



MULTNOMAH COUNTY OREGON
LAND USE AND TRANSPORTATION PROGRAM
1600 SE 190TH Avenue Portland, OR 97233
PH: 503-988-3043 FAX: 503-988-3389
<http://www.co.multnomah.or.us/landuse>

GRADING AND EROSION CONTROL PERMIT

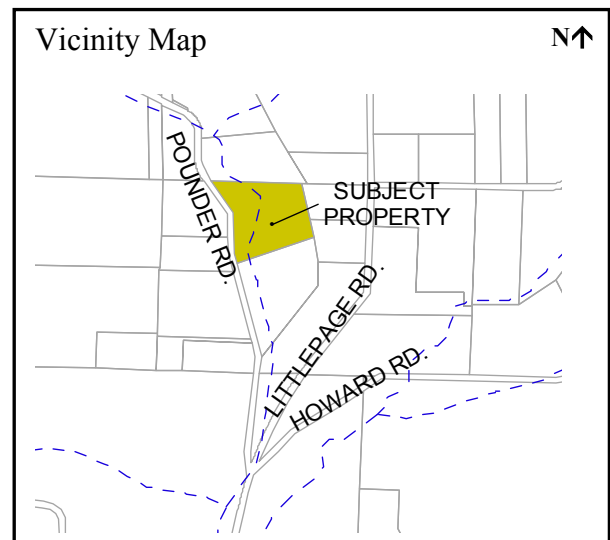
CASE FILE: T1-06-025

April 12, 2006

Request: Grading and Erosion Control Permit for grading activities associated with an addition to the east side of the existing dwelling.

Location: 600 SE Pounder Road
TL 580, Sec 02BA, T1S, R4E, W.M.
Tax Account # R99402-0580

Applicant/ Gary & Debbie Simone
Owner: 600 SE Pounder Road
Corbett, OR 97019



ORDINANCE REQUIREMENTS:

Applicable standards for this permit can be found in Chapter 29.330-.348, Grading and Erosion Control Code (Excluding West of Sandy River Plan Area) of the Multnomah County Building and Specialty Codes, copies of which are available at our office.

MODIFICATIONS AND LIMITATIONS:

This permit is based on written narrative(s) and plan(s) provided by the applicant (attached). No development shall occur under this permit other than that which is specified within these documents. It shall be the responsibility of the property owner to comply with these documents and the limitations described herein.

On-going restrictions:

1. The areas of ground disturbance and vegetation removal shall be limited to the areas shown on the applicant's site plan included as Exhibit 1. The owner shall retain the existing vegetation between the areas proposed for disturbance and Pounder Creek.
2. Drainage of storm water run-off attributed to the addition shall be retained on-site adequately for up to a 10-year/24-hour storm event in accordance with the storm-water certificate stamped and signed by Craig Christensen, a registered professional engineer. Pursuant to Mr. Christensen's recommendations and the plans included as Exhibit 1, this system shall include a turf and landscape area drain, a sediment catch basin, and a underground infiltrators.

3. As shown on Exhibit 1, a cut slope will exceed 3:1 as described by applicant on page 1 of Exhibit 2. This slope is north of the house and will be approximately 2:1 as described by the applicant. The applicant has stated that this slope will be stable if vegetation is planted. Vegetation shall be planted as soon as possible upon the completion of ground disturbing activities. No other cut and fill slopes created as a result of this project shall exceed 3:1.
4. The Property Owner shall maintain best erosion control practices through all phases of development. Erosion control measures are to include sediment fencing on the downslope of all disturbed areas and stockpiles in accordance with the submitted plans included as Exhibit 1 of this permit. Reseeding at a rate of 100 pounds per acre shall be accomplished as soon as ground disturbing activities have been completed. If hydromulch will be employed it shall be installed at a rate of 2,000 pounds per acre. Straw mulch, erosion blankets, or 6-mil plastic sheeting shall be used as a wet weather measure to provide erosion protection for exposed soils such as the stockpile areas. All erosion control measures are to be implemented as prescribed in the current edition of the *Erosion Prevention Sediment Control Plans Technical Guidance Handbook*, copies of which are available for purchase at our office, or through the City of Portland. **The property owner or representative shall verify that all erosion control measures are properly installed and in working order prior to initiating grading activities.**
5. All fill materials shall be clean and non-toxic. This permit does not authorize dumping or disposal of hazardous or toxic materials, synthetics (i.e. tires), petroleum based materials, or other solid wastes which may cause adverse leachates or other off-site water quality effects.
6. The County may supplement described erosion control techniques if turbidity or other down slope erosion impacts result from on-site grading work. The Portland Building Bureau (Special Inspections Section), the local Soil and Water Conservation District, or the U.S. Soil Conservation Service can also advise or recommend measures to respond to unanticipated erosion effects.
7. The applicant/owner is responsible for removing any sedimentation caused by development activities from all neighboring surfaces and/or drainage systems.
8. On-site disposal of construction debris is not authorized under this permit. Extra spoil materials not used for re-filling shall be taken to a location approved for the disposal of such material by applicable Federal, State and local authorities.

Prior to any land disturbing activities:

9. **Before initiating grading work, the applicant/property owner shall post the attached erosion control permit notice in a location along the property that is clearly visible from the road. This notice is to remain posted until such time as the grading work is completed.** In the event this notice is lost, destroyed, or otherwise removed prior to completion of the grading work, the property owner shall immediately contact the Land Use Planning Office to obtain a suitable replacement.
10. Sediment fencing in the location show on Exhibit 1 shall be properly installed prior to work beginning site disturbing activities on the property. A construction detail showing the proper installation of such a sediment barrier is included on Exhibit 1. All erosion control measures shall be placed and constructed as soon as practicable during all phases of construction.
11. The sediment barrier shall be inspected by applicant/contractor immediately after each rainfall and at least daily during prolonged rainfall. Any required repairs shall be made immediately.

Follow up requirements after grading:

15. All disturbed areas are to be seeded or planted as soon as possible. Reseeding should be accomplished at a rate of 100 pounds per acre or hydromulch should be employed at a rate of 2,000 pounds per acre. If vegetation has not been established by October 1, the owner shall cover all disturbed areas with three (3) inches of broadcast straw.

Exhibits submitted by the Applicant

- Exhibit 1 Site plans (2 pages)
- Exhibit 2 Narrative statements submitted by applicant (4 pages)
- Exhibit 3 Grading calculations submitted by applicant (1 page)
- Exhibit 4 Drainage Certificate stamped by Craig Christensen, PE, dated 3-26-06

Issued by:

Signed: Tammy Boren-King, AICP ,
Planner
For: Karen Schilling - Planning Director

Date: April 12, 2006