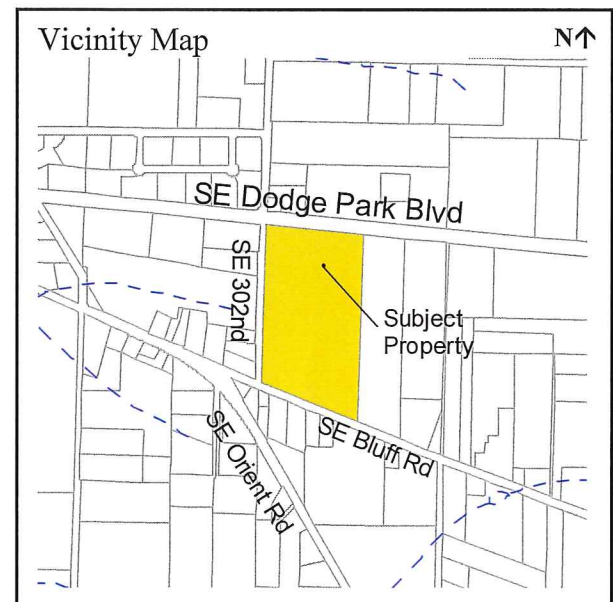


1600 SE 190<sup>th</sup> Avenue, Portland Oregon 97233-5910 • PH. (503) 988-3043 • Fax (503) 988-3389

## NOTICE OF DECISION

This notice concerns a Planning Director Decision on the land use case(s) cited and described below.

**Case File:** T2-2014-3349  
**Permit:** Design Review  
**Location:** The southeast corner of the intersection of SE Dodge Park Blvd and SE 302<sup>nd</sup> Ave.  
Tax Lot 400, Sec 20, T 1S, R 4E, W.M.  
Tax Account # 994201070  
**Applicants:** Michael McKeel  
Multnomah County Rural Fire District #10  
**Owners:** Susan Lorain Trust  
**Base Zone:** Multiple Use Agriculture-20 (MUA-20)  
**Overlays:** None



**Summary:** Design Review for a new fire station, two parking areas, landscaping, and a training pad.

**Decision:** Approved with Conditions

Unless appealed, this decision is effective Friday, August 29, 2014, at 4:00 PM.

Issued by:

By:   
Don Kienholz, Planner

For: Karen Schilling- Planning Director

Date: Friday, August 15, 2014

**Opportunity to Review the Record:** A copy of the Planning Director Decision, and all evidence submitted associated with this application, is available for inspection, at no cost, at the Land Use Planning office during normal business hours. Copies of all documents may be purchased at the rate of 30-cents per page. The Planning Director Decision contains the findings and conclusions upon which the decision is based, along with any conditions of approval. For further information on this case, contact Don Kienholz, Staff Planner at 503-988-3043, ext. 29270 or don.d.kienholz@multco.us.

**Opportunity to Appeal:** This decision may be appealed within 14 days of the date it was rendered, pursuant to the provisions of MCC 37.0640. An appeal requires a \$250.00 fee and must state the specific legal grounds on which it is based. To obtain appeal forms or information on the procedure, contact the Land Use Planning offices at 1600 SE 190th Avenue (Phone: 503-988-3043). This decision cannot be appealed to the Land Use Board of Appeals until all local appeals are exhausted.

**This decision is final at the close of the appeal period, unless appealed. The deadline for filing an appeal is Friday, August 29, 2014 at 4:00 pm.**

**Applicable Approval Criteria:** Multnomah County Code (MCC) and Multnomah County Road Rules (MCRR): MCC 36.7000 through 36.7055 Design Review Criteria.

Copies of the referenced Multnomah County Code (MCC) and Multnomah County Road Rules (MCRR) sections can be obtained by contacting our office at 503-988-3043 or by visiting our website at <http://www.co.multnomah.or.us/landuse> or <http://web.multco.us/transportation-planning>.

### **Scope of Approval**

1. Approval of this land use permit is based on the submitted written narrative(s) and plan(s). No work shall occur under this permit other than that which is specified within these documents. It shall be the responsibility of the property owner(s) to comply with these documents and the limitations of approval described herein.
2. Please be advised that land use application T3-2013-3149 authorizing the community service use expires prior to this application expiring. All conditions of approval associated with case T3-2013-3149 shall be met prior to the expiration date of the T3-2013-3149 land use approval. Expiration of the T3-2013.3149 may impact the validity of this permit pursuant to MCC 37.0690.

## **Conditions of Approval**

The conditions listed are necessary to ensure that approval criteria for this land use permit are satisfied. Where a condition relates to a specific approval criterion, the code citation for that criterion follows in parenthesis.

- 1. All conditions of approval from the Community Service and Land Division case T3-2013-3149 are applicable and must be satisfied as part of this application.**
- 2. The property owner shall plant a 20-foot wide landscape strip adjacent to the fire apparatus and staff ingress driveway the full length of the 30-foot setback on the north side of the SE 302<sup>nd</sup> Ave access point [MCC 36.7055(C)(1)].**
- 3. The property owner shall relocate the equipment located on the east side of the training pad to accommodate the required screening vegetation. In place of the equipment area, the property owner shall continue the 5-foot wide planting strip around the training pad along the 40-foot length where the equipment was located in order to comply with a vegetative screening condition adopted in case file T3-2013-3149 [T3-2013-3149; 36.4200(A); 36.7050(A)(7); MCC 36.7055(C)(1); 36.7055(C)(3)(b)].**
- 4. Additional landscaping required in open lawn areas.**

**A. For the open lawn area directly east of the fire station and living quarters, the property owner may choose one of the following:**

- 1. The property owner shall reconfigure the 20 trees shown on the August 5 landscaping plan between the training pad and guest parking lot and locate them such that they are placed throughout the lawn area and break up the approximately 13,000 square feet of open lawn. The landscaped buffer around the training pad must also remain landscaped pursuant to the conditions of approval of T3-2014-3149. Additional plantings may be included at the option of the property owner.**

**Or**

- 2. The property owner may choose to keep the proposed planting plan for the area between the training pad and guest parking area in the August 5, 2014 landscape plan and add 10 trees spread throughout the lawn area with the purpose of breaking up the approximately 13,000 square feet of open lawn. Additional plantings may be included at the option of the property owner.**

**B. For the open lawn area directly adjacent to SE 302<sup>nd</sup> Ave.:**

- 1. The property owner shall plant 6 deciduous trees, a minimum of 6-feet tall at planting, roughly 50-feet apart within the identified Tree Zone as shown on Exhibit B.6 to break up the open lawn**

**area. The tree zone begins at a point 100-feet south of the property line of SE Dodge Park Right-of-Way and continues to the north side of the SE 302<sup>nd</sup> Ave access point. In addition, the property owner shall plant 50 1-gallon shrubs within the Shrub Zone as shown on Exhibit B.6 to break up the open lawn area. Additional plantings may be included at the option of the property owner.**

**[MCC 36.7055(C)(2)].**

- 5. All landscaping features shall be installed prior to issuance of final occupancy.**
- 6. An in-ground sprinkler system shall be installed prior to issuance of final occupancy to help maintain landscaped areas [MCC 36.7055(C)(4)].**
- 7. The property owner shall continuously maintain the landscaped areas [MCC 36.7055(C)(5)].**

**Note:** Once this decision is final and a grading and erosion control permit has been issued, application for building permits may be made with the City of Gresham. When ready to have building permits signed off, the applicant shall call the Staff Planner, Don Kienholz, at (503) 988-3043 ext. 29270 or [don.d.kienholz@multco.us](mailto:don.d.kienholz@multco.us), for an appointment for review and approval of the conditions and to sign the building permit plans. Please note, Multnomah County must review and sign off the building permits before the applicant submits building plans to the City of Gresham. Three (3) sets each of the site plan and building plans are needed for building permit sign off. At the time of building permit review, a fee of \$70.00 will be collected. In addition, an erosion control inspection fee of \$82.00 may be required.

