

**MULTNOMAH COUNTY**  
LAND USE AND TRANSPORTATION PROGRAM  
1600 SE 190<sup>TH</sup> Avenue Portland, OR 97233  
PH: 503-988-3043 FAX: 503-988-3389  
<http://www.co.multnomah.or.us/landuse>

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## **GRADING AND EROSION CONTROL PERMIT**

### **CASE FILE: T1-07-055**

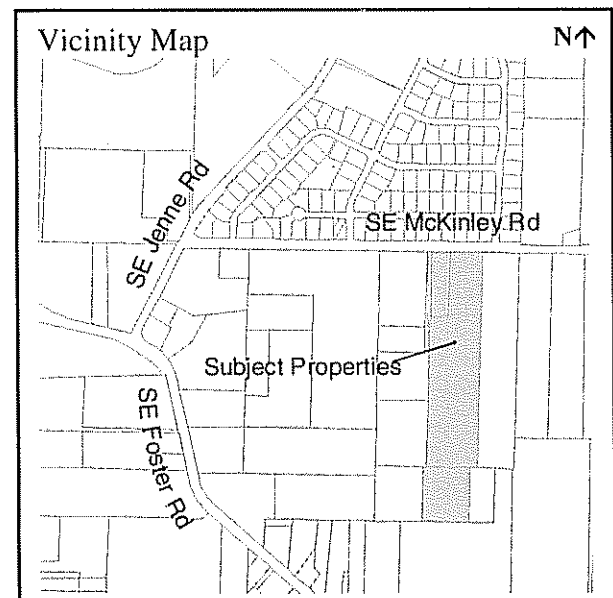
### **December 31, 2007**

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**Request:** Grading and Erosion Control Permit application for grading activities associated with relocating an existing dwelling on the subject property to a new location on an adjacent property. The project includes filling in a basement area at the original dwelling location, leveling it out, preparing the foundation site for the home on the new parcel, and grading in a new driveway roughly 660 feet long to access the dwelling's new location. The project involved roughly 12 cubic yards of cut and 164 cubic yards of fill. Silt fencing is proposed along both sides of the driveway, south of the proposed dwelling site, north of the proposed dwelling site, around the stockpile area and required around the fill of the original dwelling site.

**Location:** 17036 SE McKinley Road  
TL 100, Sec 19BA, T1S, R3E, W.M.  
Tax Account #R993190910  
TL 200, Sec 19BA, T1S, R3E  
Tax Account #R993191280

**Applicant/** Michael Kelly (Masters-Smith)  
**Owner:**



### **ORDINANCE REQUIREMENTS:**

Applicable standards for this permit can be found in Chapter 29.300 et seq., Grading and Erosion Control Code of the Multnomah County Building and Specialty Codes, copies of which are available at our office.

### **MODIFICATIONS AND LIMITATIONS:**

This permit is based on written narrative(s) and plan(s) provided by the applicant (Exhibits 1 and 2). No development shall occur under this permit other than that which is specified within these documents. It shall be the responsibility of the property owner to comply with these documents and the limitations described herein.

**Prior to any land disturbing activities:**

1. When you are ready to start the grading work approved in this permit, call the Staff Planner, Don Kienholz at (503) 988-3043 extension 29270, to set up an appointment for plan check, payment of the \$77 inspection fee, and payment of the \$53 Building Permit Review Fee. You will need to provide 2 copies of the approved erosion control plan and include all erosion controls described in the narrative on the plan. The permit notice card is to be posted at the driveway entrance in a clearly visible location. This notice is to remain posted until such time as the grading work is completed. In the event the notice is lost, destroyed, or otherwise removed prior to completion of the grading work, the applicant shall immediately contact the Land Use Planning office to obtain a replacement.
2. Sediment fencing on the downhill side of the development areas shall be properly installed (toed-in at least 6-inches) prior to work beginning and site disturbing activities on the property. This includes around the fill site of the original dwelling location, along the driveway path, south of the new dwelling site and soakage trench, and north of the new dwelling site. Erosion controls shall be maintained in working order until development is completed. Wet weather erosion control measures shall be placed and constructed as soon as practicable near the creek/drainage areas.

