



**MULTNOMAH COUNTY**  
LAND USE AND TRANSPORTATION PROGRAM  
1600 SE 190<sup>TH</sup> Avenue Portland, OR 97233  
PH: 503-988-3043 FAX: 503-988-3389  
<http://www.co.multnomah.or.us/landuse>

---

## **GRADING AND EROSION CONTROL PERMIT**

### **CASE FILE: T1-06-039**

### **June 19, 2006**

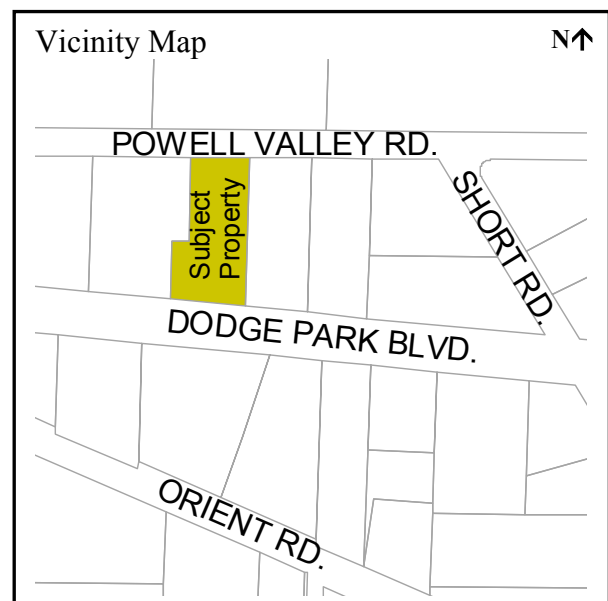
---

**Request:** Grading and Erosion Control Permit application for grading activities associated with establishing a single family dwelling and accessory building.

**Location:** 29248 SE Powell Valley Road  
TL 900, Sec 19AC, T1S, R4E, W.M.  
Tax Account #R649787780

**Applicant:** Beverly Blume  
4307 NE 1<sup>st</sup> Street  
Gresham, OR 97030

**Owners:** Christina L. Wilson  
29138 SE Powell Valley Rd.  
Gresham, OR 97080



### **ORDINANCE REQUIREMENTS:**

Applicable standards for this permit can be found in Chapter 29.350 et seq, Grading and Erosion Control Code of the Multnomah County Building and Specialty Codes, copies of which are available at our office.

### **MODIFICATIONS AND LIMITATIONS:**

This permit is based on written narrative(s) and plan(s) provided by the applicant (attached). No development shall occur under this permit other than that which is specified within these documents. It shall be the responsibility of the property owner to comply with these documents and the limitations described herein.

### **Prior to any land disturbing activities:**

1. The erosion control permit notice (attached) is to be posted at the driveway entrance from SE Powell Valley Road in a clearly visible location (print towards the road). This notice is to remain posted until such time as the grading work is completed. In the event this sign is lost, destroyed, or otherwise removed prior to the completion of the grading work, the applicant shall immediately

contact the Land Use Planning Office to obtain a suitable replacement. Prior to any work an erosion control inspection fee for \$77 will be required, usually collected at zoning review for the Building Permit. Sediment fencing shall be installed prior to any land disturbing activities.

**On-going restrictions:**

2. The property owner (or representative thereof) shall maintain best erosion control practices through all phases of development. The property owner shall ensure the erosion control measures listed on the Erosion Control Plans, included as Exhibit 1.3 and described in the narrative included as Exhibit 1.9 are implemented. The sediment fence shall be installed at locations as shown on staff amended plan included as Exhibit 2.2. Wet weather measures are listed on the plans and shall be implemented until the end of the wet weather season and shall be implemented from October 1<sup>st</sup> until April 30<sup>th</sup> unless grass has been established. The property owner shall ensure post construction re-establishment of vegetative ground cover for disturbed soil. **The property owner shall verify that all erosion control measures are properly working through out the project until vegetation has been re-established.**
3. Stockpiled soil will need to be removed from the site or used for landscaping prior to completion of the project. Any spoil materials removed from the site shall be disposed of in an area which meets the applicable code requirements of that location.
4. Fill materials necessary for landscaping shall be clean and non-toxic. This permit does not authorize dumping or disposal of hazardous or toxic materials, synthetics (i.e. tires), petroleum-based materials, or other solid wastes which may cause adverse leachates or other off-site water quality effects.
5. On-site disposal of construction debris is not authorized under this permit. Construction debris removed off-site shall be taken to a location approved for the disposal of such material by applicable Federal, State and local authorities.
6. The property owner is responsible for removing any sedimentation caused by development activities from all neighboring surfaces and/or drainage systems. If any features within the adjacent public right-of-way are disturbed, other than approved by County Right of Way Program, the property owner shall be responsible for returning such features to their original condition or a condition of equal quality.
7. The property owner shall obtain a permit from the County Right-of-Way for access to the public right-of-way.
8. The County may supplement described erosion control techniques if turbidity or other down slope erosion impacts result from on-site soil disturbance related to the development. The Portland Building Bureau (Special Inspections Section), the local Soil and Water Conservation District, or the U.S. Natural Resource Conservation Service can also recommend measures to respond to unanticipated erosion events.

**Follow up requirements after grading:**

8. All disturbed areas are to be seeded or planted within thirty (30) days of the date grading activities are concluded.

**Exhibits submitted by the Applicant**

- Exhibit 1.1: Application form submitted 5/31/06 (1 page)
- Exhibit 1.2: Letter dated June 1, 2006 authorizing application signed by property owner submitted 6/1/06 (1 page).
- Exhibit 1.3: Revised site plan (with stormwater system design) and erosion plan submitted 6/9/06 (2 oversized pages)
- Exhibit 1.4: Stormwater Certificate stamped and signed by Kent W. Cox, PE, submitted 4/20/06 (14 pages)
- Exhibit 1.5: Site Evaluation Report for on-site sewage disposal submitted 5/31/06 (4 pages)
- Exhibit 1.6: Certification of Water Service submitted 5/31/06 (1 page)
- Exhibit 1.7: Fire District Access Review submitted 5/31/06 (3 pages)
- Exhibit 1.8: Fire District Review Fire Flow Requirements submitted 5/31/06 (6 pages)
- Exhibit 1.9: Narrative addressing the code submitted 6/9/06

**Exhibit included by County**

- Exhibit 2.1: County Assessment Record for the property (1 pages)
- Exhibit 2.2: Staff amended erosion control plan showing additional sediment fence (1 oversized page)

**Issued by:**

---

Signed: George A. Plummer, Planner  
For: Karen Schilling - Planning Director

Date: June 19, 2006