**Notice to Mortgagee, Lien Holder, Vendor, or Seller:**

ORS Chapter 215 requires that if you receive this notice it must be promptly forwarded to the purchaser.

## **Findings of Fact**

**FINDINGS:** Written findings are contained herein. The Multnomah County Code (MCC) criteria and Comprehensive Plan Policies are in **bold** font. Staff analysis and comments are identified as ‘**Staff:**’ and address the applicable criteria. Staff comments may include a conclusionary statement in *italic*.

### **1.00 Project Description:**

**Staff:** The applicant is seeking Design Review of a fire station approved by County case T3-2014-3149 on July 3, 2014. Approval of this application will satisfy Condition of Approval #1 from that decision.

### **2.00 Property Description and History:**

**Staff:** The subject property is in the Multiple Use Agriculture -20 (MUA-20) zoning district within the West of the Sandy River Rural Plan Area. The site is located just outside of the Acknowledged Rural Community of Orient and the Orient Rural Center. The area generally consists of smaller parcels of residential land associated with the Rural Center and larger parcels in farm use or growing nursery stock. To the immediate southwest is the Orient Elementary School and junior high.

The subject property has been historically farmed along with the 16-acre parcel to the immediate east, which is currently under the same ownership of the subject property. Both properties were part of a Measure 37 claim with the County in 2005. Later, the land owner applied for, and was granted, a Measure 49 waiver. That waiver has not been utilized at this point and it should be noted that approval of this land use application to divide the property could impact land owner’s future exercise of the Measure 49 waiver.

More recently, the application T3-2013-3149 for a fire station (Community Service) and Category 1 Land Division were approved by a hearings officer. This application is required under MCC 36.6005(B) and fulfills Condition of Approval #1 from T3-2013-3149.

### **3.00 Design Review:**

#### **DESIGN REVIEW**

##### **MCC 36.7000 PURPOSES.**

**MCC 36.7000 through 36.7065 provides for the review and administrative approval of the design of certain developments and improvements in order to promote functional, safe, innovative and attractive site development compatible with the natural and man-made environment.**

##### **MCC 36.7005 ELEMENTS OF DESIGN REVIEW PLAN.**

**The elements of a Design Review Plan are: The layout and design of all existing and proposed improvements, including but not limited to, buildings, structures, parking and circulation areas, outdoor storage areas, landscape areas, service and delivery areas, outdoor recreation areas, retaining walls, signs and graphics, cut and fill actions, accessways, pedestrian walkways, buffering and screening measures**

**MCC 36.7010          DESIGN REVIEW PLAN APPROVAL REQUIRED.**

**No building, grading, parking, land use, sign or other required permit shall be issued for a use subject to this section, nor shall such a use be commenced, enlarged, altered or changed until a final design review plan is approved by the Planning Director, under this ordinance.**

**Staff:** The subject application is for the fire station, parking areas, landscaping, and training pad approved under County case T3-2013-3149. Any future modifications to the use, structures, parking areas, or training facilities are required to go through Design Review unless specifically exempted by County Code at the time of application.

**MCC 36.7050          DESIGN REVIEW CRITERIA**

**(A) Approval of a final design review plan shall be based on the following criteria:**

**(1) Relation of Design Review Plan Elements to Environment.**

- 3.01                      **(a) The elements of the design review plan shall relate harmoniously to the natural environment and existing buildings and structures having a visual relationship with the site.**

**Staff:** The Design Review is for a parcel that is being created as part of a category 1 land division that has not been recorded with the County Surveyor. When the final plat is recorded, the area of design review will be on a vacant parcel.

The proposed fire station will be in line with contour lines that drop from the northeast to the southwest. Parking has been designed to be perpendicular to the contours. The applicant states the design is to provide views of scenic Mount Hood to the southeast for the fire station. The applicant has provided color photos of the proposed materials (Exhibit A.20). The colors consist of black for the siding of the living quarters, brown wood siding for the middle section, and a gray metal siding for the apparatus bay.

The building is set back from the public roads as is common in the rural area. The apparatus bay is proposed to be constructed similarly to metal pole buildings commonly found in the rural area while the living quarters is designed with sharp perpendicular edges also commonly found in the rural area.

*Criterion met.*

- 3.02                      **(b) The elements of the design review plan should promote energy conservation and provide protection from adverse climatic conditions, noise, and air pollution.**

**Staff:** The applicant has designed the building to take advantage of sunlight to reduce electrical use. Efficient light fixtures are proposed as well as low flow plumbing fixtures, Energy Star rated appliances and high efficiency climate controls for heating and cooling.

*Criterion met.*

- 3.03                    **(c) Each element of the design review plan shall effectively, efficiently, and attractively serve its function. The elements shall be on a human scale, inter-related, and shall provide spatial variety and order.**

**Staff:** The design of the fire station, parking, pedestrian areas, vehicular paths and utilities work together to prevent potential conflicts and provide efficient flow of vehicles. The overall design of the fire station is orderly and attractive from a human scale.

*Criterion met.*

- 3.04                    **(2) Safety and Privacy - The design review plan shall be designed to provide a safe environment, while offering appropriate opportunities for privacy and transitions from public to private spaces.**

**Staff:** Safety and privacy have been a focal point of the design. The building is set back from the property lines to provide privacy for the staff of the station. Additionally, the living quarters have been separated from the public parking area complete with a separate access point. The station has also been designed to reduce conflicts between emergency calls and everyday traffic by separating access points and including clear signage.

*Criterion met.*

- 3.05                    **(3) Special Needs of Handicapped - Where appropriate, the design review plan shall provide for the special needs of handicapped persons, such as ramps for wheelchairs braille signs.**

**Staff:** The station has been designed to have handicap accessible parking and building access.

*Criterion met*

- 3.06                    **(4) Preservation of Natural Landscape - The landscape and existing grade shall be preserved to the maximum practical degree, considering development constraints and suitability of the landscape or grade to serve their functions. Preserved trees and shrubs shall be protected during construction.**

**Staff:** The applicant is proposing to grade the entire site in order to alter the existing slopes to accommodate the large fire apparatus that will utilize the site. This includes entering the property as well as exiting with clear lines of sight during emergency calls. The training pad, an area of approximately 37,000

square feet, will also be graded flat to accommodate fire vehicle maneuvering and staff drills and training. The site has historically been used for farm purposes and does not have any existing trees or shrubs that will need to be removed.

