



**MULTNOMAH COUNTY OREGON**  
**LAND USE AND TRANSPORTATION PROGRAM**  
1600 SE 190<sup>TH</sup> Avenue Portland, OR 97233  
PH: 503-988-3043 FAX: 503-988-3389  
<http://www.co.multnomah.or.us/dbcs/LUT/land>

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**GRADING AND EROSION CONTROL and  
FLOOD DEVELOPMENT PERMIT  
CASE FILE: T1-04-030 & T1-04-031  
July 12, 2005**

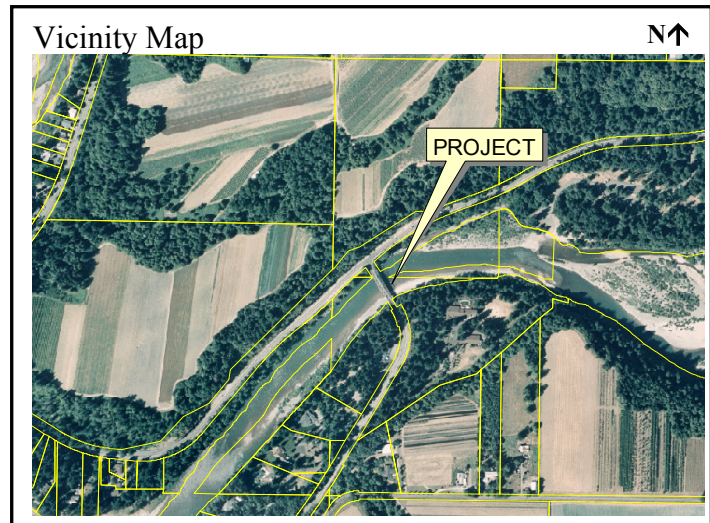
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**Request:** Grading and Erosion Control and Flood Development Permit for Multnomah County to repair a scour hole around the central pier of the Stark Street Bridge. The scour hole will be filled with 165 cubic yards of 700 class riprap. Recycled plastic timber pier walls will be used to augment the shape of the pier in an attempt to minimize future scour action during high river flows.

**Location:** Stark Street Bridge  
crossing Sandy River  
(Section 6, T1S, R4E)

**Applicant:** Stan Ghezzi  
Multnomah County Bridge  
Section  
1403 SE Water Ave.  
Portland, OR 97214

**Owner:** Multnomah County



**ORDINANCE REQUIREMENTS:**

Applicable standards for this permit can be found in Chapter 29.300 et seq., Grading and Erosion Control and Flood Development Code of the Multnomah County Building and Specialty Codes, copies of which are available at our office.

**MODIFICATIONS AND LIMITATIONS:**

This permit is based on written narrative(s) and plan(s) provided by the applicant (attached). No development shall occur under this permit other than that which is specified within these documents. It shall be the responsibility of the property owner to comply with these documents and the limitations described herein.

1. No work authorized under this permit is to be initiated until any required approvals from the Oregon Department of Fish and Wildlife, Army Corps of Engineers and Division of State Lands have been obtained (if applicable).
2. The property owner shall maintain best erosion control practices through all phases of development. Erosion control measures are to include the installation of sediment fencing downhill of the scoured bridge pier, placement of the riprap armor and post construction establishment of 50 live willow stakes as proposed on the attached plans. Specifically, the area of willow plantings is illustrated on the attached plan dated April 13, 2005. All erosion control measures are to be implemented as prescribed in the current edition of the *Erosion Prevention Sediment Control Plans Technical Guidance Handbook*, copies of which are available for purchase at our office, or through the City of Portland.
3. The County may supplement described erosion control techniques if turbidity or other down slope erosion impacts results from on-site grading work. The Portland Building Bureau (Special Inspections Section), the local Soil and Water Conservation District, or the U.S. Soil Conservation Service can also advise or recommend measures to respond to unanticipated erosion effects.
4. On-site disposal of construction debris is not authorized under this permit. Any spoil materials removed off-site shall be taken to a location approved for the disposal of such material by applicable Federal, State and local authorities. This permit does not authorize dumping or disposal of hazardous or toxic materials, synthetics (i.e. tires), petroleum-based materials, or other solid wastes which may cause adverse leachates or other off-site water quality effects.
5. The property owner is responsible for removing any sedimentation caused by development activities from all neighboring surfaces and/or drainage systems. If any features within adjacent public right-of-way are disturbed, the property owner shall be responsible for returning such features to their original condition or a condition of equal quality.
6. The riprap to be placed in the scour hole shall not extend higher than surrounding grade of the sand bar deposit as illustrated on the attached cross sectional plan dated December 22, 2004 (MCC 29.607(A)(1)).

**Prior to any land disturbing activities:**

7. The property owner shall verify that all erosion control measures are properly installed and in working order prior to initiating grading activities.
8. The erosion control permit notice (attached) is to be posted at the temporary construction entrance at Stark Street in a clearly visible location (point towards Stark Street). This notice is to remain posted until such time as the grading work is completed. In the event this sign is lost,

destroyed, or otherwise removed prior to the completion of the grading work, the applicant shall immediately contact the Land Use Planning Office to obtain a suitable replacement.

**Follow up requirements after grading:**

9. Once construction is completed, the Project Engineer shall submit a statement certifying that all work has been completed pursuant to the referenced specifications.

**At this point, applications for building permits (if required) may be made with the City of Portland after receiving a land use signoff from our department. When ready to have building permits signed off, call the Staff Planner, Adam Barber, at (503)-988-3043, for an appointment for review and approval of the conditions and to sign the building permit plans. Multnomah County must review and sign off building permit applications before they are submitted to the City of Portland. Six (6) sets each of the site plan and building plan are needed for building permit sign-off (if applicable).**

**Issued by:**

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Signed: Adam Barber, CPESC  
Planner

For: Karen Schilling, Planning Director

Date: July 12, 2005