



MULTNOMAH COUNTY
LAND USE AND TRANSPORTATION PROGRAM
1600 SE 190TH Avenue Portland, OR 97233
PH: 503-988-3043 FAX: 503-988-3389
<http://www.co.multnomah.or.us/landuse>

GRADING AND EROSION CONTROL PERMIT & FLOODPLAIN DEVELOPMENT PERMIT

CASE FILE: T1-06-086

January 8th, 2007

Request: Grading and Erosion Control Permit application for grading activities associated with the development of a new single family dwelling.

Location: NE INTERLACHEN LN
FAIRVIEW, OR 97024
Map Tax Lot# 1N3E21CA -04400
Tax Account # R269200190

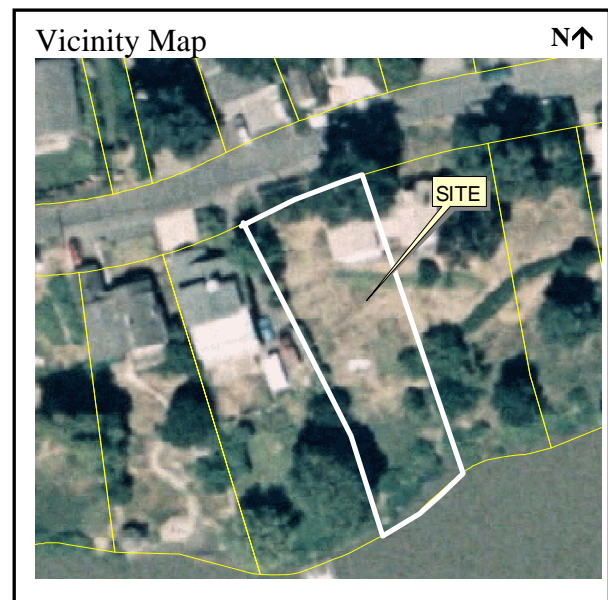
Applicant: Raasch Construction Ltd.
c/o Kristy Raasch

Owner: Raasch Construction Ltd.

Tributary: Fairview Lake

FIRM Panel #410179-0215, dated 6/15/82

Map:



ORDINANCE REQUIREMENTS:

Applicable standards for this permit can be found in Chapter 29.300 *et seq.*, Grading and Erosion Control Code and Chapter 29.600 *et seq.*, Flood Development Code of the Multnomah County Building and Specialty Codes, copies of which are available at our office. Since the entire property is at least one foot above the base flood level, the proposed development is exempted from the requirements of MCC 29.606 Development Standards; pursuant to MCC 29.604.

MODIFICATIONS AND LIMITATIONS:

This permit is based on written narrative(s) and plan(s) provided by the applicant (attached). No development shall occur under this permit other than that which is specified within these documents. It shall be the responsibility of the property owner to comply with these documents and the limitations described herein.

Prior to any land disturbing activities:

1. When you are ready to start the grading work approved in this permit, call the Staff Planner, Adam Barber at (503) 988-3043 extension 22599, to set up an appointment for plan check, payment of the \$77 inspection fee, and issuance of the Erosion Control Permit notice card. You will need to provide 3 copies of the approved erosion control plan and building plans at plan check. The permit notice card is to be posted at the driveway entrance in a clearly visible location. This notice is to remain posted until such time as the grading work is completed. In the event the notice is lost, destroyed, or otherwise removed prior to completion of the grading work, the applicant shall immediately contact the Land Use Planning office to obtain a replacement.
2. The property owner shall verify that all erosion control measures are properly installed and in working order prior to initiating grading activities.

Follow up requirements after grading:

3. All disturbed areas are to be seeded or planted as soon as possible or within 15 days of completion of the various components of the project. All areas not reseeded at the time of final grading shall be reseeded within 15 days of completion of the disturbance. Reseeding should be accomplished at a rate of 100 pounds per acre or hydro mulch should be employed at a rate of 2,000 pounds per acre.
4. The property owner shall contact the Land Use Planning Division at (503) 988-3043, to arrange for a final site inspection after the project is complete.

On-going restrictions:

5. All residential structures must have the lowest floor, including basement, elevated to at least one foot above the base flood level as indicated on the Elevation Certificate. The attached Elevation Certificate indicates the 1% chance flood elevation is 14.0 feet (NGVD 29) and the lowest adjacent grade of the home is 23.5 feet (NGVD 29).
6. The property owner shall maintain best erosion control practices through all phases of grading activities. Erosion control measures are to include post construction re-establishment of ground cover. All erosion control measures are to be implemented as prescribed in the current edition of the Erosion Prevention Sediment Control Plans Technical Guidance Handbook, copies of which are available for purchase at our office, or through the City of Portland. A copy of the approved erosion and sediment control plan is attached.
7. The property owner is responsible for removing any sedimentation caused by development activities from all neighboring surfaces and/or drainage systems. If any features within adjacent public right-of-way or waterway are disturbed, the property owner shall be responsible for returning such features to their original condition or a condition of equal quality.
8. During wet weather months, jute matting, erosion blankets, geotextile filler fabric, or 6-mil plastic sheeting shall be used as to provide erosion protection for exposed soils such as the stockpile areas.
9. The County may supplement described erosion control techniques if turbidity or other down slope erosion impacts results from on-site grading work. The Portland Building Bureau (Special

Inspections Section), the local Soil and Water Conservation District, or the U.S. Soil Conservation Service can also advise or recommend measures to respond to unanticipated erosion effects.

10. The storm drain system shall be installed as recommended by the September 21, 2006 Storm Water Certificate, as provided by Craig Christensen, Professional Engineer (attached).

Permit Exhibits

Exhibit 1 – Plat Map
Exhibit 2 - Grading, Erosion Control and Utility Plan
Exhibit 3 – Application Narrative
Exhibit 4 - Water Certificate and Manufacture Literature
Exhibit 5 – Fire District Review Signoff Form
Exhibit 6 – Public Sewer Service Form
Exhibit 7 – Certification of Water Service Form
Exhibit 8 – Elevation Certificate

Issued by:

Signed: Adam Barber, CPESC
Planner
For: Karen Schilling - Planning Director
Date: January 8th, 2007