



MULTNOMAH COUNTY
LAND USE PLANNING DIVISION
1600 SE 190TH Avenue Portland, OR 97233
(503) 988-3043 FAX: (503) 988-3389
<http://www.multnomah.lib.or.us/lup/>

FLOODPLAIN DEVELOPMENT PERMIT
CASE FILE: FD 00-08
July 31, 2000

Request: The applicant requests approval of an addition to an existing single-family residence. The footprint of the addition is 495 square feet, and will also include a remodeling of the existing structure. The project site is located within the 100 year flood boundary as identified on Flood Insurance Rate (FIRM) Maps published by the Federal Emergency Management Agency.

Location: 12790 SW Fielding Road
Tax Lot 1, Section 35, T1S R1E,
W.M.
Tax Account #R99135-0010

Owner: Norman and Salita Armour
12790 SW Fielding Road
Lake Oswego, Oregon 97035

Applicant: John Chlopek
3001 SW Stephenson
Portland, OR 97219

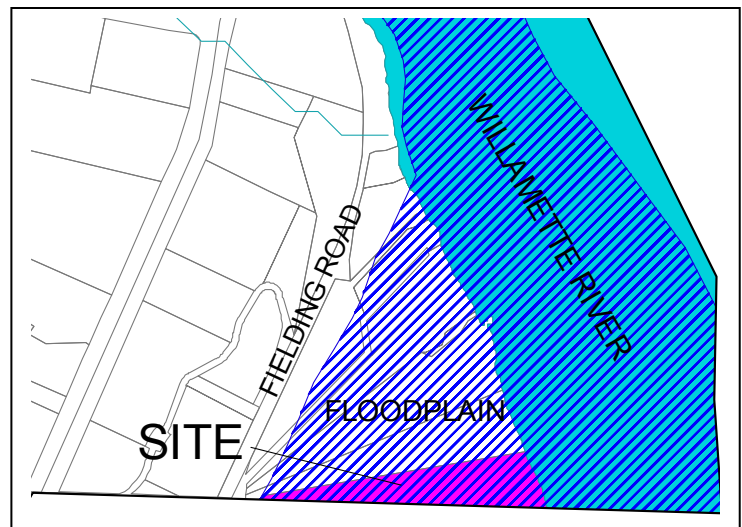
Tributary: Willamette River

FIRM Map: Panel #370A, dated 3/18/82

VICINITY MAP

SCALE: 1" = 200'

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APPROVAL CRITERIA:

Approval criteria for this decision can be found within Chapter 29.600 et seq., Flood Hazard Regulations of the Multnomah County Building and Specialty Codes, copies of which are available at our offices.

MODIFICATIONS AND LIMITATIONS:

This permit is based on written narrative(s), plan(s) and an elevation certificate provided by the applicant (attached). No development shall occur under this permit other than that which is specified within these documents. It shall be the responsibility of the property owner to comply with these documents and the limitations described herein.

Prior to sign-off of a building permit:

The property owner is to schedule an appointment with the Staff Planner, Kerry Rappold, at Multnomah County, (503) 988-3043, for building permit sign-off. The property owner shall bring 5 sets of site and

building plans to the County for sign-off prior to submittal of the building permits to the City of Portland Building Department. Additionally, the property owner is to provide the following:

1. A performance bond or cash deposit in the amount of \$1000.00 to assure that the as-built elevation survey is submitted. The deposit/bond may be used to obtain the elevation survey, without notice, if it is not completed and submitted prior to occupancy of the dwelling. The performance bond or cash deposit shall be released upon submittal of the as-built elevation survey, unless utilized to obtain compliance (MCC 29.606(B)(3)(b)).

Follow up requirements after construction:

1. The property owner shall conduct an as-built elevation survey of the lowest floor. This survey shall be completed by a State of Oregon Registered Professional Engineer or Land Surveyor and must certify that the structure's lowest floor was elevated to at least one foot above the base flood level. A copy of the as-built elevation survey shall be submitted to Multnomah County Land Use Planning prior to occupancy of the structure (MCC 29.606(B)(3)).

No additional land use action and/or permit requests shall be accepted, relating to the subject application, until such time as all required fees for said application have been paid in full.

Issued by:

Signed: Kerry Rappold, Planner
For: Kathy Busse, Planning Director

Date: Monday, July 31, 2000