**On-going restrictions:**

3. The Property Owner/Applicant shall maintain best erosion control practices through all phases of development. Erosion control measures are to include those discussed in the narrative submitted on November 29, 2007 (Exhibit 1) and shown on the plans (Exhibit 2). In addition to those measures, wet weather erosion control measures including straw mulch, erosion blankets, or 6-millimeter thick plastic sheeting shall be placed immediately on exposed soils to provide erosion protection should a rain event occur. All erosion control measures are to be implemented as prescribed in the current edition of the *Erosion Prevention Sediment Control Plans Technical Guidance Handbook*, copies of which are available for purchase at our office, or through the City of Portland.
4. Fill materials used shall be clean and non-toxic. This permit does not authorize dumping or disposal of hazardous toxic materials, synthetics (i.e. tires), petroleum based materials, or other solid wastes which may cause adverse leachates or other off-site water quality effects.
5. The County may supplement described erosion control techniques if turbidity or other down slope erosion impacts result from on-site grading work. The Portland Building Bureau (Special Inspections Section), the local Soil and Water Conservation District, or the U.S. Soil Conservation Service can also advise or recommend measures to respond to unanticipated erosion effects.
6. The applicant/owner is responsible for removing any sedimentation caused by development activities from all neighboring surfaces and/or drainage systems.
7. On-site disposal of construction debris is not authorized under this permit. Extra spoil materials not used for re-filling shall be taken to a location approved for the disposal of such material by applicable Federal, State and local authorities.

8. Drainage of storm water run-off attributed to the new dwelling shall be retained on-site adequately for up to a 10-year/24-hour storm event in the soakage trench and detention system as described in the applicants' narrative and trench detail from November 29, 2007. A drainage certificate has been stamped by Kelli A. Grover, Professional Engineer, certifying that the newly generated stormwater from the structure will be handled adequately on site for a 10-year/24-hour storm event.

**Follow up requirements after grading:**

9. All disturbed areas are to be seeded or planted within thirty (30) days of the date grading activities are concluded.

**Exhibits**

1. Applicant's Narrative
2. Site Plan

**Issued by:**



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Signed: Don Kienholz, Planner  
For: Karen Schilling - Planning Director

Date: Monday, December 31, 2007

Works planned for site at SE McKinley rd.

Schedule of works

Property line adjustment

Transport existing home from proposed front block to proposed back block

Driveway on east boundary to access back block (flag pole)

Disconnection of mains power and water of building to be moved

Moving of dwelling and removal of old foundation material (the later is to be dumped off site).

A

Once site is cleared fill old foundation with clean fill compacting to 97 % density by use of excavator with vibrating compaction wheel and seeded for grass

With proximity to seasonal creek a silt barrier will be set up at the south end of the dwelling to protect this sensitive area.

Drive way to be contoured (graded) and all weather surface to be laid (compacted gravel) on driveway as this dose run parallel to the east boundary silt protection will be installed the length off works with the same method as mentioned below.

Cut to be made for proposed house site, removing 1 to 1.5 ft of top soil .again with protection made to creek at south and north end of construction via a silt barrier  
All silt barriers will be constructed of artificial type silt barrier with steel posts driven into ground at 4 ft centers with straw as needed.

All compaction will be achieved both by heavy track bulldozer and excavator with compaction wheel attachment. This will achieve a 95 to 97 percent compaction of soil and or gravel.

b

The site dose not include any slops greater than 3:1

C

Protection will be made to adjoining property via silt barrier to east boundary running the length of the flag pole as this is the only area where works will be in proximity to adjoining property.

D

Please see attached paper work for storm water

E

No change will be made to the natural flow of the stream and silt barriers will protect said stream during construction all debris will be disposed of off site at time of completion of works.

## Sec 2 Erosion control

A

This site dose not fall into the Tualatin River drainage basin

B

Striping of any vegetation will be kept to a minimum and stabilized as quickly as possible and practical. We will only remove top soil in an area we can prepare within that day.  
So as to have as little impact and minimize erosion as much as possible.

CLATSOP COUNTY  
PLANNING SECTION

07 NOV 29 AM 11:15

RECEIVED

C.

Fills and debris will be placed on flat ground away from creeks with silt barrier protection and covered with plastic until removed from site.

