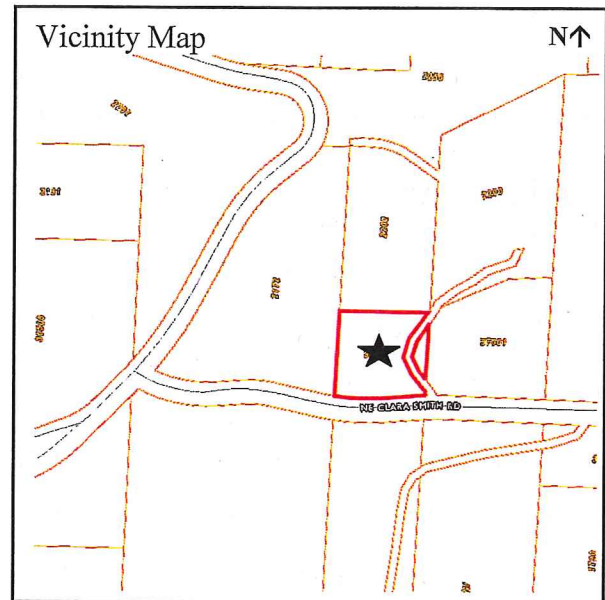


1600 SE 190<sup>th</sup> Avenue, Portland Oregon 97233-5910 • PH. (503) 988-3043 • Fax (503) 988-3389

## NOTICE OF DECISION

This notice concerns a Planning Director Decision on the land use case(s) cited and described below.

**Case File:** T2-2014-3448  
**Permit:** National Scenic Area Site Review & Major Variance  
**Location:** 36911 NE Clara Smith Road  
Tax Lot 1300, Section 26CA,  
Township 1 North, Range 4 East, W.M.  
Tax Account R944260540  
**Applicant:** Tim & Jill Leitner  
**Owner:** Tim D. Leitner, Sr & Jill A. Leitner  
**Zoning:** Gorge General Residential – 5 (GGR-5)  
**Landscape Setting:** Rural Residential

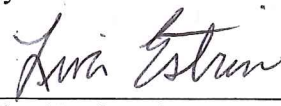


**Summary:** The applicant is requesting approval of a National Scenic Area Site Review to build a new 3,641 square foot single family dwelling and a 1,596 square foot accessory building in the Gorge General Residential – 5 zone. In addition, a Major Variance request has been submitted to reduce the street side yard requirement from 45 feet to 30 feet adjacent to the unbuilt right-of-way known as Perry-Emerson Road which bisects the property.

**Decision:** Approved with Conditions.

Unless appealed, this decision is effective Friday, October 31, 2014, at 4:00 PM.

Issued by:

By:   
Lisa Estrin, Planner

For: Karen Schilling- Planning Director

Date: Friday, October 17, 2014

Instrument Number for Recording Purposes: # 2014-064873

**Opportunity to Review the Record:** A copy of the Planning Director Decision, and all evidence submitted associated with this application, is available for inspection, at no cost, at the Land Use Planning office during normal business hours. Copies of all documents may be purchased at the rate of 30-cents per page. The Planning Director Decision contains the findings and conclusions upon which the decision is based, along with any conditions of approval. For further information on this case, contact Lisa Estrin, Staff Planner at 503-988-3043, ext. 22597.

**Opportunity to Appeal:** This decision may be appealed within 14 days of the date it was rendered, pursuant to the provisions of MCC 38.0640. An appeal requires a \$250.00 fee and must state the specific legal grounds on which it is based. To obtain appeal forms or information on the procedure, contact the Land Use Planning offices at 1600 SE 190th Avenue (Phone: 503-988-3043). This decision cannot be appealed to the Columbia River Gorge Commission until all local appeals are exhausted.

**This decision is final at the close of the appeal period, unless appealed. The deadline for filing an appeal is Friday, October 31, 2014 at 4:00 pm.**

**Applicable Approval Criteria:** Multnomah County Code (MCC) and Multnomah County Road Rules (MCRR): Gorge General Residential: MCC 38.3025(1): Single Family Dwelling Review Use, MCC 38.3060: Dimensional Requirements, MCC 38.3090: Access

Approval Criteria for Site Review: MCC 38.7035 GMA Scenic Review Criteria, and MCC 38.7035(C)(3) Rural Residential, MCC 38.7045: GMA Cultural Resource Review Criteria, MCC 38.7055: GMA Wetland Review Criteria, MCC 38.7060: GMA Stream, Lake and Riparian Area Review Criteria, MCC 38.7065: GMA Wildlife Review Criteria, and MCC 38.7070 GMA Rare Plant Review Criteria, MCC 38.7080

Major Variance: MCC 38.7600 through MCC 38.7605

Transportation Standards: MCRR 4.01 through MCRR 4.500

Copies of the referenced Multnomah County Code (MCC) and Multnomah County Road Rules (MCRR) sections can be obtained by contacting our office at 503-988-3043 or by visiting our website at <http://www.co.multnomah.or.us/landuse> or <http://web.multco.us/transportation-planning>.



## **Scope of Approval**

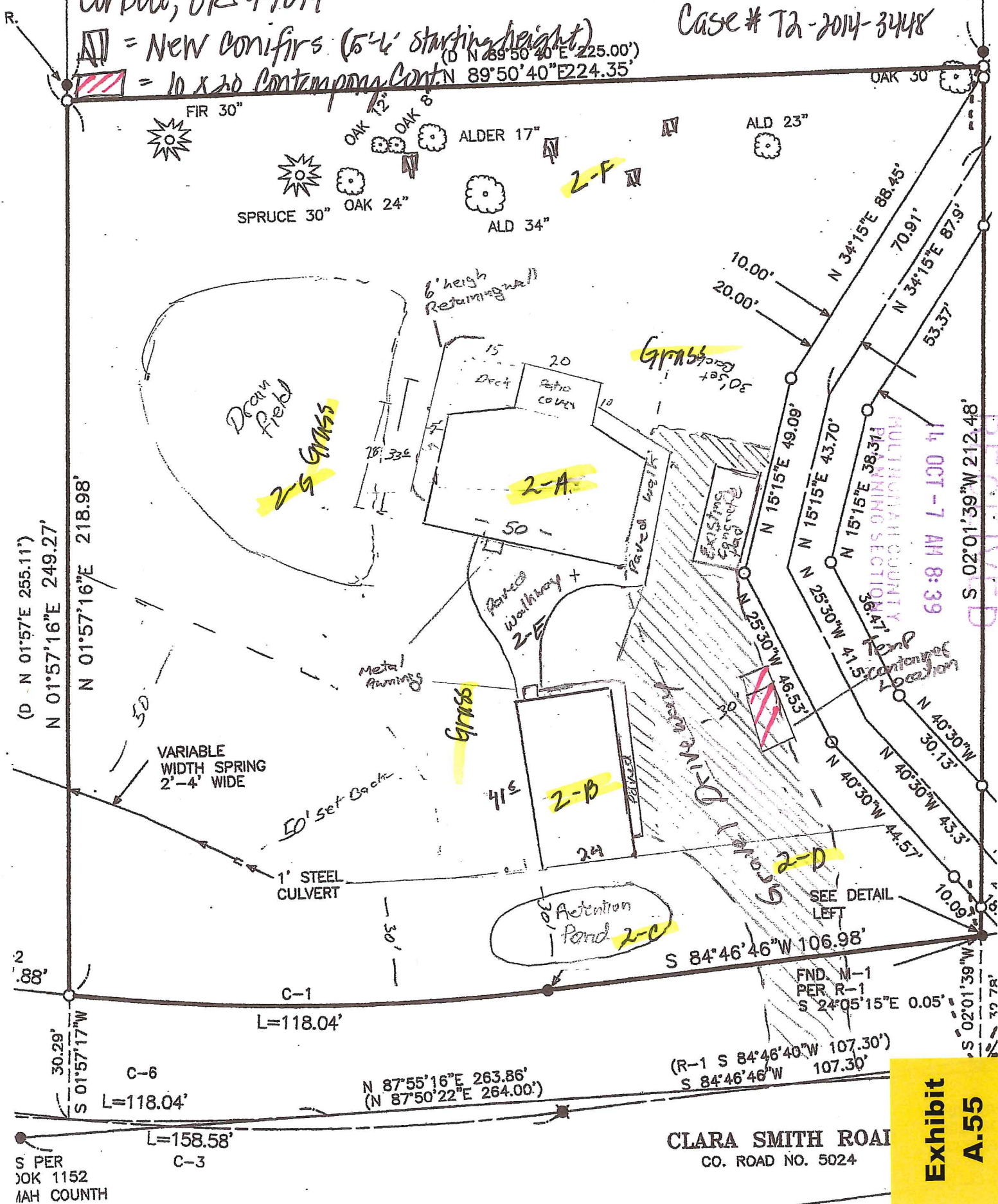
1. Approval of this land use permit is based on the submitted written narrative(s) and plan(s). No work shall occur under this permit other than that which is specified within these documents. It shall be the responsibility of the property owner(s) to comply with these documents and the limitations of approval described herein.
2. Pursuant to MCC 38.0690(B), this land use approval shall expire as follows:
  - (1) When construction has not commenced within two years of the date the final decision, or
  - (2) When the structure has not been completed within two years of the date of commencement of construction.