*Criterion met.*

- 3.07 **(5) Pedestrian and Vehicular circulation and Parking - The location and number of points of access to the site, the interior circulation patterns, the separations between pedestrians and moving and parked vehicles, and the arrangement of parking areas in relation to buildings and structures, shall be designed to maximize safety and convenience and shall be harmonious with proposed and neighboring buildings and structures.**

**Staff:** The fire station property is a corner lot fronting both SE Dodge Park Boulevard and SE 302<sup>nd</sup> Ave. Both streets are Rural Collectors with 100-foot spacing requirements between vehicular access points. The applicant received a Road Rules Variance for two additional access points in County case T3-2013-3149 – two on Dodge Park Boulevard and one on SE 302<sup>nd</sup> Ave. The access on SE 302<sup>nd</sup> Ave. is directly across from the East Orient Elementary School, meeting the Multnomah County Road Rules requirements for spacing. The two accesses on SE Dodge Park Boulevard are more than 100-feet from each other and from any other access points. As such the number and location of access points are appropriate to accommodate the design of the fire station.

The internal vehicle circulation is fragmented in order to separate public use from staff vehicles as well as to prevent conflicts with emergency response vehicles. The limited use of all the access points will also provide additional safety by limiting the potential of vehicular conflicts. The applicant has designed the station to have internal pedestrian paths separated from automobile maneuvering areas.

*Criterion met.*

- 3.08 **(6) Drainage - Surface drainage and stormwater systems shall be designed so as not to adversely affect neighboring properties or streets. Systems that insure that surface runoff volume after development is no greater than before development shall be provided on the lot.**

**Staff:** Storm water drainage was reviewed as part of T3-2014-3149. A condition of approval from that land use decision requires the drainage pond shown on the site plans (Exhibits A.23) to adequately handle the storm water runoff resulting from the new impervious surfaces of the fire station, parking and training pad.

*Criterion met.*

- 3.09 **(7) Buffering and Screening - Areas, structures and facilities for storage, machinery and equipment, services (mail, refuse, utility wires, and the like), loading and parking, and similar accessory areas and structures shall be designed, located, buffered or screened to minimize adverse impacts on the site and neighboring properties.**



**Staff:** The utilities for the fire station, including refuse and recycling, are located on the south side of the building within an enclosed area to provide visual buffering. The driveways, parking and maneuvering areas (including the training pad), are shown to have vegetative planting and landscaped strips that provide buffering from neighboring properties and road traffic. The training pad was required to have a vegetated screen along the east property line as a result of the T3-2013-3149 Hearings Officer decision. The Design Review site plan shows equipment in a portion of this area. Additional landscaping and buffering will be required as a condition of approval since the site plan shows an equipment area between the training pad and the neighboring property to the east that should be landscaped. A condition of approval will bring the plan into compliance with the code and with conditions of approval for case T3-2013-3149.

*Criterion met with condition of approval.*

3.10      **(8) Utilities - All utility installations above ground shall be located so as to minimize adverse impacts on the site and neighboring properties.**

**Staff:** The trash and recycling area is located to the south of the fire station adjacent to the living quarters and apparatus bay. This area is also screened and will blend in with the structures on site once built. Other utilities, such as water, cable, phone etc are required to be located underground pursuant to T3-2013-3149.

*Criterion met with condition of approval.*

3.11      **(9) Signs and Graphics - The location, texture, lighting, movement, and materials of all exterior signs, graphics or other informational or directional features shall be compatible with the other elements of the design review plan and surrounding properties.**

**Staff:** Several signs are proposed for the site affiliated with traffic access and movement, found in Exhibit A.21. None of the proposed signs include moving parts or electric lights. Five signs are proposed to be at the three access points onto the property for purposes of clearly identifying emergency vehicle access only, emergency vehicle exits and visitor parking. Handicap parking signs are located within the visitor parking lot. The signs adhere to common road signage standards and are compatible with the overall fire station plan. Sign installation is a condition of approval for Application T3-2013-3149.

*Criterion met.*

3.12      **MCC 36.7055      REQUIRED MINIMUM STANDARDS.**

**(A) Private and Shared Outdoor Recreation Areas in Residential Developments:**

**(1) Private Areas - Each ground level living unit in a residential development subject to design review plan approval shall have an accessible outdoor private space of not less than 48 square feet in area. The area shall be**

enclosed, screened or otherwise designed to provide privacy for unit residents and their guests.

**(2) Shared Areas - Usable outdoor recreation space shall be provided for the shared use of residents and their guests in any apartment residential development, as follows:**

**(a) One or two-bedroom units: 200 square feet per unit.**

**(b) Three or more bed-room units: 300 square feet per unit.**

**(B) Storage**

**Residential Developments - Convenient areas shall be provided in residential developments for the storage of articles such as bicycles, barbecues, luggage, outdoor furniture, etc. These areas shall be entirely enclosed.**

**Staff:** The Design Review is for a fire station, a Community Service, and does not include residential units. Therefore the code sections above are not applicable.

**3.13 (C) Required Landscape Areas**

**The following landscape requirements are established for developments subject to design review plan approval:**

**(1) A minimum of 15% of the development area shall be landscaped; provided, however, that computation of this minimum may include areas landscaped under subpart 3 of this subsection.**

**Staff:** The applicant has described in this Design Review application and the affiliated Grading and Erosion Control Permit and site plans that the entire 5-acre site will be graded and re-contoured. Grading and re-contouring constitutes 'development' as defined in MCC 36.0005:

***“Development – Any act requiring a permit stipulated by Multnomah County Ordinances as a prerequisite to the use or improvement of any land, including a building, land use, occupancy, sewer connection or other similar permit, and any associated grading or removal of vegetation.”***

Five acres of development encompasses 217,800 square feet of area. This code criterion requires 15% of the development area to be landscaped – which amounts to a minimum of 32,670 square feet of disturbed area.

The applicant's last submission on August 5, 2014 noted they provided 170,189 square feet of landscaped area (Exhibit A.24, A.26). However, the applicant has interpreted grass lawns as being considered landscaping and proposed several large areas to be covered in perennial Rye grass – a common lawn grass.

As discussed with the applicants, Multnomah County does not consider lawns to be landscaping under the Design Review landscaping code. Design Review's purpose is to review the "...design of certain developments and improvements in order to promote functional, safe, innovative and attractive site development compatible with the natural and man-made environment." The County's Design Review, like other jurisdictions, requires landscaping that features plants, bushes, trees and other decorative features as part of the landscaping design for visual interest and attractiveness. For businesses, schools, and other community service and conditional uses, lawn grass may be intermingled with other shrubs and trees to create distinct and purposefully designed landscaped areas with visual interest - such as picnic areas, park bench areas, pedestrian paths with mixtures of trees, bushes, shrubs, and grasses. However, expansive and open lawns do not qualify as landscaping for the purposes of design review for community services such as the Fire Station.

Based on the above interpretation, staff analyzed the landscaping plan and calculated the landscaped area as totaling of 29,615 square feet but rounded up to 30,000 square feet (Exhibit B.5 includes calculations). This number differs from the applicant's calculation of 170,189 square feet due to lawn and rough seed not being considered landscaping, staff not including identified landscaped areas in the Right-of-Way or including drainage swales that included only typical lawn grass. Based on this, roughly 2,700 square feet of additional landscaping must be provided.

The applicant's August 5, 2014 landscaping plan does not show landscaping in two areas where the codes requires it: Adjacent to the SE 302<sup>nd</sup> Access point and a 40-foot segment between the training pad and adjacent property to the east. A condition of approval will require a landscaped strip measuring 20-feet wide by 30-feet deep (the full 30-foot setback from the property line) on the north side of the access point to SE 302nd Ave. That will add approximately 600 square feet to the landscaping.

