All disturbed areas are to be seeded or planted within thirty (30) days of the date grading activities are concluded.

**Exhibits submitted by the Applicant**

Exhibit 1.1: Application submitted March 15, 2004;

- Exhibit 1.2: Narrative submitted March 15, 2004;
- Exhibit 1.3: Original Erosion Control Plan March 15, 2004;
- Exhibit 1.4: Stormwater Infiltration Field Test and Recommendations analysis dated March 13, 2004 by Craig C. LaVielle, PE, with stamp, addressing storm water drainage with attachments showing calculations and design submitted March 15, 2004;
- Exhibit 1.5: Addendum narrative addressing erosion standards submitted April 26, 2004;
- Exhibit 1.6: Amended Erosion Control Plan submitted April 26, 2004;
- Exhibit 1.7: Stormwater Runoff from an Asphalt Driveway analysis and design dated April 26, 2004 by Craig C. LaVielle, PE, with stamp, addressing storm water drainage with attachments showing calculations and design recommendations submitted April 26, 2004;

**Exhibit including by County**

- Exhibit 2.1: County Assessment Record
- Exhibit 2.2: County Zoning Map showing the subject property

**Issued by:**

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Signed: George A. Plummer, Planner  
For: Karen Schilling - Planning Director

Date: Monday, June 14, 2004