As used in (B)(1), commencement of construction shall mean actual construction of the foundation or frame of the approved structure. As used in (B)(2), completion of the structure shall mean:

- (a) Completion of the exterior surface(s) of the structure and
- (b) Compliance with all conditions of approval in the land use approval.

Case # T2-2014-3448

 = New conifers (5'-6' starting height)  
 = 10 x 20 Contemporary Cont.  
 FIR 30"



# Exhibit A.55





**The property owner may request to extend the timeframe within which this permit is valid, as provided under MCC 38.0700. Such a request must be made prior to the expiration date of the permit.**

### **Conditions of Approval**

The conditions listed are necessary to ensure that approval criteria for this land use permit are satisfied. Where a condition relates to a specific approval criterion, the code citation for that criterion follows in brackets.

1. Prior to land use approval for building plan check, the property owners shall record pages 1 through 3 and Exhibit A.55 with the Multnomah County Recorder's Office. The recordation of this notice and site plan shall be at the property owners' expense. Proof of recording shall be provided to Land Use Planning before authorization for building plan check. [MCC 38.0670]
2. Prior to land use sign-off for building plan check on the accessory building, the property owners shall have commenced construction of the dwelling, completed the framing, roofing and siding of the dwelling. [MCC 38.3015 and MCC 38.0015 Definitions, Accessory Structure / Building]
3. Prior to commencement of construction on the dwelling and accessory building, the appropriate building permits shall be obtained and finalized for each structure. [MCC 29.003(A) and MCC 38.0015 Definitions, Existing Use or Structure]
4. Prior to land use approval for building plan check, the property owners shall provide a construction detail showing the gutters on the northern dwelling elevation to be placed behind the barge board. The downspouts for the gutters on this elevation shall be similarly treated. [MCC 38.7035(B)(10)]
5. Pursuant to MCC 38.7050(H), if any Cultural Resources and/or Archaeological Resources are located or discovered on the property during this project, including finding any evidence of historic campsites, old burial grounds, implements, or artifacts, the following procedures shall be implemented:
  - a. **Halt Construction** – All construction activities within 100 feet of the discovered cultural resource shall cease. The cultural resources shall remain as found; further disturbance is prohibited.
  - b. **Notification** – The property owners shall notify the County Planning Director (phone #503.988.3043) and the US Forest Service (phone #541.308.1711) within 24 hours of discovery. The US Forest Service will contact the Indian Tribal governments if the cultural resources are prehistoric or otherwise associated with Native Americans. **If human remains are discovered, the State Medical Examiner and appropriate law enforcement agencies shall be notified immediately.**
  - c. **Survey and Evaluation** – The project cannot recommence until such time as a principal investigator (meeting the professional standards published in 36 CFR part 61) shall survey the cultural resources after obtaining written permission from the land owner and appropriate permits from SHPO (see ORS 273.705 and ORS 358.905 to ORS 358.955) pursuant to MCC 38.7050(G). The investigation shall gather enough information to evaluate the significance of the cultural resources. The survey and evaluation will be documented in a report that generally follows the standards in MCC 38.7050(G).
  - d. **Mitigation Plan** – Mitigation plans shall be prepared according to the information, consultation, and report standards of MCC 38.7050(G)(4) and (5). Construction activities may recommence when the conditions in the mitigation plan have been executed. [MCC 38.7050(G)]

6. No home occupation or other business use may occur within the accessory building or dwelling without further authorization by Land Use Planning of a home occupation or cottage industry application. The storage or parking of business vehicles, trailers or equipment in the accessory building is considered a business use. [MCC 38.0560 and MCC 38.3015]
7. The small, unpermitted outbuilding and cargo container shall be removed from the property within 30 days of the occupation of the dwelling. [MCC 38.0560]
8. During the construction of the accessory building, when the accessory building has been framed, a surveyor shall measure its height from finished grade to peak of roof to verify that the building is no taller than 24 feet in height. The signed and stamped survey measurement shall be submitted to Land Use Planning within 15 days of building measurement. If the building exceeds the height limitation, no further work may occur on it without first reducing its height. [MCC 38.3025(A)(3)(b)]
9. Pursuant to MCC 38.7035(A)(4), the present and future property owners shall be responsible for the proper maintenance and survival of all existing trees and required trees shown on the site plan (Exhibit A.55). If a tree becomes diseased, dies or is removed for any reason, it shall be replaced within the next planting season (spring/fall). Replacement trees shall be a minimum of six feet in height and shall be a Douglas fir, Western Red Cedar or Western Hemlock.
10. Prior to land use sign-off for building plan check, the property owners shall revise the site plan to show that the front eaves and the side eaves (east side of the building) of the accessory building are located outside of the yard setbacks of MCC 38.3060(C). In addition, the eaves on the east side of the dwelling shall not be located closer than 29 feet from the western edge of the Perry-Emerson right-of-way.
11. During the winter of 2014-2015, the property owners shall plant the four evergreen conifers as shown on Exhibit A.55. The trees shall be Douglas fir, Western Red Cedar or Western Hemlock or other evergreen tree native to Western Oregon and listed in the Scenic Resources Implementation Handbook. The conifer trees shall be a minimum of 5-6 feet in above ground height when planted. [MCC 38.7035(B)(17)]
12. Glass door on the second story off of the small deck/Master Bedroom 2 and on the first floor off of the Master bedroom 1 as shown on Exhibit A.10 shall be converted to a solid door either wood or fiberglass or other composite material (no metal) and painted one of the chosen dark brown colors or stained to match the cedar posts.
13. The exterior colors and materials for the dwelling and the accessory building shall be as listed in Exhibit A.15, A.16, A.17, A.18, A.48, and A.52. The approved accessory building shall be constructed as shown in Exhibit A.54, except as amended by other conditions of approval. The approved dwelling shall be constructed as shown on Exhibit A.9, A.11, and A.53, except as amended by other conditions of approval. [MCC 38.7035(B)(1)]
14. The light fixtures on the proposed dwelling and accessory building shall be consistent with Exhibit A.17. Any and all exterior lighting added or replaced on these structures shall be directed downward and sited, hooded and shielded such that it is not highly visible from Key Viewing Areas. Shielding and hooding materials shall be composed of non-reflective, opaque materials. [MCC 38.7035(B)(11)].
15. The 50-foot riparian buffer for the intermittent stream crossing the southwest corner of the property shall be retained in its natural condition (Exhibit A.57). Any intrusion into the 50-foot riparian buffer other than to plant vegetation by hand or mow the grass shall be reviewed through the National Scenic Area Site Review process. [MCC 38.7060]
16. Should the need to construct or widen the Perry-Emerson right-of-way to 50 feet in width occur, the current and future property owners may not object to the dedication or purchase of the

additional public right-of-way being taken completely from their lands lying east of the roadway and shall work with Multnomah County when this need arises. The 29-foot street side yard for the dwelling may not be reduced by a roadway dedication or purchase without the approval of a new variance in compliance with the rules in place at that time. This condition is pursuant to the case findings for MCC 38.7600(A)(3) and the granting of a Major Variance for the construction of the dwelling at 29 feet from the Perry-Emerson right-of-way.