A condition of approval will also require the equipment located between the training pad and adjacent property to the east to be relocated so that the training pad will have a continuation of the landscape strip on the east side as required in the Hearing Officer's decision for T3-2013-3149. That strip will be an additional 40-foot length to the 5-foot wide planting area adding 200 square feet to the landscaping.

With the addition of landscaped areas discussed above, 1,870 square feet of landscaping is needed to fulfill this criterion. Conditions of approval will require additional landscaping to satisfy this criterion.

*Criterion met.*

3.14 **(2) All areas subject to the final design review plan and not otherwise improved shall be landscaped.**

**Staff:** Because the entire site is being graded and re-contoured, all 5-acres are part of the area subject to the final design review plan. That means any area not

improved with a structure, parking, driveway, training pad or utility must be landscaped. As discussed in Finding 3.13, lawn grass is not considered landscaping for the purposes of Design Review of Community Service Uses. The applicant's Landscaped Areas plan (Exhibit A.24, A.25) calculates a total area of 170,189 square feet being landscaped, including 134,039 square feet of lawn grass. The lawn covers three main areas:

- The area of the septic system and back up septic field
- West of the apparatus bay (Approximately 20,400 square feet of open lawn)
- East of the living quarters (Approximately 13,000 square feet of open lawn)

The septic system and backup system areas cannot have landscaping trees, shrubs or bushes planted due to their impact on the functionality of the septic system and backup system area. However, the other two areas cannot consist of expansive areas of lawn grass and still satisfy this criterion.

In order to approve the application, staff has included conditions of approval that will provide prescriptive landscaping requirements for the two open space lawn areas that will provide full landscaping.

*Criterion met with condition of approval.*

3.15 **(3) The following landscape requirements shall apply to parking and loading areas**

**(a) A parking or loading area providing ten or more spaces shall be improved with defined landscaped areas totaling no less than 25 square feet per parking space.**

**Staff:** Both parking areas for the fire station have more than 10 parking spaces each. The applicant has provided the necessary amount of landscaping surrounding the parking areas as required under this criterion.

*Criterion met.*

3.16 **(b) A parking or loading area shall be separated from any lot line adjacent to a street by a landscaped strip at least 10 feet in width, and any other lot line by a landscaped strip at least 5 feet in width.**

**Staff:** All parking and loading areas are separated from a lot line or street by landscaping strips except for the southern 40-feet of the training pad which has a proposed equipment area. A condition of approval will require the equipment be relocated and replaced with a vegetative landscaping strip.

*Criterion met with condition of approval.*

3.17 **(c) A landscaped strip separating a parking or loading area from a street shall contain**

1. **Street trees spaces as appropriate to the species, not to exceed 50 feet apart, on the average;**
2. **2. Low shrubs, not to reach a height greater than 3'0", spaced no more than 5 feet apart, on the average; and**
3. **Vegetative ground cover.**

**Staff:** The public parking off of SE Dodge Park Boulevard is separated from the street by a landscaped strip. The composition of the landscape strip satisfies this criterion.

*Criterion met.*

3.18

**(d) Landscaping in a parking or loading area shall be located in defined landscaped areas which are uniformly distributed throughout the parking or loading area.**

**Staff:** The applicant has located defined landscaping strips along the public parking lot and the staff parking lot. The planting plans adequately distribute the trees, bushes and shrubs throughout the landscaping strips. An additional landscaped area needs to be located adjacent to the access onto SE 302<sup>nd</sup> Ave and will be satisfied with a condition of approval.

*Criterion met.*

3.19

**(e) A parking landscape area shall have a width of not less than 5 feet.**

**Staff:** All parking landscaping areas have widths of at least 5-feet as measured on the landscaping plan.

*Criterion met.*

3.20

**(4) Provision shall be made for watering planting areas where such care is required.**

**Staff:** The applicant is proposing an in-ground sprinkler system to water plants in the planting strips when needed.

*Criterion met with condition of approval.*

3.21

**(5) Required landscaping shall be continuously maintained.**

**Staff:** The property owner will be required to continuously maintain the landscaping of the property as a condition of approval.

*Criterion met with condition of approval.*

3.22 **(6) Maximum height of tree species shall be considered when planting under overhead utility lines.**

**Staff:** No overhead utilities are presently on site. As a condition of approval for the Category 1 land division in T3-2013-3149, all utilities are required to be buried. Therefore, tree height is not an issue.

*Criterion met.*

3.23 **(7) Landscaped means the improvement of land by means such as contouring, planting, and the location of outdoor structures, furniture, walkways and similar features.**

**Staff:** This code section describes the meaning of ‘landscaped.’ It is important to note that re-contouring alone does not constitute landscaping nor do areas solely planted with lawn grass. This section is used in conjunction with the purpose section of the Design Review code which states:

*“MCC 36.7000 through 36.7065 provides for the review and administrative approval of the design of certain developments and improvements in order to promote functional, safe, innovative and attractive site development compatible with the natural and man-made environment.”*(Emphasis added).

It is the County’s interpretation that landscaping for community services, businesses and public spaces is to be thoughtfully and purposely designed with distinct decorative features that produce visual interest and attractiveness in harmony with the buildings and parking areas of a property. Large grass lawns, typically found in conjunction with residential development, do not provide the necessary visual interest and decorative designs required by the Design Review approval criteria unless closely integrated into other landscape features such as trees, bushes, shrubs, ground cover, pedestrian paths, fountains etc.

#### **4.00 Conclusion**

Based on the findings, other information provided above and as conditioned, the applicant has carried the burden necessary for Design Review of the fire station approved in T3-2013-3149. This approval is subject to the conditions of approval established in this report.

## 5.00 Exhibits

‘A’ Applicant’s Exhibits

‘B’ Staff Exhibits

Exhibits with a “\*” after the exhibit # have been included as part of the mailed decision. All other exhibits are available for review in Case File T2-2014-3349 at the Land Use Planning office.

Exhibit #	# of Pages	Applicant Exhibits
A.1	1	General Application form
A.2	9	March 12, 2014 Narrative
A.3	6	Title Report and Deed Information
A.4	1	Police Services Review
A.5	1	Certification of Water Service
A.6	3	Fire Service Agency Review and Letter From Gresham Fire Department
A.7	2	Letter From Pleasant Home water District
A.8	4	City of Portland Land Use Compatibility Form
A.9	1	Storm Water Certificate for Parcel 1
A.10	1	Storm Water Certificate for Parcel 2
A.11	5	Light Designs
A.12	1	March 12, 2014 Site Plan
A.13	1	March 12, 2014 Landscaping Plan
A.14	1	March 12, 2014 Fire Station Floor Plan
A.15	2	March 12, 2014 Building Elevation Plans
A.16	1	March 12, 2014 Full Sized Grading and Erosion Control Plan
A.17	7	June 6, 2014 Amended Narrative
A.18	2	June 6, 2014 Landscaping Plan
A.19	1	June 6, 2014 Site Plan
A.20	2	June 6, 2014 Building Elevation Plans
A.21	1	Sign Design Plans
A.22	5	July 23, 2014 Narrative Addendum and Pictures of Barns
A.23*	1	August 5, 2014 Site Plan
A.24*	1	August 5, 2014 Landscape Plan
A.25	1	Plant List for Landscaping
A.26*	1	Landscaped Areas Site Plan