D.

Temporary mulching will be used as needed and if needed

E

Natural vegetation will be left untouched when and where possible any disturbance will be rectified as soon as possible i.e. planting of grasses trees and shrubs.

E1

A one hundred foot buffer from the top of the bank of the seasonal stream is not possible due to the placement of the dwelling being moved so all due care will be taken to prevent disturbance to the creeks. Via protective barriers (silt barriers) which will be situated to stop any debris gaining access to creek bed.

E2

Please see attached paper work regarding storm water control.

F

Permanent plantings and erosion controls will be set in place at the time we obtain the grading permit.

G

Any runoff from areas to be worked will be structurally retarded and the creek will be monitored to ensure its health. This will be easily achieved as it is relatively flat ground.

H

Sediment will be trapped in hand dug silt traps and cleaned out as needed these will be placed in conjunction with silt barriers.

I

Excavations and cuts will have runoff trenches directed to silt barriers and sediment traps monitored and cleaned out as needed.

J

Swales etc will not be required as the slope does not exceed 1.5%

K

See above

L

Erosion and sediment control

1

Straw bales will be used to curb erosion as the slope is not greater than 1.5% this will be satisfactory.

2

Sediment traps will be checked on a weather related basis and emptied and disposed of off site accordingly.

3

Run off water will be dispersed over grass area as the natural slope is already working in our favor little if any thing will need to be done to achieve this.

M

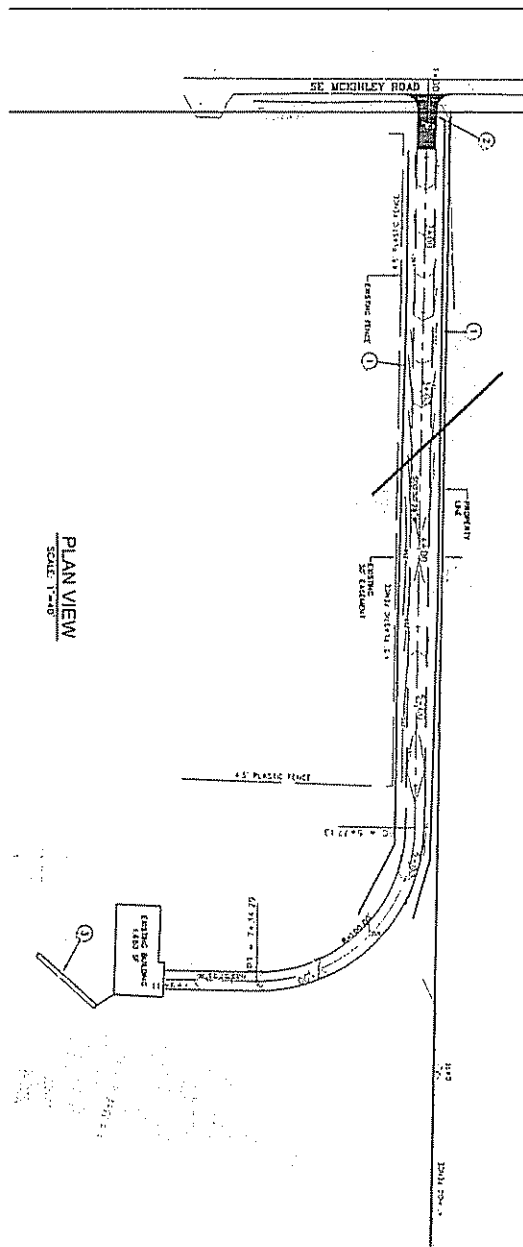
Any new stock piling will be done on site 300 feet south of the second creek and covered.

