



MULTNOMAH COUNTY
LAND USE AND TRANSPORTATION PROGRAM
1600 SE 190TH Avenue Portland, OR 97233
PH: 503-988-3043 FAX: 503-988-3389
<http://www.co.multnomah.or.us/landuse>

GRADING AND EROSION CONTROL PERMIT

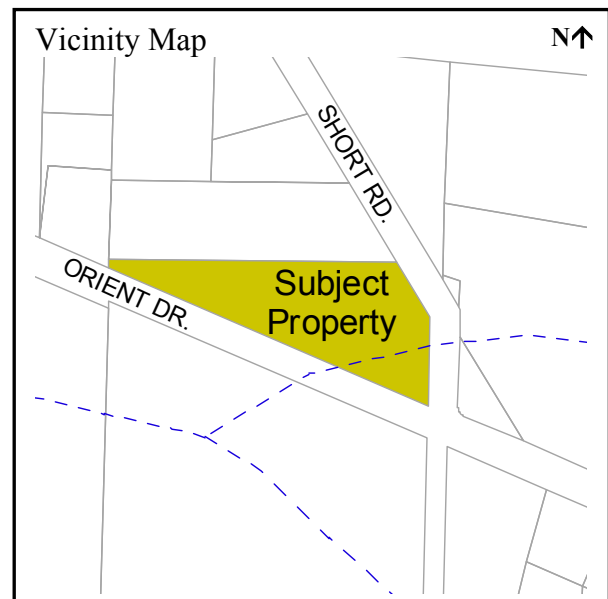
CASE FILE: T1-06-056

August 17, 2006

Request: Grading and Erosion Control Permit application for grading activities associated with installation of replacement septic systems for existing dwellings.

Location: 29627 & 29635 SE Orient Drive
TL 2200, Sec 19AC, T1S, R4E, W.M.
Tax Account # R994190290

Applicant/ Karece International, LLC
Owner: c/o Michael Eyre
10824 SE Oak St. Bx 332
Milwaukie, OR 97222



ORDINANCE REQUIREMENTS:

Applicable standards for this permit can be found in Chapter 29.350 et seq., Grading and Erosion Control Code of the Multnomah County Building and Specialty Codes, copies of which are available at our office.

MODIFICATIONS AND LIMITATIONS:

This permit is based on written narrative(s) and plan(s) provided by the applicant (attached). No development shall occur under this permit other than that which is specified within these documents. It shall be the responsibility of the property owner to comply with these documents and the limitations described herein.

Prior to any land further disturbing activities:

1. The erosion control permit notice (attached) is to be posted at the driveway entrance from SE Orient Drive in a clearly visible location (print towards the road). This notice is to remain posted until such time as the grading work is completed and the vegetation has been re-established. In the event this sign is lost, destroyed, or otherwise removed prior to the completion of the grading work, the applicant shall immediately contact the Land Use Planning Office to obtain a suitable replacement. Prior to any further work an erosion control inspection fee for \$77 will be required, usually collected at zoning review for the Building Permit. Sediment fencing shown on the plan included as Exhibit 1.2 shall be installed immediately.

On-going restrictions:

2. The property owner (or representative thereof) shall maintain best erosion control practices through all phases of development. The property owner shall ensure the erosion control measures listed on the Erosion Control Plans, included as Exhibit 1.2 and described in the narrative included as Exhibit 1.3 are implemented. The sediment fence shall be installed at locations as shown on the aforementioned plan. Trenching that crosses the stream shall be located on the graveled foot-bridge and shall be refilled immediately after piping is installed (or immediately after inspection if inspection is required) and covered with two inches of gravel. Any soil stockpiles within 200 feet of the stream shall be covered with 6 mil thick plastic immediately. Any excess soil spoils piles within 200 feet of the stream shall be removed immediately. All disturbed soil areas shall be thoroughly covered with straw mulch. The property owner shall ensure post construction re-establishment of vegetative ground cover for disturbed soil areas. If fertilizer is to be used to re-establish vegetation, the fertilizer shall be non-prosperous fertilizer in the area that is within 50-feet of stream. **The property owner shall verify that all erosion control measures are properly working through out the project until vegetation has been re-established.**
3. All soil spoils piles shall be removed from the site prior to completion of the project. Any spoil materials removed from the site shall be disposed of in an area which meets the applicable code requirements of that location.
4. Fill materials shall be clean and non-toxic. This permit does not authorize dumping or disposal of hazardous or toxic materials, synthetics (i.e. tires), petroleum-based materials, or other solid wastes which may cause adverse leachates or other off-site water quality effects.
5. On-site disposal of construction debris is not authorized under this permit. Construction debris removed off-site shall be taken to a location approved for the disposal of such material by applicable Federal, State and local authorities.
6. The property owner is responsible for removing any sedimentation caused by development activities from all neighboring surfaces and/or drainage systems. If any features within the adjacent public right-of-way are disturbed, other than approved by County Right of Way Program, the property owner shall be responsible for returning such features to their original condition or a condition of equal quality.
7. The property owner shall obtain a permit from the County Right-of-Way for any change in access to the public right-of-way.
8. The County may supplement described erosion control techniques if turbidity or other down slope erosion impacts result from on-site soil disturbance related to the development. The Portland Building Bureau (Special Inspections Section), the local Soil and Water Conservation District, or the U.S. Natural Resource Conservation Service can also recommend measures to respond to unanticipated erosion events.

Follow up requirements after grading:

8. All disturbed areas are to be seeded or planted within thirty (30) days of the date grading activities are concluded.

Exhibits submitted by the Applicant

- Exhibit 1.1: Application form submitted 8/10/06 (1 page)
- Exhibit 1.2: Revised site plan and erosion plan submitted 8/15/06 (1 page)
- Exhibit 1.3: Narrative with addendum addressing the code submitted 8/10/06 & 8/15/06 (3 page)
- Exhibit 1.4: Repair Permit for on-site sewage disposal submitted 8/10/06 (15 pages)

Exhibit included by County

- Exhibit 2.1: County Assessment Record for the property (1 pages)
- Exhibit 2.2: County Assessment Map

Issued by:

Signed: George A. Plummer, Planner
For: Karen Schilling - Planning Director

Date: Thursday, August 17, 2006