A.27	1	Drainage Swale Layout Sheet C200
A.28	1	Drainage Site Plan Sheet C220
A.29	1	Grading Plan for South Half of Property Sheet C320
A.30	1	Overall Utility Plan Sheet C400
A.31	1	Utility Plan South Sheet C420
A.32	1	Detail Sheet C504
'B'	#	Staff Exhibits
B.1	2	A&T Property Information
B.2	2	April 21, 2014 Complete Letter
B.3	2	July 15, 2014 Additional Review Letter
B.4	8	July 15, 2014 Opportunity to Comment and Mailing List
B.5	1	Staff Landscaping Calculation Site Plan
B.6*	1	Additional Landscaping Plan

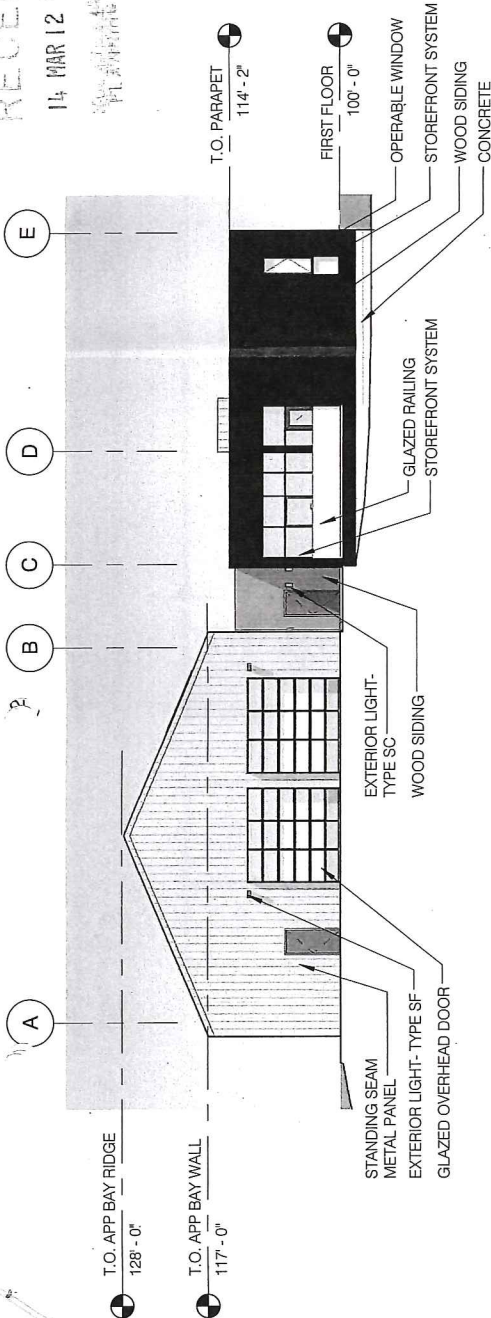


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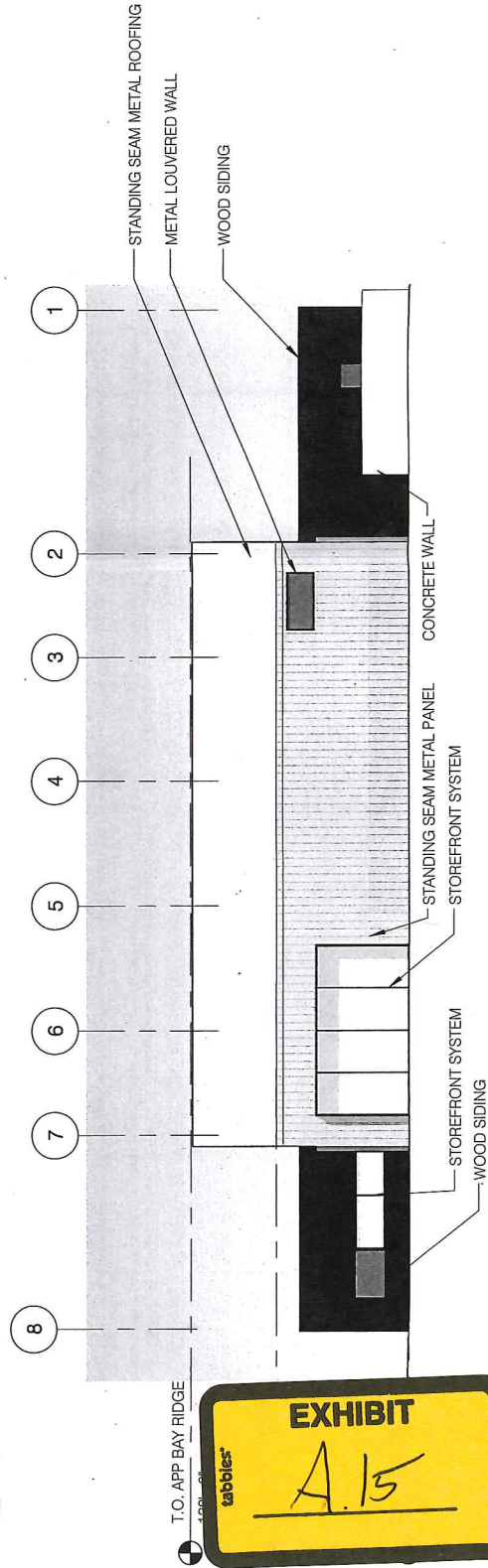
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MULTNOMAH COUNTY RURAL FIRE PROTECTION DISTRICT #10

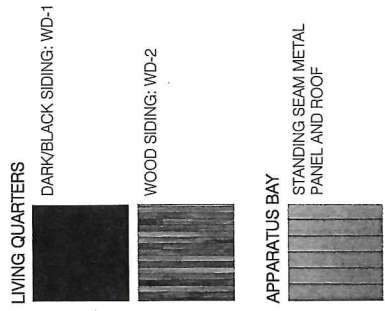
# EXTERIOR ELEVATIONS



1 FIRE STATION 76- SOUTH ELEVATION  
1/16" = 1'-0"



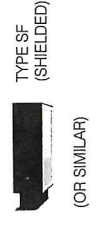
2 FIRE STATION 76- WEST ELEVATION  
1/16" = 1'-0"