**Note:** Once this decision is final, application for building permits may be made with the City of Gresham. When ready to have building permits signed off, the applicant shall call the Staff Planner, Lisa Estrin, at (503) 988-3043 ext. 22597, for an appointment for review and approval of the conditions and to sign the building permit plans. Please note, Multnomah County must review and sign off the building permits before the applicant submits building plans to the City of Gresham. Three (3) sets each of the site plan and building plans are needed for building permit sign off. At the time of building permit review for each structure, a fee of \$70.00 will be collected. In addition, an erosion control inspection fee of \$82.00 may be required.

### Findings of Fact

**FINDINGS:** Written findings are contained herein. The Multnomah County Code (MCC) criteria and Comprehensive Plan Policies are in **bold** font. Staff analysis and comments are identified as ‘**Staff:**’ and address the applicable criteria. Staff comments may include a conclusionary statement in *italic*.

#### **1.00 Project Description:**

**Staff:** The applicants are proposing to construct a new single family dwelling and detached accessory building on the subject property. The parcel is 1.02 of an acre and has an intermittent stream that cuts across the southwestern corner of the property. The proposed dwelling consists of a 1,536.4 square foot 1<sup>st</sup> floor, a 1652.275 square foot 2<sup>nd</sup> floor, a 230 square foot covered deck and an uncovered 2<sup>nd</sup> story deck of 222 square feet. Total dwelling size and visible mass is 3,641+/- square feet. To the right of the dwelling an existing concrete pad will remain to be used for a wood stack and pet area. The detached accessory building will be used on the 996 square feet ground floor as a garage and storage. The floor plan for the 2<sup>nd</sup> floor indicates its 600 square feet will be used as personal use office space with a half bath (toilet & sink). No home occupation or other business use has been proposed for the office area at this time. Staff assumes this area is for a home office or study not associated with a business and will condition that the building not be used for any business without further review and approval pursuant to MCC 38.3015 and MCC 38.0560.

Two temporary structures will be used during the construction of the dwelling. The first structure is a small unpermitted outbuilding that currently exists on the site. The second temporary structure is a cargo container to secure building materials during construction. Immediately after occupancy of the dwelling, these two temporary structures will be removed from the site.

#### **2.00 Property Description & History:**

**Staff:** The subject property is currently occupied by a small unpermitted storage shed. The previously permitted dwelling has been removed from the parcel. The existing storage building will be removed from the property upon occupancy of the dwelling. All other structures previously on the property have been removed and a large portion of the site has been graded in the past probably due to the demolition. No land use permits were found for the small existing storage shed that will remain on a temporary basis as discussed above.

#### **3.00 Gorge General Residential – 5 Approval Criteria:**

##### **3.01 § 38.3025 REVIEW USES**

**(A) The following uses may be allowed on lands designated GGR, pursuant to MCC 38.0530 (B) and upon findings that the NSA Site Review standards of MCC 38.7000 through 38.7085 have been satisfied:**

**(1) One single-family dwelling per legally created parcel.**

**(a) If the subject parcel is located adjacent to lands designated GGA or GGF, the use shall comply with the buffer requirements of MCC 38.0060; and**

**(b) If the subject parcel is located adjacent to lands designated GGF, the placement of a dwelling shall also comply with the fire protection standards of MCC 38.7305.**

**Staff:** The applicant is requesting to construct a single family dwelling on the subject parcel. The County in land use application, T1-2014-3348 determined that Tax Lot 1300, Section 26CA, Township 1 North, Range 4 East consisted of one legal parcel and one unlawful property. The County authorized the consolidation of these pieces of land to create one lawful 1.02 acre parcel. Provided the two properties are consolidated, the proposed dwelling will be constructed on a



legally created parcel. The applicant has provided a copy of their deed showing the properties have been consolidated into a single parcel (Exhibit A.47). The subject parcel and the adjacent properties are all within the Gorge General Residential – 5 (GGR-5) zone. The proposed project does not have to comply with the buffer requirements of MCC 38.0060 or the fire protection standards of MCC 38.7305. *Criterion met.*

**3.02 (3) Accessory building(s) larger than 200 square feet in area or taller than 10 feet in height for a dwelling on any legal parcel are subject to the following additional standards:**

**(a) The combined footprints of all accessory buildings on a single parcel shall not exceed 1,500 square feet in area. This combined size limit refers to all accessory buildings on a parcel, including buildings allowed without review, existing buildings and proposed buildings.**

**(b) The height of any individual accessory building shall not exceed 24 feet.**

**Staff:** At present, there are no authorized outbuildings on the property. One, small unpermitted outbuilding exists on the property. As conditioned, this small outbuilding will be removed upon completion of the dwelling. All other buildings were demolished prior to the applicant applying for this permit. The proposed development includes one outbuilding which has a building footprint of 996 square feet. The second story will be 600 square feet and contains a half bath. Total building square footage will be 1,596 square feet. The applicant's elevations for the building indicate that it will be 23 feet, 9 inches high (Exhibit A.54). A condition has been included to ensure the accessory building will not exceed the maximum height limitation and will remain an accessory building. *As conditioned, criterion met.*

**3.03 MCC 38.3060 DIMENSIONAL REQUIREMENTS**

**(C) Minimum Yard Dimensions – Feet**

Front	Side	Street Side	Rear
30	10	30	30

**Maximum Structure Height – 35 feet**

**Minimum Front Lot Line Length – 50 feet.**

**(D) The minimum yard requirement shall be increased where the yard abuts a street having insufficient right-of-way width to serve the area. The Planning Commission shall determine the necessary right-of-way widths and additional yard requirements not otherwise established by ordinance.**

**Staff:** The proposed dwelling is approximately 30 feet in height based on the submitted elevations (Exhibit A.11& A.53). A rock retaining wall will be constructed five feet from the northwest corner of the building so that the backfill around the dwelling will be one height and level. MCC 38.0015 defines the "*Height of Building*" as "*The greatest vertical distance between the point of lowest finished grade adjoining any exterior wall of a building and the highest point of the roof, such as the highest coping or parapet of a flat roof, the highest deck line of a mansard roof, or the highest ridge of a hip, gable, gambrel, shed or other pitched roof.*" With level terrain around the dwelling, the proposed dwelling will be able to meet the maximum height requirement of 35 feet.

The proposed location for the dwelling is 100 feet from the front property line adjacent to Clara Smith Road, 68 feet from the rear property line (northern property line), 85 feet from the interior side property line (western property line) and 29 feet from the Perry-Emerson right-of-way

(eastern property line on the west side of Perry-Emerson Road). Perry-Emerson Road is a 20-foot wide right of way that dissects the property from south to north on the eastern edge of the property. This public right-of-way is classified as a Local Roadway with a standard width of 50 feet. Pursuant to MCC 38.3060(D), the minimum street side yard adjacent to this right-of-way would increase from 30 feet to 45 feet to allow for future expansion of the Perry-Emerson Road right-of-way. The applicant has requested a Major Variance be granted so that the dwelling can be built 29 feet from the edge of the public right-of-way. Additional findings on the Major Variance request can be found in Section 6. With the granting of the Major Variance, this criterion has been met.

The proposed location for the outbuilding is 30 feet from the front property line adjacent to Clara Smith Road, 147 feet from the rear yard (northern property line), 109 feet from the interior side property line (western property line), 45 feet from the street side property line (eastern property line on the west side of Perry-Emerson Road) (Exhibit A.55).

