



MULTNOMAH COUNTY OREGON

LAND USE AND TRANSPORTATION PROGRAM

1600 SE 190TH Avenue Portland, OR 97233

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http://www.co.multnomah.or.us/dbcs/LUT/land_use

GRADING AND EROSION CONTROL PERMIT

CASE FILE: T1-05-031

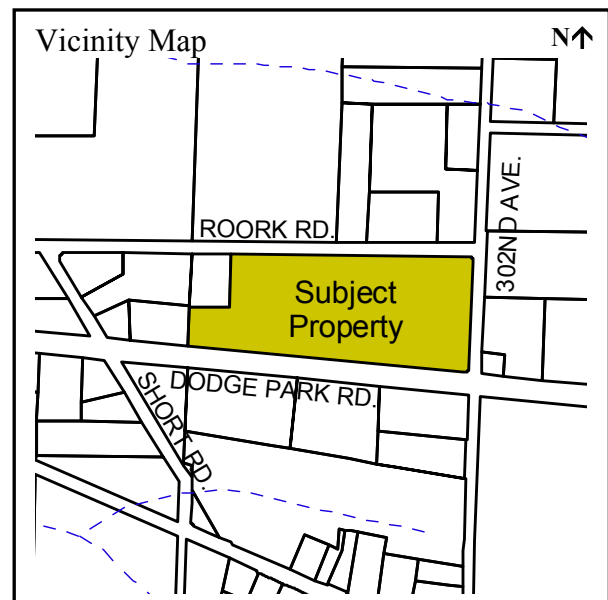
June 28, 2005

Request: Grading and Erosion Control Permit for grading activities associated with development of Harris Acres Subdivision including the construction of streets, stormwater drainage system, installation of utilities along right-of-ways and other grading or soil disturbance activities related to this development. This permit does not apply to residential development of the lots.

Location: 7125 SE 302nd
TL 102, Sec 19AD, T1S, R4E, W.M.
Tax Account #R649806500

Applicant Tom Orth
P.O. Box 2247
Gresham, OR 97030

Owner: Tom Orth
P.O. Box 2247
Gresham, OR 97030



ORDINANCE REQUIREMENTS:

Applicable standards for this permit can be found in Chapter 29.350 through 29.365: Grading and Erosion Control Code of the Multnomah County Building and Specialty Codes, copies of which are available at our office.

MODIFICATIONS AND LIMITATIONS:

This permit is based on written narrative(s) and plan(s) provided by the applicant (attached as Exhibit 1.1 through 1.3). No development shall occur under this permit other than that which is specified within these documents and specified in the Subdivision Approval T3-04-004. It shall be the responsibility of the property owner to comply with these documents and the limitations described herein.

Prior to any land disturbing activities:

1. The erosion control permit notice (attached) is to be posted within 50 feet of the intersection of 301st and Roork Road such that it is clearly visible from Roork Road (print towards the road). This notice is to remain posted until such time as the project work is completed and vegetation of the disturbed

soil area has been re-established. In the event this sign is lost, destroyed, or otherwise removed prior to the completion of the grading work, the applicant/property owner shall immediately contact the Land Use Planning Office to obtain a suitable replacement.

On-going restrictions:

2. The property owner (or representative thereof) shall maintain best erosion control practices through all phases of the development. Erosion control measures are to include the installation of silt fence barriers at the locations as proposed by the applicant shown on the plans labeled Exhibits 1.2 and 2.2. Additional erosion control measures are required by this permit as shown on the County staff amended plans included as Exhibit 2.2. These additional erosion control measures are described in the following narrative. Silt fencing shall also be installed at additional locations specified on Exhibit 2.2. The silt fence along the southern property at the western end of the fence shall be angled up a couple of contours as shown on Exhibit 2.2. The silt fence along the western property line of Lot 1 shall be extended to follow contour 578 around to the location below the western soil stock pile area. Its end shall be angled up to the stock pile silt fence to prevent water from escaping around the end. Additional silt fence shall be installed beginning at a point about 50 feet from the center of SE 298th Ave. on the north property line then angling the fence down to contour 582 and following the contour to where contour 582 meets the SE 298th right-of-way as shown on Exhibit 2.2. Silt fence down slope of the two stock piles shall be extended as shown on Exhibit 2.2. Four biobag check dams shall be installed in the ditch along SE Roork Road; located 50 and 100 feet down slope from intersections with SE 298th and SE 301st Avenues. To prevent an erosion channel from forming along the silt fence on the southern property line, straw bales shall be installed directly adjacent to and abutting the silt fence at 100 foot intervals starting at contour 583 and to the west as shown on Exhibit 2.2. Biobag barriers shall be installed (anchored with stakes) every 100 feet along the newly created ditches of 298th Ave and SE Harris Place as shown on Exhibit 2.2. Biobags shall be installed at the inlets to the stormwater system once that system is installed. Erosion control measure shall remain in place until the disturbed soil has been fully revegetated. **The property owner shall verify that all erosion control measures are properly installed and in working order prior to initiating grading activities and through out the project until vegetation has been re-established.**
3. If there is any indication of overland flow of water carrying sediment onto a neighboring property or extending down slope of the erosion control installations in the ditches of Roork Road or Dodge Park Road additional erosion control measures shall be required to remedy that problem. The property owner shall ensure post construction re-establishment of vegetative ground cover for disturbed soil.
4. On-site disposal of construction debris is not authorized under this permit. No spoils stockpile sites have been indicated on the plans, thus spoils will need to be removed from the site. Any spoil materials removed from the site shall be disposed of in an area which meets the applicable code requirements of that location. Construction debris removed off-site shall be taken to a location approved for the disposal of such material by applicable Federal, State and local authorities.
6. Unsupported cuts and/or fill slopes shall not be steeper than 3:1. No fill shall be placed on the property down slope of the silt fence shown in Exhibit 2.2.
7. Fill materials necessary for landscaping shall be clean and non-toxic. This permit does not authorize dumping or disposal of hazardous or toxic materials, synthetics (i.e. tires), petroleum-based materials, or other solid wastes which may cause adverse leachates or other off-site water quality effects.

8. The property owner is responsible for removing any sedimentation caused by development activities from all neighboring surfaces and/or drainage systems. If any features within the adjacent public right-of-way are disturbed, other than approved by County Right of Way Program, the property owner shall be responsible for returning such features to their original condition or a condition of equal quality.
9. The County may supplement described erosion control techniques if turbidity or other down slope erosion impacts that result from on-site grading work. The Portland Building Bureau (Special Inspections Section), the local Soil and Water Conservation District, or the U.S. Natural Resource Conservation Service can also advise or recommend measures to respond to unanticipated erosion effects.

Follow up requirements after grading:

10. All disturbed areas are to be seeded or planted within thirty (30) days of the date other grading activities are concluded.

Exhibits submitted by the Applicant

- Exhibit 1.1: Application submitted 6/9/05 (1 page);
- Exhibit 1.2: Erosion Control Plan 6/9/05 (2 pages);
- Exhibit 1.3: Narrative submitted 6/9/05 (4 pages);

Exhibit included by County

- Exhibit 2.1: County Assessment Record for the properties (2 pages);
- Exhibit 2.2: Erosion Control Plan with additional erosion control measures required by this permit

Issued by:

Signed: George A. Plummer, Planner
For: Karen Schilling - Planning Director

Date: Tuesday, June 28 2005