



MULTNOMAH COUNTY
LAND USE AND TRANSPORTATION PROGRAM
1600 SE 190TH Avenue Portland, OR 97233
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<http://www.co.multnomah.or.us/landuse>

GRADING AND EROSION CONTROL PERMIT

CASE FILE: T1-06-041

August 1, 2006

Request: Grading and Erosion Control Permit application for grading activities associated with new single family dwelling and driveway. The permit also includes importing 4,325 cubic yards of fill to construct a building pad measuring 125-feet by 400-feet for the dwelling.

Location: 21400 NW Reeder Road
TL 1200, Sec 11, T2N, R1W, W.M.
Tax Account #R97111-0020

Applicant: Tom Armstrong
Winterbrook Planning

Owner: Jacobson Family Properties

ORDINANCE REQUIREMENTS:

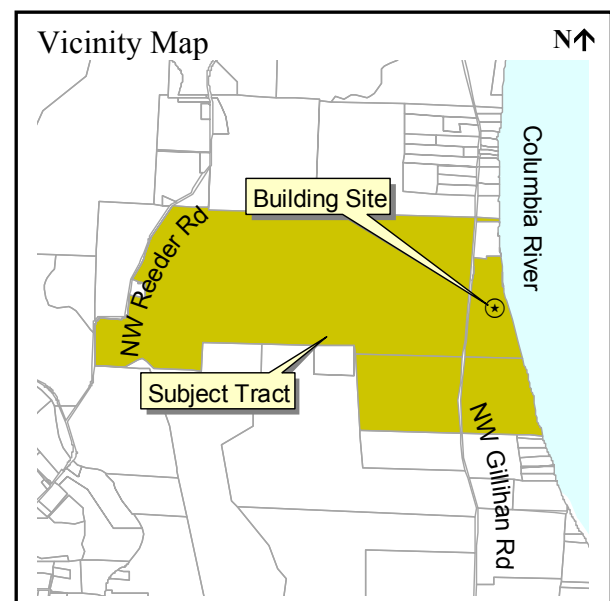
Applicable standards for this permit can be found in Chapter 29.300 et seq., Grading and Erosion Control Code of the Multnomah County Building and Specialty Codes, copies of which are available at our office.

MODIFICATIONS AND LIMITATIONS:

This permit is based on written narrative(s) and plan(s) provided by the applicant (attached). No development shall occur under this permit other than that which is specified within these documents. It shall be the responsibility of the property owner to comply with these documents and the limitations described herein.

Prior to Building Permit Sign-Off

1. The Erosion Control Inspection fee shall be paid at the time of building permit sign-off. An extra copy of the Erosion Control Site Plan is needed for that sign-off.
2. **Before initiating grading work, the applicant/property owner shall post the attached erosion control permit notices in locations along the property that are clearly visible from the road.**



This notice is to remain posted until such time as the grading work is completed. In the event this notice is lost, destroyed, or otherwise removed prior to completion of the grading work, the property owner shall immediately contact the Land Use Planning Office to obtain a suitable replacement.

3. Sediment fencing around the development areas shall be properly installed (toed-in at least 6-inches) prior to work beginning and site disturbing activities on the property. Erosion controls shall be maintained in working order until development is completed. Additional erosion control measures shall be placed and constructed as soon as practicable during all phases of construction.

On-going restrictions:

4. The Property Owner/Applicant shall maintain best erosion control practices through all phases of development. Erosion control measures are to include sediment fence and the temporary road construction entrance as shown on the submitted site plan. Straw mulch, erosion blankets, or 6-mil plastic sheeting shall be used as a wet weather measure to provide erosion protection for any exposed soils in the stockpile areas. All erosion control measures are to be implemented as prescribed in the current edition of the *Erosion Prevention Sediment Control Plans Technical Guidance Handbook*, copies of which are available for purchase at our office, or through the City of Portland.
5. Fill materials for the construction of the building pad shall be clean and non-toxic. This permit does not authorize dumping or disposal of hazardous toxic materials, synthetics (i.e. tires), petroleum based materials, or other solid wastes which may cause adverse leachates or other off-site water quality effects.
6. The County may supplement described erosion control techniques if turbidity or other down slope erosion impacts result from on-site grading work. The Portland Building Bureau (Special Inspections Section), the local Soil and Water Conservation District, or the U.S. Soil Conservation Service can also advise or recommend measures to respond to unanticipated erosion effects.
7. The applicant/owner is responsible for removing any sedimentation caused by development activities from all neighboring surfaces and/or drainage systems.
8. On-site disposal of construction debris is not authorized under this permit. Extra spoil materials not used for re-filling shall be taken to a location approved for the disposal of such material by applicable Federal, State and local authorities.
9. Drainage of storm water run-off attributed to the structure shall be retained on-site adequately for up to a 10-year/24-hour storm event in the proposed storm sewer system. The drainage certificate dated May 31, 2006 and time stamped June 6, 2006 has been stamped by David J. Humber, Professional Engineer, certifying that the newly generated stormwater from the structure will be handled adequately on site for a 10-year/24-hour storm event through a system of soakage trenches.

Follow up requirements after grading:

10. All disturbed areas are to be seeded or planted within thirty (30) days of the date grading activities are concluded.

Issued by:

Signed: Don Kienholz, Planner
For: Karen Schilling - Planning Director

Date: Tuesday, August 1, 2006