### **3.04 MCC 38.3090 ACCESS**

**Any lot in this district shall abut a street or shall have other access determined by the approval authority to be safe and convenient for pedestrians and passenger and emergency vehicles.**

**Staff:** The subject parcel fronts onto Clara Smith Road, a County maintained, public street. *Criterion met.*

### **4.00 Site Review Criteria**

#### **4.01 § 38.7035 GMA SCENIC REVIEW CRITERIA**

**The following scenic review standards shall apply to all Review and Conditional Uses in the General Management Area of the Columbia River Gorge National Scenic Area:**

##### **(A) All Review Uses and Conditional Uses:**

**(1) New buildings and roads shall be sited and designed to retain the existing topography and to minimize grading activities to the maximum extent practicable.**

**Staff:** Currently, the property is tiered with three terraced area. The first terrace is the Perry-Emerson right-of-way. The second terrace will be used for the dwelling, outbuilding and driveway. The northwest corner of the dwelling will bridge the second and third terrace with a rock wall allowing level terrain adjacent to the dwelling (See Exhibit A.53). The septic drainfield will be located on the third terrace. Limited grading will be necessary in order to install the foundations for the two buildings and drainfield. The existing access will be widened and will provide access the new buildings. The proposed buildings, driveway, and detention pond utilize the existing terrain so as to minimize grading activities. *Criterion met.*

**4.02 (2) New buildings shall be compatible with the general scale (height, dimensions and visible mass) of similar buildings that exist nearby (e.g. dwellings to dwellings). Expansion of existing development shall comply with this guideline to the maximum extent practicable. For purposes of applying this standard, the term nearby generally means buildings within ¼ mile of the parcel on which development is proposed.**

**Staff:** The applicant has provided information (Exhibit A.19) on the following properties listed in the table below. Planning staff has reviewed the Assessment and Taxation information for each of these properties so that all structures were treated similarly (Exhibit B.2). The median dwelling size in the area is 2,425 sq. ft. (see yellow highlight). The largest dwelling identified by

the applicant in the area is 5,661 sq. ft. The applicant is proposing a 3,641 square foot two-story dwelling. Four existing dwellings exceed the proposed square footage at 5,661, 4,817, 4,687 and 4,637 respectfully. Based on the information analyzed, the median size for dwellings in the area will increase by 79.5 sq. ft for a median dwelling size of 2,504.5 sq. ft. The proposed dwelling is compatible with the general scale of dwellings in the nearby area. *This criterion has been met for the proposed dwelling.*

In addition to the dwelling, the applicant is proposing a two-story outbuilding. The total square footage for the outbuilding will be 1,596 sq. ft. The median size of accessory buildings on the properties listed in the table below is 864 sq. ft. Four existing accessory buildings exceed the proposed square footage at 2,880, 2,240, 2,160 and 1,632 respectfully. The proposed accessory building is compatible with the general scale of outbuildings in the nearby area. *This criterion has been met for the proposed accessory building.*

Compatibility Table					
Address	R#	Visible Mass Dwelling	Accessory Buildings	Farm Buildings	Total Sq. Ft.
2200 NE Corbett Hill	R322289	840	2160 414	n/a	3414
37122 NE Clara Smith Rd	R322273	1614	758	n/a	2372
37311 NE Clara Smith Rd	R322266	1875	864	n/a	2739
37511 NE Clara Smith Rd	R322251	1892	396	n/a	2288
37230 NE Clara Smith Rd	R322229	2002	1500	n/a	3502
2172 NE Corbett Hill	R322297	2124	1632	n/a	3756
2202 NE Corbett Hill	R322285	2240	n/a	n/a	2240
37432 NE Clara Smith Rd	R322230	2256	n/a	n/a	2256
37107 NE Clara Smith Rd	R322236	2266	912	n/a	3178
37001 NE Clara Smith Rd	R322237	2425	216	n/a	2641
36411 NE Chamberlain	R322299	3039	2880	n/a	5919
37600 NE Clara Smith Rd	R322270	3042	1376	n/a	4418
2207 NE Corbett Hill	R322223	3044	864	n/a	3908
36505 NE Chamberlain	R322294	3190	528	2160	5878
37205 NE Clara Smith Rd	R322245	3230	280	n/a	3510
Proposed Dwelling	R322257	3641	1596	n/a	5237
37400 NE Clara Smith Rd	R322271	4637	1536	n/a	6173
37424 NE Clara Smith Rd	R322274	4684	n/a	n/a	4684
37625 NE Clara Smith Rd	R639628	4817	n/a	n/a	4817
37003 NE Reed Rd	R322302	5661	2240 720	n/a	8621

**4.03 (3) New vehicular access points to the Scenic Travel Corridors shall be limited to the maximum extent practicable, and access consolidation required where feasible.**

**Staff:** The subject property fronts onto Clara Smith Road and Perry-Emerson Road right-of-way. Neither of these right-of-ways are Scenic Travel Corridors. *Criterion met.*

**4.04 (4) Property owners shall be responsible for the proper maintenance and survival of any required vegetation.**

**Staff:** A condition of approval is included with the decision to remind the present and future property owners of their responsibility to maintain all required vegetation.

**4.05 (5) For all proposed development, the determination of compatibility with the**



landscape setting shall be based on information submitted in the site plan.

**Staff:** Planning staff has utilized the applicant's site plan to determine that the proposed dwelling and accessory structure are compatible with the landscape setting.

4.06

**(B) All Review Uses and Conditional Uses topographically visible from Key Viewing Areas:**

**(1) Each development shall be visually subordinate to its setting as seen from Key Viewing Areas.**

**MCC 38.0015 Definitions - Visually subordinate:** *The relative visibility of a structure or use where that structure or use does not noticeably contrast with the surrounding landscape, as viewed from a specified vantage point (generally a Key Viewing Area). Structures which are visually subordinate may be partially visible, but are not visually dominant in relation to their surroundings.*

**Staff:** The subject property is topographically visible from the following Key Viewing Areas (KVAs): Columbia River, State Route 14, and Sandy River. During staff's site visit in late summer, staff was able to see the Columbia River and State Route 14 from the property through the existing trees. The proposed colors and materials for the dwelling and outbuilding are as follows:

Feature	Materials	Color
Siding	Hardy Plank	BM <sup>1</sup> North Creek Brown 1001 - Flat (Ex. A.28.c)
Trim (Windows/Doors)	Wood	BM <sup>1</sup> Rustic Taupe 999 – Flat (Ex. A.28.c)
Gutters	Metal	Dark Brown (Ex. A.28)
Belly Band & Varge	Wood	Dark Brown (Ex. A.28)
Roofing	Comp	Hickory
Window Frame	Vinyl	Desert Tan
Reflectivity Rating	With Low E Coating 11%	n/a
Doors	Full light/Fiberglass	North Creek Brown (Egg Shell <sup>2</sup> ). Same as body color
Exterior Lighting	Dark Sky 9" One Light Wall Sconce	Bronze (Ex. A.17)
Railing on Deck	Cable	Brown (posts and rail) (Ex. A.26)
Timber Supports	Natural Cedar	Natural Cedar Tone Stain (Ex. A.52)

<sup>1</sup>Benjamin Moore      <sup>2</sup>Egg Shell is a "washable form of flat.

At present, the site has seven deciduous trees that provide good screening from these KVAs for the dwelling and accessory building. During the winter, late fall and early spring these deciduous trees will not provide adequate mottling with the proposed structures to achieve visual subordination. The applicant has proposed to add four, 5-6 foot conifers between the dwelling

and these KVAs. The outbuilding will be screened by the dwelling except for a very limited vantage to the northwest portion of the Columbia River, but should achieve visual subordination based on existing vegetation. *With the addition of vegetation, the proposed buildings will achieve visual subordination.*

- 4.07**      **(2) The extent and type of conditions applied to a proposed development or use to achieve the scenic standard shall be proportionate to its potential visual impacts as seen from Key Viewing Areas. Decisions shall include written findings addressing the factors influencing potential visual impact including but not limited to: the amount of area of the building site exposed to Key Viewing Areas, the degree of existing vegetation providing screening, the distance from the building site to the Key Viewing Areas it is visible from, the number of Key Viewing Areas it is visible from, and the linear distance along the Key Viewing Areas from which the building site is visible (for linear Key Viewing Areas, such as roads). Conditions may be applied to various elements of proposed developments to ensure they are visually subordinate to their setting as seen from key viewing areas, including but not limited to siting (location of development on the subject property, building orientation, and other elements); retention of existing vegetation; design (color, reflectivity, size, shape, height, architectural and design details and other elements); and new landscaping.**

**Staff:** The subject property is approximately 2,000 feet from the Columbia River and approximately 1.8 miles from State Route 14 (closest portion). The terrain slopes from the project site down to Interstate -84 and the Columbia River. Existing trees on the property are chiefly deciduous and will provide little screening during winter, early spring and late fall. The dwelling has its longest elevation facing the KVAs and will be two-stories high. The dwelling elevation facing the KVAs has significant glass areas. Conditions No. 4, 9, 11, 12, 13 and 14 are needed to achieve visual subordination from the two KVAs. *The conditions included with this decision are to mitigate for the proposed design and are needed for the building to achieving visual subordination.*

- 4.08**      **(3) Determination of potential visual effects and compliance with visual subordination policies shall include consideration of the cumulative effects of proposed developments.**

