



MULTNOMAH COUNTY OREGON

LAND USE AND TRANSPORTATION PROGRAM

1600 SE 190TH Avenue Portland, OR 97233

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http://www.co.multnomah.or.us/dbcs/LUT/land_use

GRADING AND EROSION CONTROL PERMIT

CASE FILE: T1-05-025

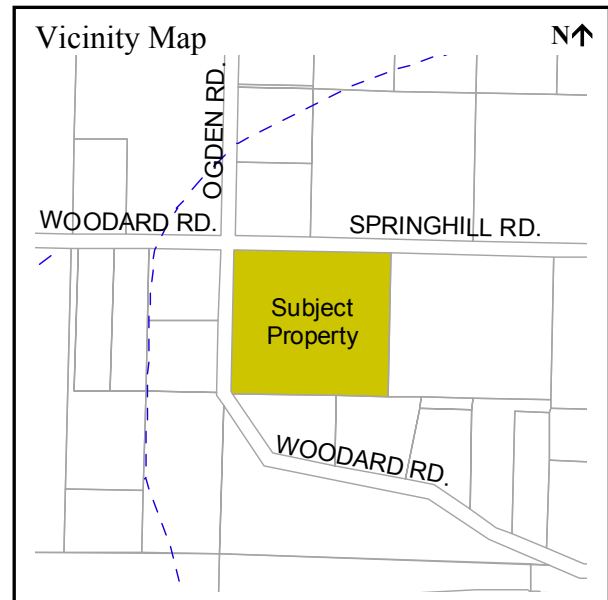
July 28, 2005

Request: Grading and Erosion Control Permit for grading activities associated with development of a single family dwelling, driveway, septic system, stormwater detention system and any grading related to the approved development.

Location: 30260 E. Springhill Road
TL 3000, Sec 32C, T1S, R4E, W.M.
Tax Account #R053506260

Applicant Darin Brookpark
Darin Brookpark Homes
11080 SW Allen Blvd. STE 600
Beaverton, OR 97005

Owner: Mark D & Tina R Weyhrich
20225 E Woodard Road
Troutdale, OR 97060



ORDINANCE REQUIREMENTS:

Applicable standards for this permit can be found in Chapter 29.330 through 29.348: Grading and Erosion Control Code of the Multnomah County Building and Specialty Codes, copies of which are available at our office.

MODIFICATIONS AND LIMITATIONS:

This permit is based on written narrative(s) and plan(s) provided by the applicant (attached as Exhibit 1.1 through 1.6). No development shall occur under this permit other than that which is specified within these documents. It shall be the responsibility of the property owner to comply with these documents and the limitations described herein.

Prior to any land disturbing activities:

1. The erosion control permit notice (attached) is to be posted at the driveway entrance from Springhill Road in a clearly visible location (print towards the road). This notice is to remain posted until such time as the grading work is completed. In the event this sign is lost, destroyed, or otherwise removed prior to the completion of the grading work, the applicant shall immediately contact the

Land Use Planning Office to obtain a suitable replacement.

On-going restrictions:

2. The property owner (or representative thereof) shall maintain best erosion control practices through all phases of development. Erosion control measures are to include the installation of silt fence barriers at the locations shown on the plan labeled Exhibit 2.2. If there is any indication of overland flow of water carrying sediment beyond the silt fences additional silt fence or other erosion control measures shall be required to remedy that problem. Soil stockpiles shall be covered with plastic sheeting a minimum six mil thickness. Fill areas shall be covered until seeded with plastic a minimum six mil thickness. The fill area south of the dwelling (labeled on plans as fill) shall be hydro-seeded according to specification found on pages 4-52 through 4-54 of the City of Portland's *Erosion Control Manual* (Exhibit 2.3). As a wet weather measure (between the beginning of October and end of June), after the fill area has been seeded, mulch or erosion blankets shall be installed according specifications found on pages 4-55 through 4-60 of the *Erosion Control Manual* (Exhibit 2.4). If soil gets tracked unto the public right-of-way, a construction entrance shall be installed that meets the design specifications found on pages 4-2 through 4-7 of the *Erosion Control Manual*. The property owner shall ensure post construction re-establishment of vegetative ground cover for all disturbed soil areas. Erosion control measures shall be maintained until the ground cover vegetation has been fully re-established for the area. **The property owner shall verify that all erosion control measures are properly installed and in working order prior to initiating grading activities and through out the project until vegetation has been re-established.**
3. On-site disposal of construction debris is not authorized under this permit. No spoils stockpile sites have been indicated on the plans, thus spoils will need to be removed from the site. Any spoil materials removed from the site shall be disposed of in an area which meets the applicable code requirements of that location. Construction debris removed off-site shall be taken to a location approved for the disposal of such material by applicable Federal, State and local authorities.
4. The property owner or owner's representative shall install the stormwater drainage system consistent with the specifications as detailed attached plan prepared by Ray L. Moore, PE, attached as Exhibit 1.3.
5. Unsupported cuts and/or fill slopes shall not be steeper than 3:1. No fill shall be placed on the property down slope of the silt fence shown in Exhibit 2.2.
6. Fill materials necessary for landscaping shall be clean and non-toxic. This permit does not authorize dumping or disposal of hazardous or toxic materials, synthetics (i.e. tires), petroleum-based materials, or other solid wastes which may cause adverse leachates or other off-site water quality effects.
7. The property owner is responsible for removing any sedimentation caused by development activities from all neighboring surfaces and/or drainage systems. If any features within the adjacent public right-of-way are disturbed, other than approved by County Right of Way Program, the property owner shall be responsible for returning such features to their original condition or a condition of equal quality.
8. The County may supplement described erosion control techniques if turbidity or other down slope erosion impacts that result from on-site grading work. The Portland Building Bureau (Special Inspections Section), the local Soil and Water Conservation District, or the U.S. Natural Resource

Conservation Service can also advise or recommend measures to respond to unanticipated erosion effects.

Follow up requirements after grading:

9. All disturbed areas are to be seeded or planted within thirty (30) days of the date grading activities are concluded.

Exhibits submitted by the Applicant

- Exhibit 1.1: Application submitted 5/26/05 (1 page);
- Exhibit 1.2: Site Plan and Erosion Control Plan submitted 5/26/05 (1 pages);
- Exhibit 1.3: Stormwater Certificate and storm detention plans stamped and signed by John E Gambee P.E, (1 pages);
- Exhibit 1.4: Geologic/Geotechnical Investigation report by Foster Gambee Geotechnical, PC dated May 4, 2005 submitted 5/26/05 (13 pages);
- Exhibit 1.5: Narrative submitted 7/13/05 (1 pages);
- Exhibit 1.6: Addendum to narrative

Exhibit included by County

- Exhibit 2.1: County Assessment Record for the properties (2 pages).

Issued by:

Signed: George A. Plummer, Planner
For: Karen Schilling - Planning Director

Date: Thursday, April 21, 2005