



MULTNOMAH COUNTY
LAND USE AND TRANSPORTATION PROGRAM
1600 SE 190TH Avenue Portland, OR 97233
PH: 503-988-3043 FAX: 503-988-3389
<http://www.co.multnomah.or.us/landuse>

GRADING AND EROSION CONTROL PERMIT

CASE FILE: T1-07-019

September 12th, 2007

Request: Grading and Erosion Control Permit application for grading activities associated with the construction of a replacement dwelling.

Location: 28528 East Historic Columbia River Highway
TL 1400, Sec 06B, T1S, R4E, W.M.
Tax Account #R994060760

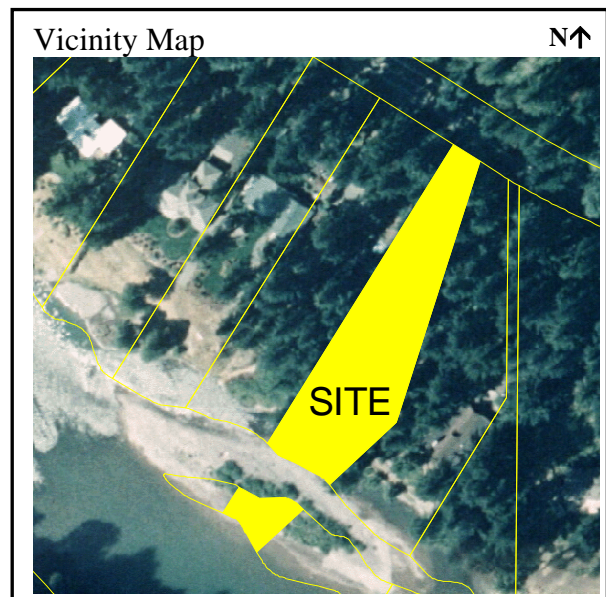
Applicant/ Gary Dempsey
Owner:

ORDINANCE REQUIREMENTS:

Applicable standards for this permit can be found in Chapter 29.330 et seq., Grading and Erosion Control Code of the Multnomah County Building and Specialty Codes, copies of which are available at our office.

MODIFICATIONS AND LIMITATIONS:

This permit is based on written narrative(s) and plan(s) provided by the applicant (attached). No development shall occur under this permit other than that which is specified within these documents. It shall be the responsibility of the property owner to comply with these documents and the limitations described herein.



Prior to any land disturbing activities:

1. When you are ready to start the grading work approved in this permit, call the Staff Planner, Adam Barber at (503) 988-3043 extension 22599, to set up an appointment for plan check, payment of the \$77 inspection fee and the \$53.00 building permit fee, and issuance of the Erosion Control Permit notice card. The permit notice card is to be posted at the driveway entrance facing the Historic Columbia River Highway in a clearly visible location. This notice is to remain posted until such time as the grading work is completed. In the event the notice is lost, destroyed, or otherwise removed prior to completion of the grading work, the applicant shall immediately contact the Land Use Planning office to obtain a replacement.
2. Sediment control fencing and the temporary gravel construction entrance shall be installed in correct working order as shown on the erosion control plan before commencement of ground

disturbing activities.

On-going restrictions:

3. The property owner (or representative thereof) shall maintain best erosion control practices through all phases of development. The property owner shall ensure the erosion control measures listed on the erosion control plan are implemented. Wet weather measures shall be implemented by November 1st until May 1st. The property owner shall ensure post construction re-establishment of vegetative ground cover for disturbed soil. **The property owner shall verify that all erosion control measures are properly working through out the project until vegetation has been re-established.**
4. All excavated soil shall be stored in the area designated on the erosion control plan. These materials shall be covered with plastic or mulch to prevent movement into undesignated areas. Stored earthen materials shall be backfilled around the foundation of the structures as soon as practical and reseeded with temporary vegetation until permanent plantings are made.
5. This permit does not authorize dumping or disposal of hazardous or toxic materials, synthetics (i.e. tires), petroleum-based materials, or other solid wastes which may cause adverse leachates or other off-site water quality effects. On-site disposal of construction debris is not authorized under this permit. Construction debris removed off-site shall be taken to a location approved for the disposal of such material by applicable Federal, State and local authorities.
6. The property owner is responsible for removing any sedimentation caused by development activities from all neighboring surfaces and/or drainage systems. If any features within the adjacent public right-of-way are disturbed, other than approved by County Right of Way Program, the property owner shall be responsible for returning such features to their original condition or a condition of equal quality.
7. The area of disturbance for the subject property shall be limited to the areas needed to construct the new dwelling, septic system, driveway extension at the terminus, and demolition of the existing dwelling. No other ground disturbance is authorized by this permit.
8. The County may supplement described erosion control techniques if turbidity or other down slope erosion impacts result from on-site soil disturbance related to the development. The Portland Building Bureau (Special Inspections Section), the local Soil and Water Conservation District, or the U.S. Natural Resource Conservation Service can also recommend measures to respond to unanticipated erosion events.

Follow up requirements after grading:

9. As each area is backfilled and the finish grading completed, it shall be revegetated as soon as possible with permanent vegetation. Permanent vegetation shall be planted or installed within 30 days of the finish grading being complete.

Issued by:

Signed: Adam Barber, CPESC
Senior Planner
For: Karen Schilling - Planning Director

Date: September 12th, 2007

Exhibit List

1. GEC Application Form
2. Stormwater Evaluation and Certificate for Replacement Dwelling signed by Thomas J. Sisul, P.E. (Sisul Engineering)
3. Erosion Control Plan
4. Site and Proposal Description, GEC Application Narrative, Site Utility Location Notes