**Staff:** As discussed above, the proposed dwelling falls within the general scale of residential structures in the vicinity. Review of current accessory buildings within the area found that 83 percent of the accessory buildings are 1,632 sq. ft. or less. The existing accessory buildings that are larger than 1,600 square feet are north or west of the subject property. The applicant has proposed a 1,596 sq. ft. outbuilding. The accessory building will be screened from the KVAs by the proposed dwelling. By limiting the size of the proposed accessory building to fall within the predominant building size, cumulative effects should be minimized. *Criterion met.*

- 4.09**      **(4) In addition to the site plan requirements in MCC 38.0045 (A) applications for all buildings visible from key viewing areas shall include a description of the proposed building(s)' height, shape, color, exterior building materials, exterior lighting, and landscaping details (type of plants used; number, size, locations of plantings; and any irrigation provisions or other measures to ensure the survival of landscaping planted for screening purposes).**

**Staff:** The applicant has provided descriptions of the proposed dwelling and outbuilding which include color, height, exterior elevations, lighting, etc (Exhibit A.11, A.15, A.16, A.17, A.18 and A.54). In addition, the revised site plan shows the proposed landscape and planting to be

provided (Exhibit A.55). *Criterion met.*

- 4.10 (6) New development shall be sited on portions of the subject property which minimize visibility from Key Viewing Areas, unless the siting would place such development in a buffer specified for protection of wetlands, riparian corridors, sensitive plants, sensitive wildlife sites or conflict with the protection of cultural resources. In such situations, development shall comply with this standard to the maximum extent practicable.**

**Staff:** The project site is 1.02 acres and has an intermittent creek with a 50-foot wide buffer in its southwest corner. In addition the parcel has a twenty foot wide public right-of-way that crosses the parcel from north to south in the eastern quarter of the property. These restrictions plus yard requirements and the location of the drainfield restrict the buildable area of the site. There is no place on the parcel that is topographically screened from the KVAs. The proposed outbuilding will be screened from the KVAs by the proposed dwelling. While the dwelling could be pushed further back on the property, it could only be moved 20 to 30 feet. This new location would require the accessory building to be moved in front of the dwelling, so it would not minimize visibility of the structures. The applicant's proposed building location (Exhibit A.55) minimizes visibility from KVAs while providing setback and resource protection. *Criterion met.*

- 4.11 (7) New development shall be sited using existing topography and/or existing vegetation as needed to achieve visual subordination from key viewing areas.**

**Staff:** There is no place on the subject parcel that is topographically screened from the KVAs. There are existing deciduous and evergreen trees on the site (Exhibit A.57 & A.35). These trees will remain on the site after the development is complete. *Criterion met.*

- 4.12 (8) Existing tree cover screening proposed development from key viewing areas shall be retained as specified in MCC 38.7035(C).**

**Staff:** The applicant has indicated that all existing trees will remain on the subject site. A condition of approval has been included to notify future property owners of this requirement. *As conditioned, criterion met.*

- 4.13 (9) Driveways and buildings shall be designed and sited to minimize visibility of cut banks and fill slopes from Key Viewing Areas.**

**Staff:** The subject parcel has been previously graded for past development. The new dwelling, septic system and outbuilding will require minimal grading to construct on the terraced site. The existing vegetation along the northern property line will remain to screen the ground disturbance until the new grass and landscaping can be installed. *Criterion met.*

- 4.14 (10) The exterior of buildings on lands seen from Key Viewing Areas shall be composed of nonreflective materials or materials with low reflectivity, unless the structure would be fully screened from all Key Viewing Areas by existing topographic features. The Scenic Resources Implementation Handbook includes a list of recommended exterior materials. These recommended materials and other materials may be deemed consistent with this code, including those that meet recommended thresholds in the "visibility and Reflectivity Matrices" in the Implementation Handbook. Continuous surfaces of glass unscreened from key viewing areas shall be limited to ensure visual subordination. Recommended square footage limitations for such surfaces are provided for guidance in the Implementation Handbook.**



**Staff:** The applicant has provided information on the materials to be used on the exterior of the dwelling and outbuilding (Exhibit A.15, A.16, A.17, A.18, A.48, and A.52). The northern elevation faces two KVAs. The amount of glass proposed is approximately 24% of this building elevation. If two of the three glass doors were converted to wood, the amount of glass could be reduced to 20%. The applicant has agreed to convert the two bedroom doors to wood. The kitchen door will remain a glass door. This will help achieve visual subordination by reducing the amount of reflective materials while allowing light to enter the building. The windows used for the buildings will be treated low-e coating that has a reflectivity rating of 11 percent (Exhibit A.22 & A.28). Glass with a reflectivity rating of 11% qualifies as low reflective material.

The applicant has indicated that the rain gutters will be metal (Exhibit A.28.d). As these gutters would be visible from KVAs, the applicant has agreed to hide the gutters behind the barge board. This board will screen the metal gutters from the KVAs. The handrails on the second story will be dark brown aluminum with cable infill. The amount of material visible from the KVA will be minimal and should not create reflectivity issues. The cable has significant texture. *Criterion met for the dwelling.*

The proposed outbuilding will have the same materials as the proposed dwelling. The outbuilding is located behind the proposed dwelling (Exhibit A.55) and will be screened from the KVAs. *Criterion met for the outbuilding.*

- 4.15 (11) Exterior lighting shall be directed downward and sited, hooded and shielded such that it is not highly visible from Key Viewing Areas. Shielding and hooding materials shall be composed of non-reflective, opaque materials.**

**Staff:** The applicant has provided a lighting detail for the exterior lights on both buildings (Exhibit A.17). The fixture is hooded and will shield the bulb so that the light emitted will be directed downwards and not shine outwards. *Criterion met.*

- 4.16 (12) Unless expressly exempted by other provisions in this chapter, colors of structures on sites visible from key viewing areas shall be dark earth-tones found at the specific site or in the surrounding landscape. The specific colors or list of acceptable colors shall be included as a condition of approval. The Scenic Resources Implementation Handbook will include a recommended palette of colors.**

**Staff:** The applicant has provided color details for the buildings. The buildings will be dark brown (Exhibit A.28.c). The roofing will be brown & black composition shingles. The color samples qualify as dark earth tones. The window frames will have the lightest color and will be a light tan (Exhibit A.28.b). See Section 4.06 for more specific details. *Criterion met.*

- 4.17 (15) The silhouette of new buildings shall remain below the skyline of a bluff, cliff or ridge as seen from Key Viewing Areas. Variances may be granted if application of this standard would leave the owner without a reasonable economic use. The variance shall be the minimum necessary to allow the use, and may be applied only after all reasonable efforts to modify the design, building height, and site to comply with the standard have been made.**

**Staff:** While the property is located on a plateau, the terrain continues to rise to the south of Clara Smith Road. The silhouette of the new buildings will be blended into the terrain and vegetation rising behind them. The house will be located at approximately the 440-foot elevation. The terrain rises behind the structures to approximately 680 before leveling near the Historic Columbia River Highway in Corbett. *Criterion met.*

4.18

**(17) The following standards shall apply to new landscaping used to screen development from key viewing areas:**

- (a) New landscaping (including new earth berms) shall be required only when there is no other means to make the development visually subordinate from key viewing areas. Alternate sites shall be considered prior to using new landscaping to achieve visual subordination. Development shall be sited to avoid the need for new landscaping wherever possible.**
- (b) If new landscaping is required, it shall be used to supplement other techniques for achieving visual subordination.**
- (c) Vegetation planted for screening purposes shall be of sufficient size to make the development visually subordinate within five years or less of commencement of construction.**
- (d) Landscaping shall be installed as soon as practicable, and prior to project completion. The property owner(s), and their successor(s) in interest are responsible for the proper maintenance and survival of planted vegetation, and replacement of such vegetation that does not survive.**
- (e) The Scenic Resources Implementation Handbook includes recommended species for each landscape setting consistent with MCC 38.7035(C) and the minimum recommended sizes for tree plantings (based on average growth rates expected for recommended species).**

**Staff:** While the subject property has a number of deciduous trees between the KVA and the proposed new dwelling, screening during the winter, late fall and early spring is minimal. The applicant is proposing to add three evergreen conifers in a group (Exhibit A.55) in front of the dwelling and one to the northwest to increase screening when the deciduous trees are barren. The conifer trees to be planted will be 5 to 6 ft in height when planted. A condition of approval will require these trees be planted during the winter of 2014-2015 so that they will be ready to grow in Spring, 2015. In addition, a condition reminding the property owner and their successors that these and the existing trees need to be maintained between the north property line and the dwelling. In addition to the new vegetation, the building will utilize dark earthtone materials and minimize the use of glass on the northern elevation. *As conditioned, criterion met.*