FOUNDATION AND  
SITE WALLS



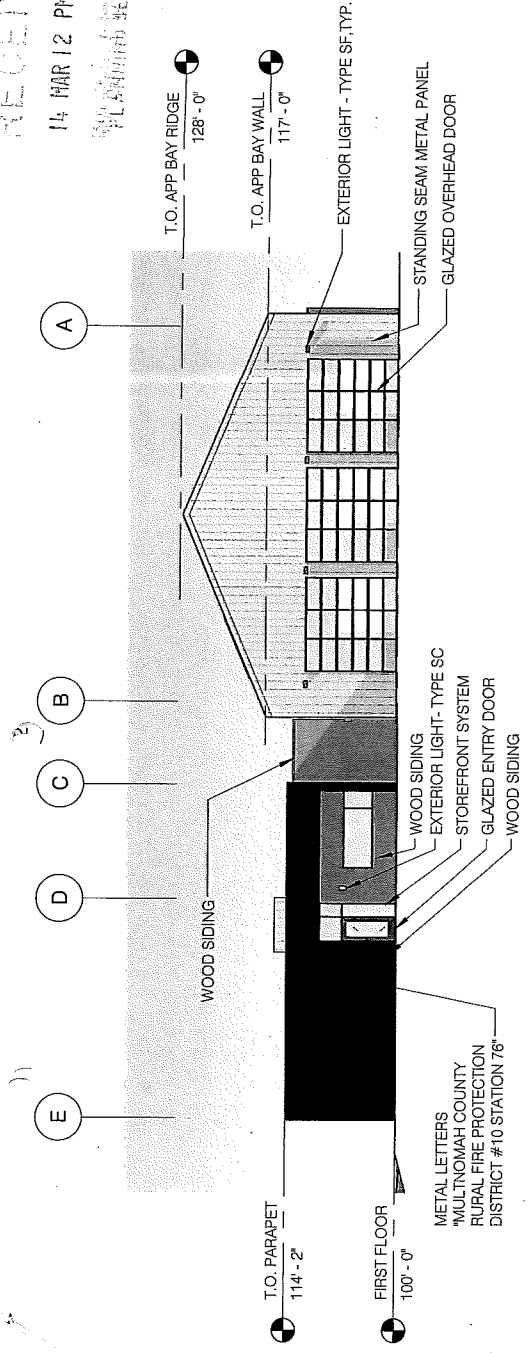
EXTERIOR BUILDING-  
MOUNTED LIGHTING



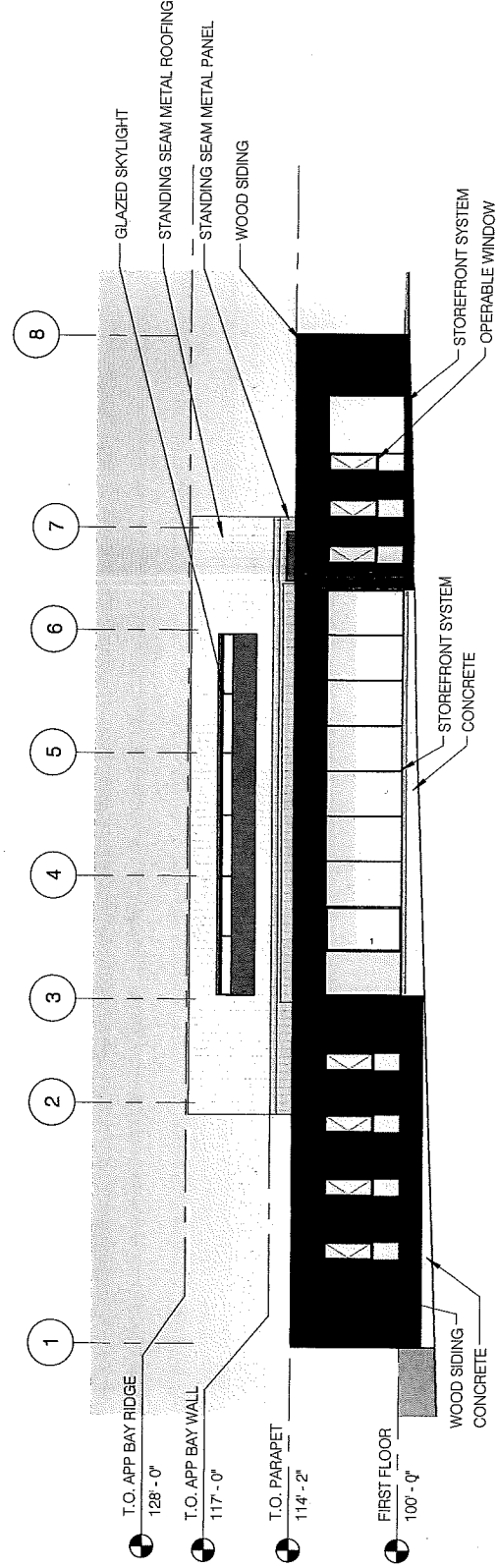
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MULTNOMAH COUNTY  
PLANNING SECTION

# EXTERIOR ELEVATIONS

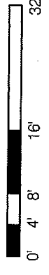


1 FIRE STATION 76- NORTH ELEVATION  
1/16" = 1'-0"



2 FIRE STATION 76- EAST ELEVATION  
1/16" = 1'-0"

- LIVING QUARTERS
- DARK/BLACK SIDING: WD-1
  - WOOD SIDING: WD-2
- APPARATUS BAY
- STANDING SEAM METAL PANEL AND ROOF
- FOUNDATION AND SITE WALLS
- CAST-IN PLACE CONCRETE
- EXTERIOR BUILDING-MOUNTED LIGHTING
- TYPE SC (SHIELDED) (OR SIMILAR)
  - TYPE SF (SHIELDED) (OR SIMILAR)



# SITE PLAN

ADDRESS: 30325 SE BLUFF ROAD  
GRESHAM, OR 97080

R#: R994201070

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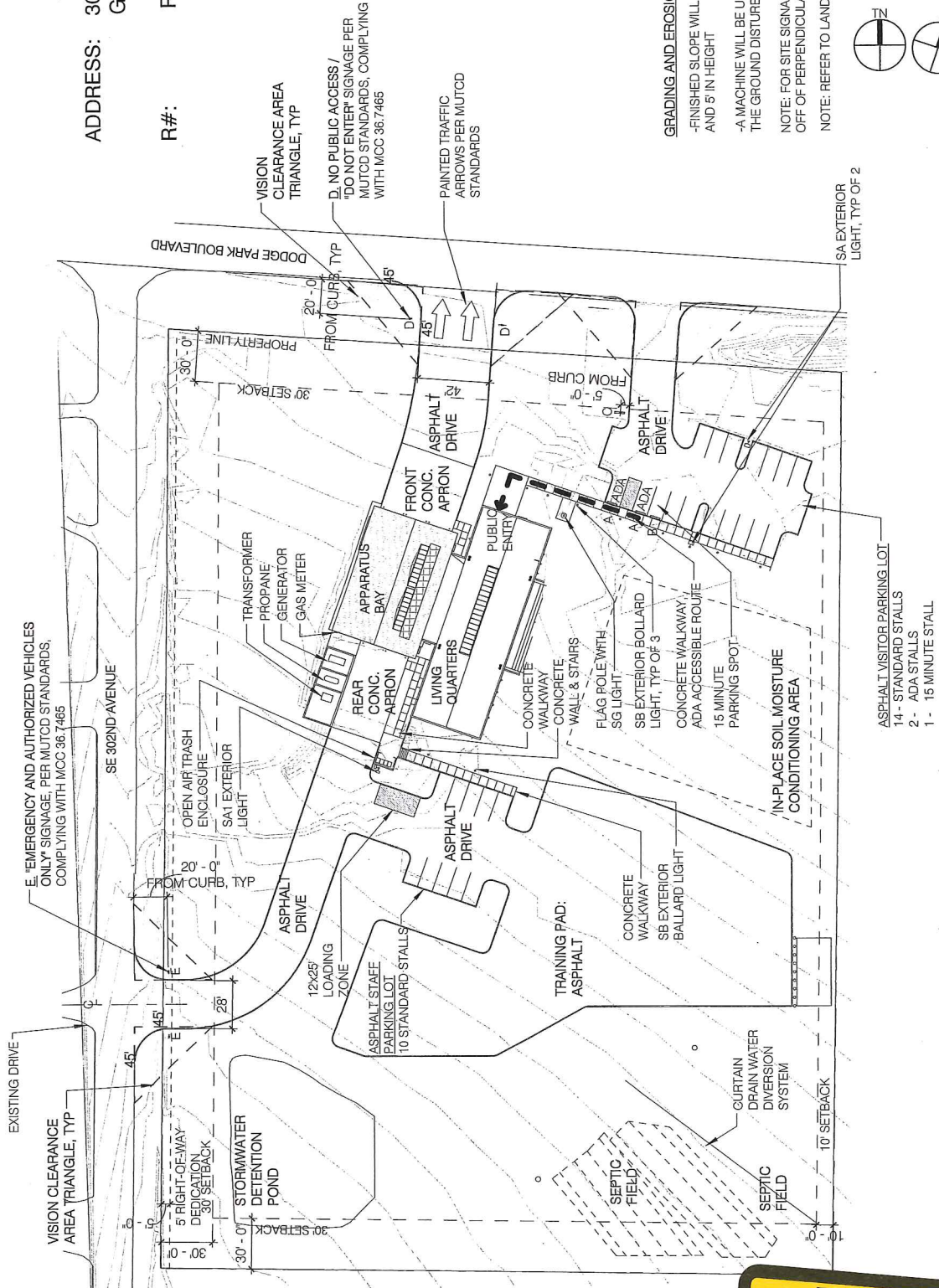
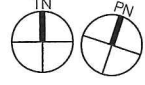
## GRADING AND EROSION CONTROL INFORMATION:

