



MULTNOMAH COUNTY
LAND USE AND TRANSPORTATION PROGRAM
1600 SE 190TH Avenue Portland, OR 97233
PH: 503-988-3043 FAX: 503-988-3389
http://www.co.multnomah.or.us/dbcs/LUT/land_use

GRADING AND EROSION CONTROL PERMIT

CASE FILE: T1-04-018

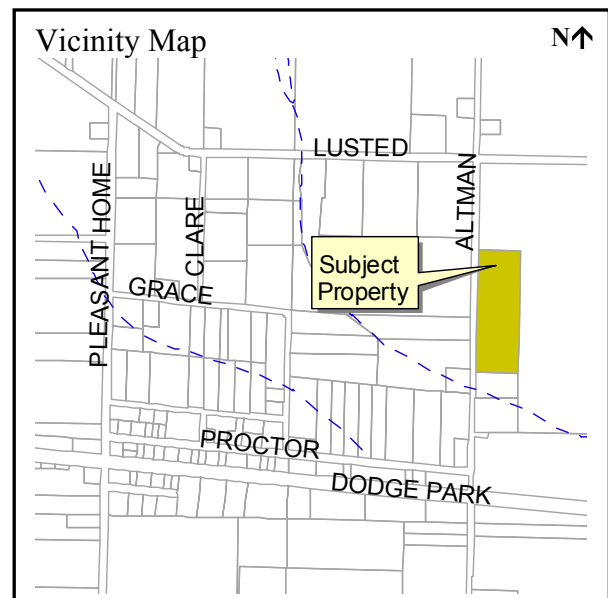
September 30, 2004

Request: Grading and Erosion Control Permit application for grading activities associated with the construction of an addition to an existing single family dwelling. Approximately 178 cubic yards of material will be dispersed within areas utilized for farmland after excavation for the footing of the addition. Approximately 296.3 cubic yards will be removed from the property.

Location: 6910 - 7000 SE Altman Rd
TL 300, Sec 21, T 1S, R 4E, W.M.
Tax Account #R99421-0060

Applicant/ Jeff Knapp
Owner: 6910 SE Altman Road
Gresham, OR 97080

Related
Case: T2-04-048



ORDINANCE REQUIREMENTS:

Applicable standards for this permit can be found in Chapter 29.300 et seq., Grading and Erosion Control Code of the Multnomah County Building and Specialty Codes, copies of which are available at our office.

MODIFICATIONS AND LIMITATIONS:

This permit is based on written narrative(s) and plan(s) provided by the applicant (attached). No development shall occur under this permit other than that which is specified within these documents. It shall be the responsibility of the property owner to comply with these documents and the limitations described herein.

On-going restrictions:

1. The Property Owner shall maintain best erosion control practices through all phases of development. The following erosion control measures shall be installed. A sediment control fence shall be installed as illustrated on Exhibit 4. Straw mulching to a depth of at least 2 inches shall be placed immediately on exposed disturbed and filled areas. Reseeding at a rate of 100 pounds per acre shall

be accomplished as soon as ground disturbing activities have been completed. If hydro-mulch will be employed it shall be installed at a rate of 2,000 pounds per acre. Straw mulch, erosion blankets, or 6-mil plastic sheeting shall be used as a wet weather measure to provide erosion protection for exposed soils such as the stockpile areas. All erosion control measures are to be implemented as prescribed in the current edition of the *Erosion Prevention Sediment Control Plans Technical Guidance Handbook*, copies of which are available for purchase at our office, or through the City of Portland.

2. Fill materials for the backfilling of the foundation shall be clean and non-toxic. This permit does not authorize dumping or disposal of hazardous or toxic materials, synthetics (i.e. tires), petroleum based materials, or other solid wastes which may cause adverse leachates or other off-site water quality effects.
3. The County may supplement described erosion control techniques if turbidity or other down slope erosion impacts result from on-site grading work. The Gresham Building Bureau (Special Inspections Section), the local Soil and Water Conservation District, or the U.S. Soil Conservation Service can also advise or recommend measures to respond to unanticipated erosion effects.
4. The applicant/owner is responsible for removing any sedimentation caused by development activities from all neighboring surfaces, right of ways and/or drainage systems.
5. The 178 cubic yards of fill materials shall be placed in Area 1, 2 & 3 as shown and described in Exhibit 1. No additional placement of fill materials has been approved. Extra spoil materials not used for filling shall be taken to a location approved for the disposal of such material by applicable Federal, State and local authorities.
6. Drainage of storm water run-off attributed to the dwelling addition shall be retained on-site adequately for up to a 10-year/24-hour storm event in the storm water system as shown on the submitted storm water plan signed by Craig Christensen of Kent Cox & Associates, Inc. and received by this office on June 6, 2004 and attached as Exhibit 3.

Prior to any land disturbing activities:

7. **Before initiating grading work, the applicant/property owner shall post the attached erosion control permit notices in locations along the property that are clearly visible from the road. This notice is to remain posted until such time as the grading work is completed.** In the event this notice is lost, destroyed, or otherwise removed prior to completion of the grading work, the property owner shall immediately contact the Land Use Planning Office to obtain a suitable replacement.
8. **The property owner or representative** shall verify that sediment fence is properly installed and in working order prior to initiating grading activities. A sediment fence is to be installed along the western property line between the fill sites and the right of way as shown on Exhibit 4. Upon installation of the sediment fence, the property owner shall contact Land Use Planning for an inspection at **503.988.3043**. (Work may continue once a request for inspection is made.)
9. Sediment fencing along the property lines adjacent to the work areas shall be properly installed (toed-in) prior to work beginning site disturbing activities on the property. Additional erosion control measures shall be placed and constructed as soon as practicable during all phases of construction.

Follow up requirements after grading:

15. All disturbed areas are to be seeded or planted as soon as possible.

Exhibits

Exhibit 1: Grading and Erosion Control Narrative, Calculations and Filling Plan

Exhibit 2: Site Plan

Exhibit 3: Drainage Certificate, Storm Water System, Storm Water Calculations

Exhibit 4: Air Photo with Contour Information and Sediment Fence Location

Issued by:

Signed: Lisa Estrin, Planner
For: Karen Schilling - Planning Director

Date: Thursday, September 30, 2004

**** An inspection fee of \$75.00 is required at time
of building permit sign off for the dwelling addition*****