4.19

**(24) New buildings shall not be permitted on lands visible from Key Viewing Areas with slopes in excess of 30 percent. A variance may be authorized if the property would be rendered unbuildable through the application of this standard. In determining the slope, the average percent slope of the proposed building site shall be utilized.**

**Staff:** The highest portion of the property is near the east property line. The terrain falls from the east to the west in a stepped fashion. The overall drop is approximately 18 percent across the property. *Criterion met.*

4.20

**(C) All Review Uses and Conditional Uses within the following landscape settings, regardless of visibility from KVAs:**

**(3) Rural Residential**

- (a) Existing tree cover shall be retained as much as possible, except as is necessary for site development, safety purposes, or as part of forest management practices.**

**Staff:** No trees will be removed to construct the dwelling, outbuilding, driveway, stormwater detention pond or on-site sewage disposal system. A condition has been included to maintain the existing tree cover on the property and replace any tree that becomes diseased, dies or is removed. *As conditioned, criterion met.*

- 4.21** (b) In portions of this setting visible from Key Viewing Areas, the following standards shall be employed to achieve visual subordination for new development and expansion of existing development:

1. Except as is necessary for site development or safety purposes, the existing tree cover screening the development from Key Viewing Areas shall be retained.
2. At least half of any trees planted for screening purposes shall be species native to the setting or commonly found in the area.
3. At least half of any trees planted for screening purposes shall be coniferous to provide winter screening.

**Staff:** The applicant is proposing to maintain all existing trees on the property. Four Doug Fir, Western Hemlock or Western Red Cedar trees will be planted. Trees will be a minimum of 5 to 6 feet tall when planted. These trees are evergreen and considered native. *Criterion met.*

**5.00 Resource Review Criteria**

**5.01 MCC 38.7045 GMA CULTURAL RESOURCE REVIEW CRITERIA**

**(A) Cultural Resource Reconnaissance Surveys**

- (1) A cultural reconnaissance survey shall be required for all proposed uses, except:

(d) Proposed uses that occur on sites that have been disturbed by human activities, provided the proposed uses do not exceed depth and extent of existing ground disturbance. To qualify for this exception, a project applicant must demonstrate that land disturbing activities occurred in the project area. Land disturbing activities include grading and cultivation.

**Staff:** Marge Dryden of the US Forest Service has determined that no cultural or historical review is necessary for the proposed project site (Exhibit D.1). The site previously was disturbed when the original house was constructed. *Criterion met.*

**5.02 MCC 38.7055 GMA WETLAND REVIEW CRITERIA**

**(A) The wetland review criteria shall be deemed satisfied if:**

- (1) The project site is not identified as a wetland on the National Wetlands Inventory (U.S. Fish and Wildlife Service, 1987);
- (2) The soils of the project site are not identified by the Soil Survey of Multnomah County, Oregon (U.S.D.A. Soil Conservation Service, 1983) as hydric soils;
- (3) The project site is adjacent to the main stem of the Columbia River.
- (4) The project site is not within a wetland buffer zone; and
- (5) Wetlands are not identified on the project site during site review.

**Staff:** The project site is on Clara Smith Road. It is not adjacent to the Columbia River. Staff reviewed the National Wetland Inventory map and did not identify any mapped wetlands. No wetlands were found during the site visit. The predominant soil on the project site consists of

Burlington Fine Sand Loam (6C). The Multnomah County Soil Survey does not identify this soil type as being hydric. No wetland buffer zones exist on the site from adjacent parcels. *Criterion met.*

**5.03 MCC 38.7060 GMA STREAM, LAKE AND RIPARIAN AREA REVIEW CRITERIA**

**(E) Stream, Pond, and Lake Buffer Zones**

**(1) Buffer zones shall generally be measured landward from the ordinary high watermark on a horizontal scale that is perpendicular to the ordinary high watermark. On the main stem of the Columbia River above Bonneville Dam, buffer zones shall be measured landward from the normal pool elevation of the Columbia River. The following buffer zone widths shall be required:**

**(a) Streams used by anadromous or resident fish (tributary fish habitat), special streams, intermittent streams that include year-round pools, and perennial streams: 100 feet.**

**(b) Intermittent streams, provided they are not used by anadromous or resident fish: 50 feet.**

**(2) Except as otherwise allowed, buffer zones shall be retained in their natural condition. When a buffer zone is disturbed by a new use, it shall be replanted with native plant species.**

**(3) Determining the exact location of the ordinary high watermark or normal pool elevation shall be the responsibility of the project applicant. The Planning Director may verify the accuracy of, and may render adjustments to, an ordinary high watermark or normal pool delineation. In the event the adjusted boundary delineation is contested by the applicant, the Planning Director shall, at the project applicant's expense, obtain professional services to render a final delineation.**

**Staff:** The subject site does contain an intermittent stream in the southwest corner of the property. The applicant's site plan and survey delineates the streams 50-foot buffer area. No development will occur within the stream buffer zone. *Criterion met.*

**5.04 § 38.7065 GMA WILDLIFE REVIEW CRITERIA**

**Wildlife Habitat Site Review shall be required for any project within 1,000 feet of sensitive wildlife areas and sensitive wildlife sites (i.e., sites used by sensitive wildlife species).**

**§ 38.7070 GMA RARE PLANT REVIEW CRITERIA**

**Rare Plant Site Review shall be required for any project within 1,000 feet of endemic plants and sensitive plant species.**

**Staff:** Notice of the application was sent to the PSU Institute for Natural Resources, Oregon Department Fish and Wildlife and US Forest Service. No comments were received of sensitive wildlife or plant species in the area. *Criteria met.*

**5.05 § 38.7080 GMA RECREATION RESOURCE REVIEW CRITERIA**

**The following uses are allowed, subject to compliance with MCC 38.7080 (E) and (F)....**

**Staff:** The subject property is private property. No recreational lands exist on the adjacent parcels. No impacts are created to recreational uses. *Criterion met.*

**6.00 Major Variance Criteria**

**6.01 § 38.7605 VARIANCE CLASSIFICATION**

**(A) A Major Variance is one that is in excess of 25 percent of an applicable dimensional requirement. A Major Variance must be found to comply with MCC 38.7600 (A).**

**(1) A Major Variance must be approved at a public hearing except when all owners of record of property within 100 feet of the subject property grant their consent to the variance according to the procedures of MCC 38.7605 (B) (1) and (2).**

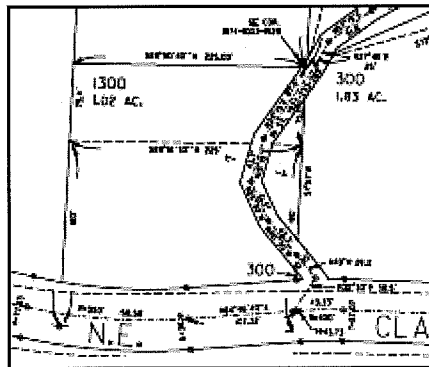
**Staff:** As discussed in Section 3.03 above, the yard requirement for the eastern portion of the property is 45 feet adjacent to the Perry-Anderson Road right-of-way. The subject application requests to reduce the yard requirement to 29 feet for the dwelling. This would be a reduction of 36 percent of the required yard. In order to grant this major variance, the application will need to comply with the four approval criteria listed in MCC 38.7600(A). See Sections 6.02 to 6.06 for additional findings.

## 6.02 § 38.7600 VARIANCE APPROVAL CRITERIA

**(A) The Approval Authority may permit and authorize a variance from the dimensional requirements of 38.2060 (C), 38.2260 (C), 38.2460 (E), 38.2660 (C), 38.2860 (C), 38.3060 (C), and 38.3260 (C) only when there are practical difficulties in the application of the Chapter. A Major Variance shall be granted only when all of the following criteria are met. A Minor Variance shall met criteria (3) and (4).**

**MCC 38.0015 Definitions - Practicable:** *Able to be done, considering technology and cost.*

**Staff:** The subject parcel is only 1.02 acres in size and is nonconforming to the minimum lot size of 5 acres. The parcel has a public right-of-way which crosses the property on the eastern portion of the lot from north to south (see graphic below).