-FINISHED SLOPE WILL NOT BE OVER 33%  
AND 5' IN HEIGHT

-A MACHINE WILL BE USED TO COMPLETE  
THE GROUND DISTURBANCE

NOTE: FOR SITE SIGNAGE ELEVATIONS AND LOCATION  
OFF OF PERPENDICULAR CURB, SEE SHEET A6

NOTE: REFER TO LANDSCAPE PLAN



1 FIRE STATION 76 - SITE PLAN  
1" = 60'-0"





# LANDSCAPE PLAN

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MULTNOMAH COUNTY PLANNING SECTION

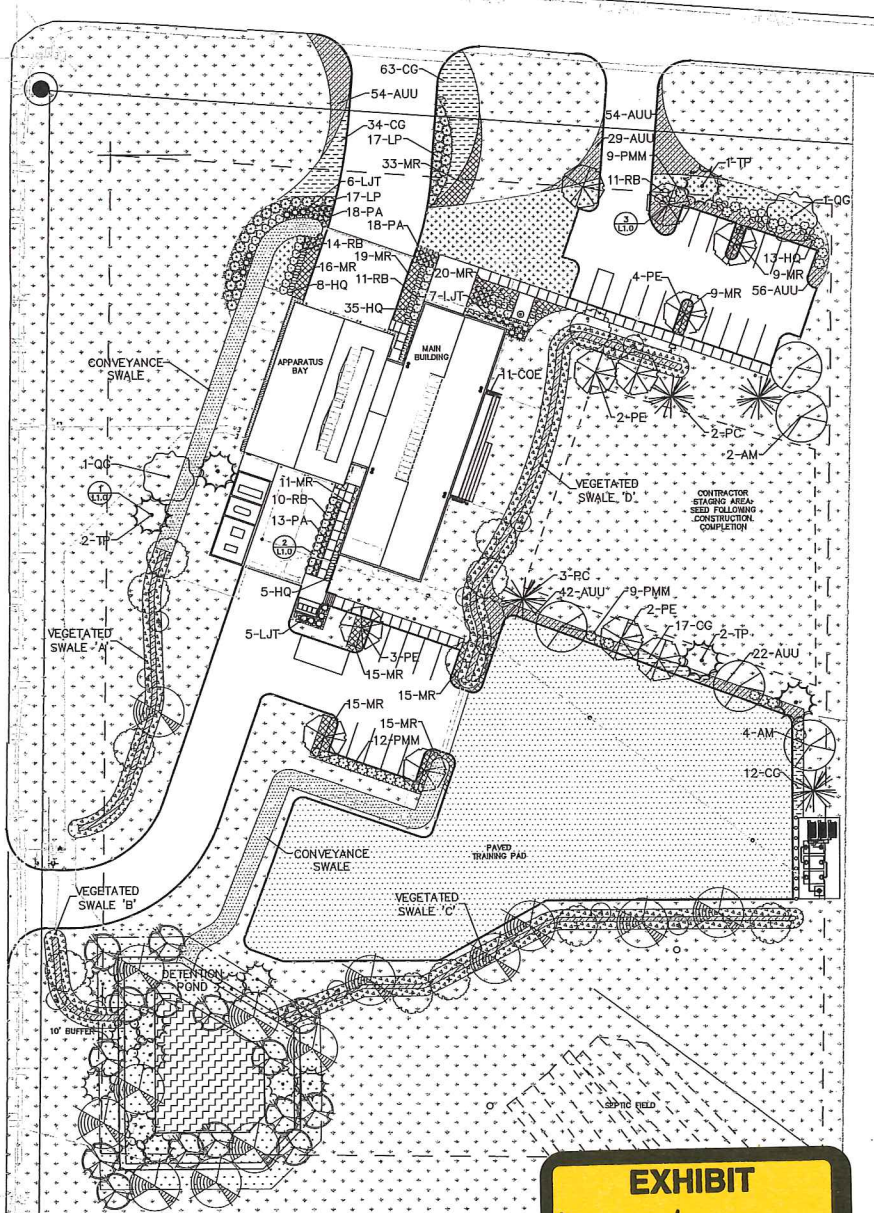
## PLANT LIST: GENERAL LANDSCAPING

SYMBOL	#	LATIN NAME / Common Name	SIZE	SPACING
<b>TREES</b>				
5	AM	ACER MACROPHYLLUM Big-leaf Maple	2" cal.	As shown
4	PC	PINUS CONTORTA Shore Pine	6'-7" ht.	As shown
11	PE	PRUNUS EMARGINATA Bitter Cherry	1 1/2" cal. tree-form	As shown
2	QG	QUERCUS GARRYANA Oregon White Oak	2" cal.	As shown
5	TP	THUJA PLICATA 'HOGAN' Hogan Western Red Cedar	6'-7" ht.	As shown
<b>SHRUBS/ORNAMENTAL GRASSES</b>				
11	COE	CAREX OSHIMENSIS 'EVERGOLD' Evergold Sedge	1 gal.	18" o.c.
59	HQ	HEDERA HELIX 'PETER DINKEL' Pier-Wee Oakleaf Hydrangea	1 gal.	3' o.c.
18	LJT	LIGUSTRUM JAPONICUM 'TEXANUM' Waxleaf Privet	5 gal.	5' o.c.
37	LP	LONGICHA PILEATA Box-leaf Honeysuckle	1 gal.	4' o.c.
30	PMH	PERNETTUM ALPOCROIDES Mugo Pine	5 gal.	5' o.c.
51	PA	PENNETTUM ALPOCROIDES Fountain Grass	1 gal.	3' o.c.
46	RB	RHODODENDRON 'BLACK WIDOW' Black Widow Rhododendron	24"-36"	4' o.c.
<b>GROUND COVER</b>				
257	AUU	ARCTOSTAPHYLOS U.L. 'VANCOUVER JADE' Vancouver Jade Kalmick	1 gal.	3' o.c.
128	MR	CEANOTHUS GLORIOSUS 'PT. REYES' Pt. Reyes Ceanothus	1 gal.	4' o.c.
177	MR	MAHONIA REPENS Creeping Mahonia	1 gal.	3' o.c.
<b>OTHER</b>				
		Rough Seed (1) 130,053 SF*	Pro-Time 705 PDX	Sow at 1 lb./1,000 SF
		Rough Seed (2) 3,986 SF	Pro-Time 705 PDX	Sow at 1 lb./1,000 SF
			Replaces PR8821 Perennial Ryegrass with PDX	
			Perennial Ryegrass	

Gravel Strip - See Architectural Sheets for more information.  
Conveyance Swale - See Civil Sheets for more information.  
\* Estimate only. Coordinate with Contractor to determine actual area.