N

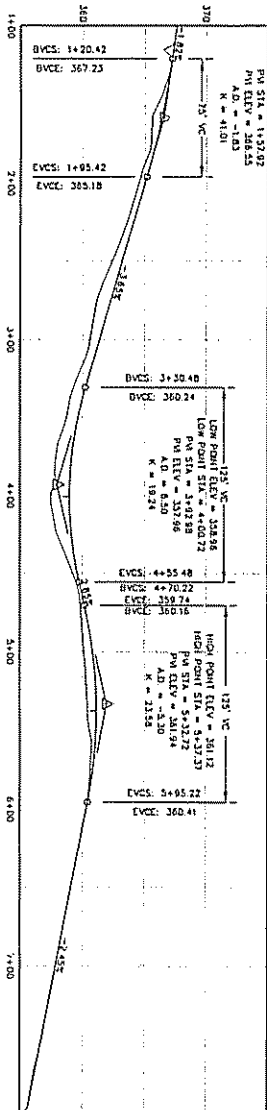
There are none of the pollutants mentioned (no action)

Both Michelle and I are environmentally aware and intend no impact to be affected to the sensitive creek areas we have on the property, and will also insure the land will be restored back to better condition than now at the completion of works.

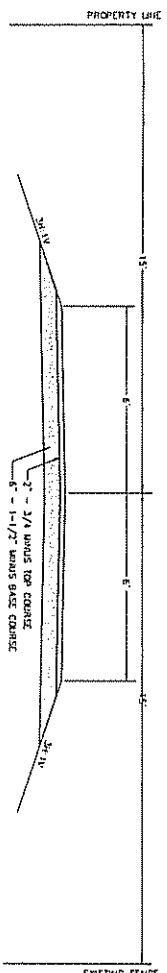
Yours sincerely Nick



PLAN VIEW  
SCALE 1"=40'



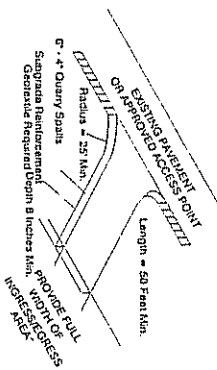
PRIVATE DRIVEWAY PROFILE  
SCALE 1"=5' VERTICAL  
SCALE 1"=40' HORIZONTAL



PRIVATE DRIVEWAY SECTION  
SCALE 1"=5' VERTICAL

### CONSTRUCTION NOTES

1. INSTALL TEMPORARY SLOPE PROTECTION BEFORE CONSTRUCTION BEGINS. SEE DETAIL ON SHEET 2.
2. CONSTRUCTION ENTRANCE, SEE DETAIL ON SHEET 1.
3. CONSTRUCTION 50' LONG SQUARE TRUCKS FOR DETAIL ON SHEET 2.



\*20' MIN. FOR SINGLE FAMILY AND DUPLEX RESIDENTIAL.

### GRAVEL CONSTRUCTION ENTRANCES:

1. STABILIZED CONSTRUCTION ENTRANCES SHALL BE INSTALLED AT THE BEGINNING OF CONSTRUCTION AND MAINTAINED FOR THE DURATION OF THE PROJECT. ADDITIONAL MATERIALS SHALL BE PROVIDED TO MAINTAIN THE ENTRANCE AND NOT FOR CONSTRUCTION OF THE PROJECT.
2. ALL VERTICAL CURVING THE SITE SHALL BE BY DRAWING AND NOT BY THE DRIVE.
3. CONSTRUCTION ENTRANCES SHALL BE PLACED WHERE THERE IS NO EXISTING UTILITY, AND NO OTHER OBSTACLES. GRAVEL ENTRANCES SHALL BE PLACED WHERE THERE IS NO EXISTING UTILITY, AND NO OTHER OBSTACLES.
4. GRAVEL ENTRANCES SHALL BE PLACED WHERE THERE IS NO EXISTING UTILITY, AND NO OTHER OBSTACLES.

### GENERAL EROSION CONTROL NOTES:

1. SEE DETAIL EROSION AND SEDIMENT CONTROL NOTES ON SHEET 3.
2. THE CONTINUATION SHALL WATER DOWN TO ELIMINATE FURROWS AND BLOWING DUST ORIGINATING FROM THE SITE. THE STABILIZED IN THE COUNTY EROSION CONTROL DISTRICT SHALL BE CONSIDERED AVOIDANCE OF THE EROSION CONTROL STANDARDS.

TOTAL AREA OF STABILIZED GRAVEL  
ENTRANCE: 2,100 SQ. YD.  
GRAVEL QUANTITIES  
FOR 12' WIDE TOP COURSE  
AND 1'-1/2' WIDE BASE COURSE  
ARE 12,000 CY.