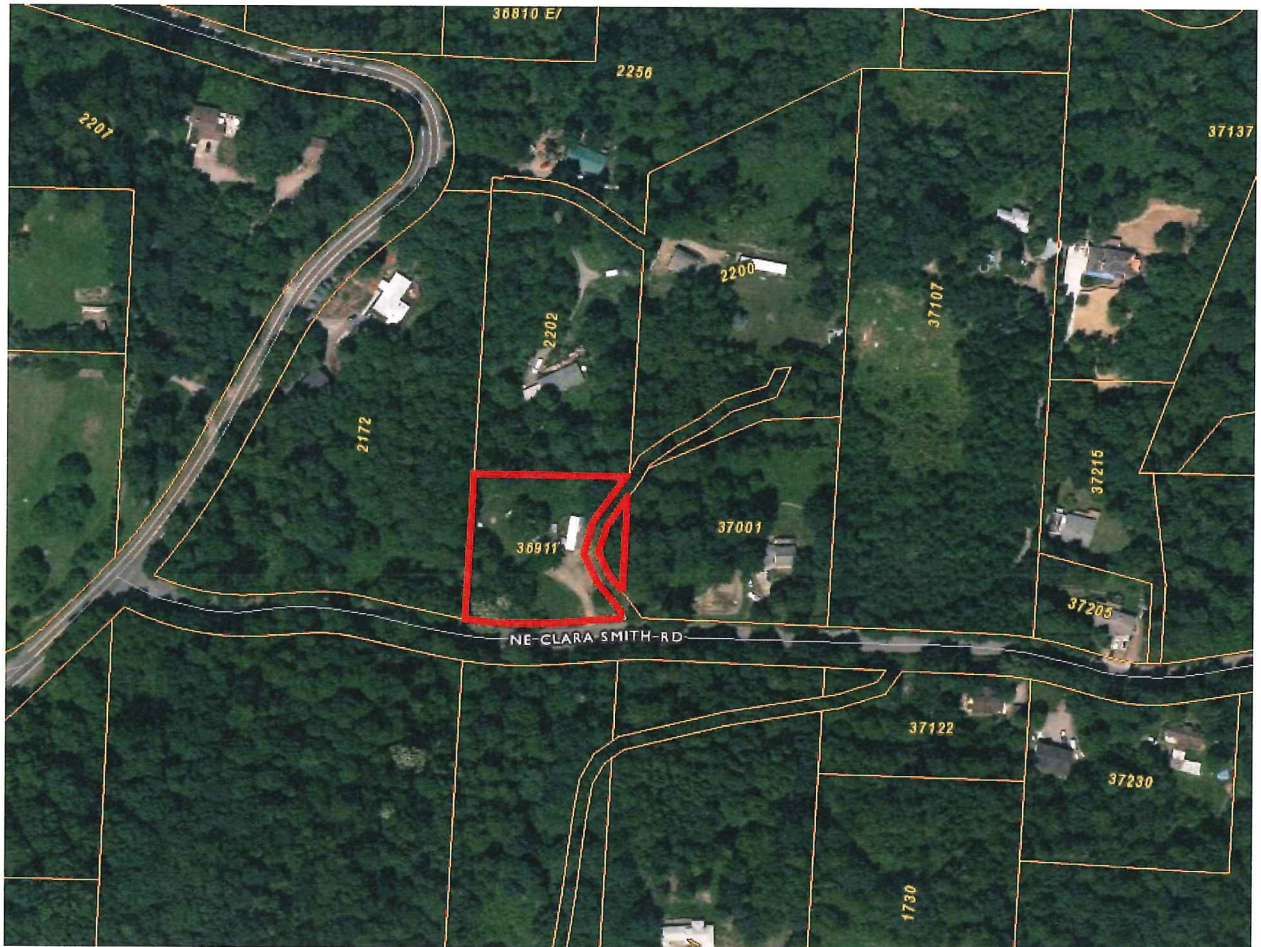
In addition, an intermittent stream crosses the property near the southwest corner. The intermittent stream has a 50-foot buffer zone that needs to be maintained as the variance criteria for the buffer cannot be met. The approved septic drainfield location removes additional area available for the proposed development. The site has a number of practical difficulties that require the reduction of the amount of development proposed or a variance be granted. The size of the proposed dwelling and outbuilding is consistent with the general scale of development within the area (see Section 4.06 for more information). *Practical difficulties exist on the subject parcel.*

**6.03 (1) A circumstance or condition applies to the property or to the intended use that does not apply generally to other property in the same vicinity or district. The circumstance or condition may relate to the size, shape, natural features and topography of the property or the location or size of physical improvements on the**



**site or the nature of the use compared to surrounding uses.**

**Staff:** The subject property is 1.02 acres. While there are similar sized parcels in the area, they do not contain both a substandard public right-of-way, an intermittent stream and only one location for a septic drainfield. The air photo included below identifies the subject property in red. The photo also shows various small parcels on Clara Smith Road with their existing development. As demonstrated by the various materials (Exhibit A.55 and A.57), the circumstance of an intermittent stream is a circumstance that is not found on other small parcels in the area. *Criterion met.*



**6.04 (2) The zoning requirement would restrict the use of the subject property to a greater degree than it restricts other properties in the vicinity or district.**

**Staff:** Many of the properties in the area have both an existing dwelling and accessory building (see Section 4.06 for more information). If the variance is not granted for the dwelling, the ability to have both a single family dwelling and outbuilding will be greatly reduced due to the unbuilt public right-of-way, intermittent stream and drainfield location. On many properties, both a dwelling and outbuilding exist in the immediate vicinity. To not allow an outbuilding, would restrict the use of the subject property to a greater degree than it restricts other properties in the vicinity. *Criterion met.*

**6.05 (3) The authorization of the variance will not be materially detrimental to the public welfare or injurious to property in the vicinity or district in which the property is located, or adversely affects the appropriate development of adjoining properties.**



**Staff:** The granting of a 16-foot variance so that the dwelling can be constructed 29 feet from the edge of the 20-foot wide Perry-Emerson right-of-way should not affect the roadway's ultimate size of 50 feet. The Perry-Emerson right-of-way is bordered by the subject parcel on both its east and west side. The 30 feet of additional right-of-way needed to bring Perry-Emerson Road into the County's Local right-of-way standard can be accommodated completely on the parcel by expanding the right-of-way eastward. The dwelling would maintain its 29-foot wide street side yard even with this right-of-way expansion. The property, known as 37001 NE Clara Smith Road would not need to dedicate any additional right-of-way. Properties served by Perry-Emerson could be served by this realigned right-of-way. The Leitners have indicated in writing that they would not object to the realignment of Perry-Emerson to the east if the widening of the existing right-of-way is required. *Criterion met.*

**6.06 (4) The granting of the variance will not adversely affect the realization of the Management Plan nor will it establish a use which is not listed in the underlying zone.**

**Staff:** The subject property is zoned Gorge General Management Residential – 5 (GGR-5). This zone allows one single family dwelling per lawfully established parcel. The granting of the variance will not allow a use that would not otherwise be allowed by the Management Plan. The variance is to the County's Yard standards in MCC 38.3060(C). MCC 38.3060(C) is not a Management Plan requirement or protective buffer. *Criterion met.*

**7.00 Transportation Standards**

**7.01 MCRR 4.000 Access to County Roads**

**4.100 Required Information:** Applicants for a new or reconfigured access onto a road under County Jurisdiction may be required to provide all of the following:

- A. Site Plan;**
- B. Traffic Study-completed by a registered traffic engineer;**
- C. Access Analysis-completed by a registered traffic engineer;**
- D. Sight Distance Certification from a registered traffic engineer; and**
- E. Other site-specific information requested by the County Engineer**

**Staff:** The applicant has proposed to utilize an existing access onto Clara Smith Road under County Jurisdiction. The road is classified as a Local Street. The access point is shown on the applicant's site plan (Exhibit A.55). All required information has been submitted.

**7.02 4.200 Number:** Reducing the number of existing and proposed access points on Arterials and Collectors and improving traffic flow and safety on all County roads will be the primary consideration when reviewing access proposals for approval. One driveway access per property will be the standard for approval. Double frontage lots will be limited to access from the lower classification street. Shared access may be required in situations where spacing standards cannot be met or where there is a benefit to the transportation system.