## GENERAL NOTES:

- Contractor is to verify all plant quantities.
- Contractor is to verify all plant quantities.
- Plant beds around building are to be irrigated by an automatic, underground system, which will provide full coverage for all plant material. All other planting areas should be irrigated by a surface system. Contractor to provide irrigation system for a minimum one year. Show drip systems as alternate bid only.
- All plants are to be fully foliated, well branched and true to form.



1 LANDSCAPE PLAN  
SCALE: 1" = 60'-0"

tabbles®

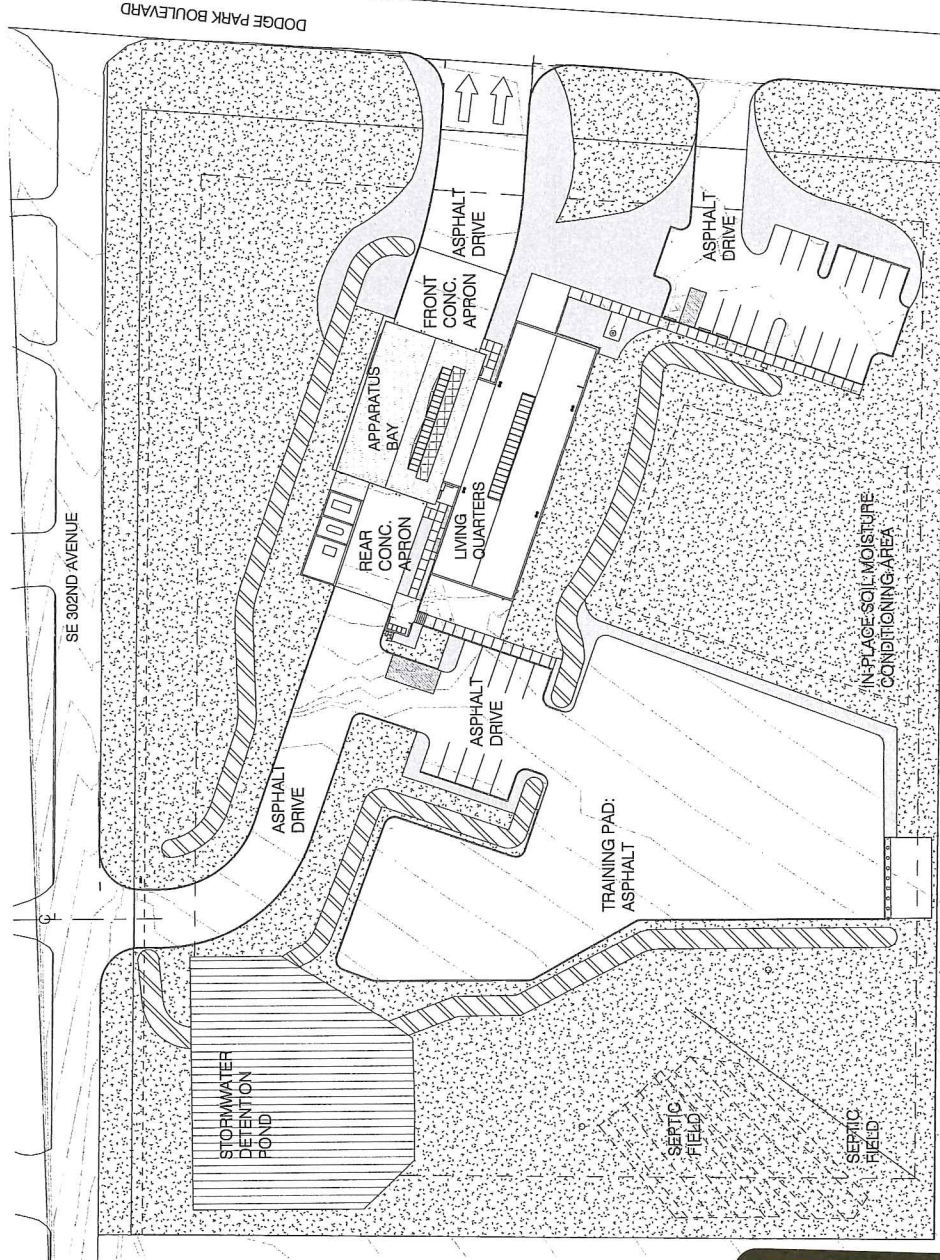
**EXHIBIT**

A.24



# LANDSCAPED AREAS

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PLANNING SECTION



## AREAS OF LANDSCAPE

[Pattern]	DEFINED LANDSCAPING:	13,550 SF
[Pattern]	CONVEYANCE AND WATER QUALITY SWALES:	10,500 SF
[Pattern]	DETENTION POND:	12,100 SF
[Pattern]	ROUGH GRASS SEED:	134,039 SF
	<b>TOTAL AREA OF LANDSCAPE:</b>	<b>170,189 SF</b>

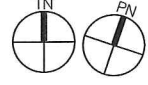
-TOTAL SF OF GROUND DISTURBANCE: ~216,058 SF

-REQUIRED LANDSCAPED AREA PER MC CODE: 15% OF 216,058 = 32,409 SF

-TOTAL AREA OF LANDSCAPING AS DEFINED BY THE MC CODE: 170,189 SF

170,189 SF > 32,409SF

NOTE: REFER TO LANDSCAPE PLAN FOR SPECIFIC PLANTINGS



FIRE STATION 76 - LANDSCAPE AREA PLAN

1" = 60'-0"





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**EXHIBIT**

A. 26



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OTHER		Pro-Time 705 PDX	Sow at 1 lb./1,000 SF
	Rough Seed (1)	130,053 SF*	
	Rough Seed (2)	3,966 SF	
	Gravel Strip	See Architectural Sheets for more information.	
	Convenience Swale	See Civil Sheets for more information.	

**GENERAL NOTES:**

1. Contractor is to verify all plant quantities.
2. Adjust plantings in the field as necessary.
3. Plant beds around building are to be irrigated by an automatic, underground system, which will provide full coverage for all plant material. All other planting areas should be watered as necessary during plant establishment. Contractor to guarantee system for a minimum one year. Show drip systems as alternate bid only.
4. All plants are to be fully foliated, well branched and true to form.

Gravel Strip — See Architectural Sheets for more information.  
Conveyance Swale — See Civil Sheets for more information.

Estimate only. Coordinate with Contractor to determine actual area.