



MULTNOMAH COUNTY
LAND USE AND TRANSPORTATION PROGRAM
1600 SE 190TH Avenue Portland, OR 97233
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<http://www.co.multnomah.or.us/landuse>

GRADING AND EROSION CONTROL PERMIT

CASE FILE: T1-08-011

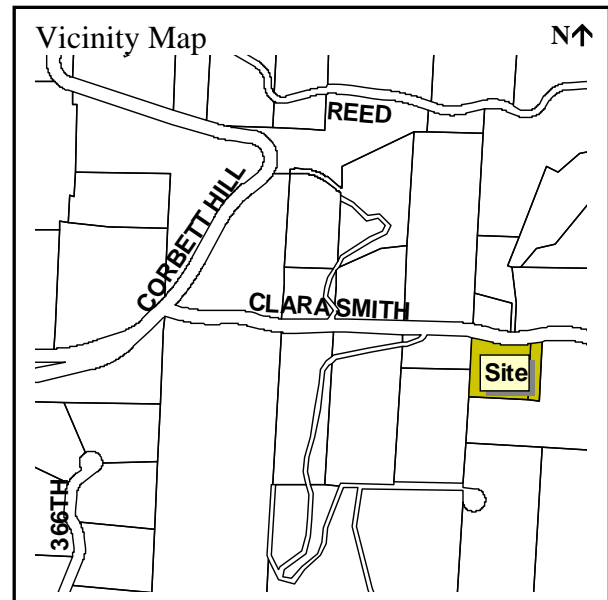
October 28, 2008

Request: Grading and Erosion Control Permit application for grading activities associated with the construction of a replacement dwelling and accessory building on the subject site. Land Use Decision, T2-08-029 authorized these structures in the National Scenic Area.

Location: 37230 NE Clara Smith Road
Tax Lots 600 & 700, Sec 26DC,
T 1N, R 4E, W.M.
Tax Account # R94426-0700 &
R94426-0150

Applicant: Eric Windust

Owners: Eric & John Windust & Brianne King



ORDINANCE REQUIREMENTS:

Applicable standards for this permit can be found in Chapter 29.330 et seq., Grading and Erosion Control Code of the Multnomah County Building and Specialty Codes, copies of which are available at our office.

MODIFICATIONS AND LIMITATIONS:

This permit is based on written narrative(s) and plan(s) provided by the applicant (attached). No development shall occur under this permit other than that which is specified within these documents. It shall be the responsibility of the property owners to comply with these documents and the limitations described herein.

Prior to any land disturbing activities:

1. When you are ready to start the grading work approved in this permit, call the Staff Planner, Lisa Estrin at (503) 988-3043 extension 22597, to set up an appointment for plan check, payment of the \$77 inspection fee, and issuance of the Erosion Control Permit notice card. You will need to provide 2 copies of the approved erosion control plan. The permit notice card is to be posted at the driveway entrance in a clearly visible location. This notice is to remain posted until such time as the grading work is completed. In the event the notice is lost, destroyed, or otherwise removed prior to completion of the grading work, the applicant shall immediately contact the Land Use Planning office to obtain a replacement.
2. Prior to land use sign off for the building permit, the property owners or their representative shall

modify the Grading and Erosion Control Plan (Exhibit 4) as follows:

- a. Show the correct design for the two driveways accessing Clara Smith Road as approved in T2-08-015.
- b. Modify the proposed grading area so that no ground disturbance will occur within the 50 ft wide buffer zone for the intermittent stream, except for the 20 ft long soakage trench for the dwelling.
- c. Modify the plan to show an additional silt fence immediately downslope of the disturbance area for the dwelling's infiltration trench. [Condition No. 15, T2-08-015]
- d. Relocate the infiltration trench for the accessory structure outside of the 50 ft stream buffer zone. In addition, Firwood Design Group has indicated that the trench length for the accessory building needs to be increase to 16 ft in length to meet the 10-year, 24 hour storm event volume for a 1,500 sq. ft. building. [Condition No. 16, T2-08-015 & MCC 29.345(A)(1)(d)]
- e. Show the additional vegetation required to be planted as specified in the land use decision, T2-08-015 on Exhibits A.21 and Exhibit B.5 of T2-08-015.
- f. Note Condition No. 6 of T2-08-015 on the site plan/grading and erosion control plan.
- g. Designate a stockpile area on the site plan/grading and erosion control plan, in case it is needed, to ensure earth materials are not stored within the 50 ft stream buffer or will impact adjacent properties.

On-going restrictions:

1. The property owners (or representative thereof) shall maintain best erosion control practices through all phases of development. The property owners shall ensure the erosion control measures shown on the above modified Grading and Erosion Control Plan are implemented prior to ground disturbance. The property owners shall ensure post construction re-establishment of vegetative ground cover for disturbed soil. **The property owners shall verify that all erosion control measures are properly working through out the project until vegetation has been re-established.**
2. Any and all stockpiled earth materials shall be stored in the designated stock pile area. Stockpiled soil/dirt shall be covered with plastic or mulch to prevent movement into undesignated areas.
3. This permit does not authorize dumping or disposal of hazardous or toxic materials, synthetics (i.e. tires), petroleum-based materials, or other solid wastes which may cause adverse leachates or other off-site water quality effects.
4. On-site disposal of construction debris is not authorized under this permit. Construction debris removed off-site shall be taken to a location approved for the disposal of such material by applicable Federal, State and local authorities.
5. The property owners are responsible for removing any sedimentation caused by development activities from all neighboring surfaces and/or drainage systems. If any features within the adjacent right-of-way are disturbed, the property owners shall be responsible for returning such features to their original condition or a condition of equal quality.
6. The area of disturbance for the subject property shall be limited to the area delineated on the revised Grading and Erosion Control Plan. No other ground disturbance is authorized by this permit.
7. The County may supplement described erosion control techniques if turbidity or other down

slope erosion impacts result from on-site soil disturbance related to the development. The Portland Building Bureau (Special Inspections Section), the local Soil and Water Conservation District, or the U.S. Natural Resource Conservation Service can also recommend measures to respond to unanticipated erosion events.

8. All stormwater run-off created by new impervious surfaces (replacement dwelling and accessory structure) shall be directed to the on-site stormwater system for each building.

Follow up requirements after grading:

9. The revegetation of the infiltration trench for the dwelling, accessory structure and any other disturbed area shall be planted and restored within 90 days of the work's completion and by October 1st of the year in which construction occurs.
10. All required trees shall be planted by the end of the next growing season after the occupancy of the replacement dwelling and use of the accessory structure.

Issued by:

Signed: Lisa Estrin, Planner
For: Karen Schilling - Planning Director

Date: Tuesday, October 28, 2008

Exhibit 1. GEC Application Form
Exhibit 2. Stormwater Certificate
Exhibit 3. Stormwater Calculations & Plan
Exhibit 4. Grading Plan