**Staff:** The subject property is served by one driveway.

**7.03 4.300 Location:** All new access points shall be located so as to meet the access spacing standards laid out in the Design and Construction Manual.

**Staff:** For a road classified as a Local Street, no spacing standards exist. Multnomah County Transportation has previously authorized the driveway at this location.

**7.04 4.400 Width: Driveway and Accessway widths shall conform to the dimensions laid out in the Design and Construction Manual.**

**Staff:** For a Single Family Dwelling, a reconfigured driveway must be 12 – 30 feet wide. The new driveway will be 22 feet wide.

**7.05 4.500 Sight Distance: All new access points to roads under the County's jurisdiction must have a minimum sight distance equal to the standards in the Design and Construction Manual and AASHTO's A Policy on Geometric Design of Highways and Streets.**

**Staff:** Multnomah County Transportation has authorized the driveway location in its current location. No additional review is required.

**8.00 Conclusion**

Based on the findings and other information provided above, the applicant has carried the burden necessary for the approval of a National Scenic Area Site Review to establish a single family dwelling, accessory building and related improvements in the Gorge General Management Residential – 5 zone. This approval is subject to the conditions of approval established in this report.

**9.00 Exhibits**

'A' Applicant's Exhibits

'B' Staff Exhibits

'C' Procedural Exhibits

'D' Comments Received

Exhibits with a “\*” after the exhibit # have been included as part of the mailed decision. All other exhibits are available for review in Case File T2-2014-3448 at the Land Use Planning office.

Exhibit #	# of Pages	Description of Exhibit	Date Received/ Submitted
A.1	2	NSA Application Form	4/22/14
A.2	10	Applicant's Narrative	4/22/14
A.3	1	Artistic Rendition of Proposed Development as Viewed from Columbia River and SR-14	4/22/14
A.4	2	Exhibit A.1 - Site Plan & Legend	4/22/14
A.5	4	2012 Aerial Photo of Subject Property from Portland Maps a. Portland Maps Elevation Map & Steep Slope Detail (2 pages) b. Google Map with Property Starred (1 page)	4/22/14
A.6	9	Photos of Site	4/22/14
A.7	1	Gross Floor Area Detail for Dwelling, Barn and Garage	4/22/14
A.8	1	House, Barn & Garage Roof Areas, & Site Views	4/22/14
A.9	1	North Elevation for Outbuilding and West Elevation for Dwelling	4/22/14
A.10	1	Floor Plans for Dwelling and Garage	4/22/14

A.11	1	Dwelling and Garage Elevations	4/22/14
A.12	1	Overall Sections for Dwelling	4/22/14
A.13	1	Outbuilding Elevations	4/22/14
A.14	1	Perspectives	4/22/14
A.15	1	Proposed Feature Chart	4/22/14
A.16	2	PPG Glass Configurator for Solarban60 Solar Control Low-E Glass	4/22/14
A.17	4	Light Details	4/22/14
A.18	1	Exhibit A.5 - Example of Natural Stone Earth Retention	4/22/14
A.19	54	Exhibit A.2 - Improvement Details for Dwellings in Area	4/22/14
A.20	15	Exhibit A.6 – Signatures for Major Variance	4/22/14
A.21	1	Certification of Water Service	4/22/14
A.22	2	Fire Service Agency Review	4/22/14
A.23	10	Site Evaluation Report for 36911 NE Clara Smith Road from Sanitarian Erin Mick <ul style="list-style-type: none"> <li>a. Certification of Onsite Sewage Disposal</li> <li>b. Addendum to Real Estate Sale Agreement</li> <li>c. Soil Notes Form</li> <li>d. Septic System Plan</li> <li>e. Evaluation Application</li> <li>f. Duplicates</li> </ul>	4/22/14
A.24	1	Storm Water Certificate	4/22/14
A.25	8	Geotechnical Engineering Evaluation for Proposed Replacement Septic System and Stormwater Drainage	4/22/14
A.26	2	Sapa Extrusions Aluminum Railing Systems Brochure	4/22/14
A.27	2	GacoDeck Brochure	4/22/14
A.28	4	Material Samples <ul style="list-style-type: none"> <li>a. Roofing</li> <li>b. Vinyl Window Color and Material</li> <li>c. Two Paint Colors</li> <li>d. Metal for Gutters</li> </ul>	4/22/14
A.29	9	Deeds <ul style="list-style-type: none"> <li>a. Bargain and Sale Deed from The Polygon Corp to Keith a Milliken recorded 08/07/2012 in Book 2012-097168</li> <li>b. Statutory Bargain and Sale Deed recorded 05/21/2007 in</li> </ul>	4/22/14

		<p>Book 2007-090407</p> <p>c. Bargain and Sale Deed recorded 01/16/1976 in Book 1083, Page 218-219</p> <p>d. Quit Claim Deed recorded 04/16/1957 in Book 1838, Page 367 – 368</p> <p>e. Warranty Deed recorded 02/21/1958 in Book 1885, Page 30</p> <p>f. Warranty Deed recorded 07/28/1949 in Book 1349, Page 288 - 289</p>	
A.30	9	Fidelity National Title Company Report	4/22/14
A.31	4	<p>Exhibit B-2 Package – Various Site Drawings</p> <p>a. Modified Site Plan</p> <p>b. Site Plan from Terra Dolce Consultants Inc. dated April 22, 2014, Fig. 2</p> <p>c. Site Plan with New House and Existing Dwelling shown</p>	6/03/14
A.32	5	Exhibit B-3 Certification of Onsite Sewage Disposal Revised	6/03/14
A.33	5	<p>Alternative Outbuilding Ground Floor Plan</p> <p>a. Alternative Upper Floor Plan</p> <p>b. Alternative Dwelling and Outbuilding Elevations</p> <p>c. Dwelling Elevation</p> <p>d. Alternative Outbuilding Elevation</p>	6/03/14
A.34	1	Responses to May 22, 2014 letter	6/03/14
A.35	1	Site Plan with Mixed Conifer & Deciduous Groves Shown	6/10/14
A.36	6	August 18, 2014 Email	8/18/2014
A.37	1	House Elevations	8/18/2014
A.38	7	August 19, 2014 Email	8/19/2014
A.39	1	Site Plan submitted August 19, 2014	8/19/2014
A.40	1	Stop the Clock Email for Two Weeks	8/21/2014
A.41	2	Amended Narrative	9/16/2014
A.42	1	Amended Site Plan	9/16/2014
A.43	3	September 18, 2014 Email	9/18/2014
A.44	1	Revised Site Plan	9/18/2014
A.45	2	Existing Concrete Pad Email	9/22/2014
A.46	1	Revised Site Plan	9/22/2014
A.47	4	Statutory Warranty Deed	9/25/2014

A.48	4	Clarification Email	9/29/2014
A.49	1	Varge Board Email	9/29/2014
A.50	2	Stop the Clock for One Week Email	9/30/2014
A.51	8	Revised Outbuilding Email	10/01/2014
A.52	2	Clarification II Email	10/01/2014
A.53	1	NW View of Dwelling Elevation with Terrain and Rock Wall	10/07/2014
A.54	1	Outbuilding Elevations – Sheet A105	10/7/2014
A.55	1	Revised Site Plan	10/7/2014
A.56	1	Eave Clarification Email	10/8/2014
A.57	1	Survey of Subject Property with Stream Location and Existing Trees on North Property Line	10/14/2014
'B'	#	Staff Exhibits	Date
B.1	2	A&T Property Information for 1N4E26CA – 01300	6/03/2014
B.2	21	A&T Information for Property Information Used for Comparison Table	Various
B.3	1	Columbia River Key Viewing Area Map	10/10/2014
B.4	1	State Route – 14 Key Viewing Area Map	10/10/2014
'C'	#	Administration & Procedures	Date
C.1	2	Incomplete Letter	5/22/14
C.2	1	Complete Letter (Day 1 – June 3, 2014)	7/08/14
C.3	6	Opportunity to Comment	7/10/14
C.4	22	Administrative Decision	10/17/14
'D'	#	Comments Received	Date
D.1	2	Cultural Resources Survey Determination	5/13/14
D.2	9	Friends of the Columbia Gorge	7/25/14

