



MULTNOMAH COUNTY
LAND USE PLANNING DIVISION
1600 SE 190TH Avenue Portland, OR 97233
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<http://www.multnomah.lib.or.us/lup>

GRADING AND EROSION CONTROL PERMIT

CASE FILE: GEC 0-37

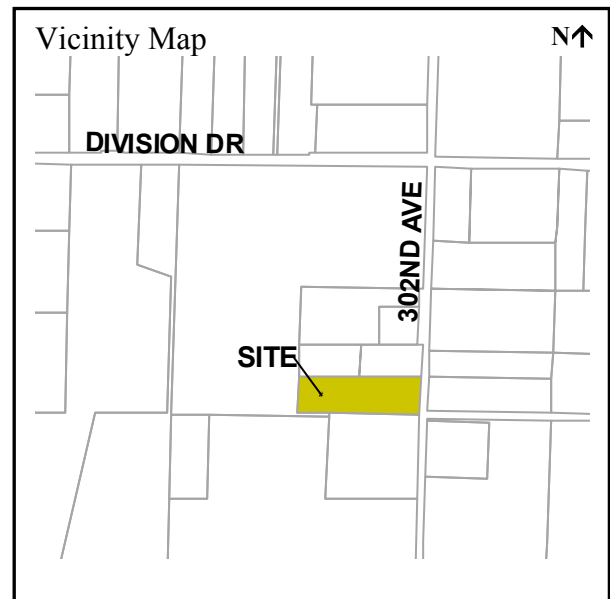
February 28, 2001

Request: Grading and Erosion Control Permit application for grading activities associated with construction of a new single family residence and gravel driveway.

Location: 3921 SE 302nd Avenue
TL 600, Sec 7, T1S, R4E, W.M.
Tax Account #R99407-0320

Applicant: Gary L. Baxter
3921 SE 302nd Avenue
Troutdale, Oregon 97060

Owner: Gary L. & Joan W. Baxter
3921 SE 302nd Avenue
Troutdale, Oregon 97060



ORDINANCE REQUIREMENTS:

Applicable standards for this permit can be found in Chapter 29.300 et seq., Grading and Erosion Control Code of the Multnomah County Building and Specialty Codes, copies of which are available at our office.

MODIFICATIONS AND LIMITATIONS:

This permit is based on written narrative(s) and plan(s) provided by the applicant (attached). No development shall occur under this permit other than that which is specified within these documents. It shall be the responsibility of the property owner to comply with these documents and the limitations described herein.

Prior to any land disturbing activities:

1. The property owner is to adhere to all grading and construction recommendations contained in the narrative and plans prepared by H.G. Schlicker and Associates, Inc., dated August 24, 2000, and revised November 27, 2000 and January 10, 2001 (attached)¹. **All work is to be supervised by a licensed geologist or geotechnical engineer.**

¹ The applicant relabeled Figure 1, referenced in the November 27, 2000 submittal, as Figure 7 to avoid duplication. Plan and section drawings labeled *Baxter, Figure 1* and *Baxter Figure 2*, although not prepared by H.G. Schlicker and Associates, Inc., have been reviewed by them and were found to be compatible with their work as described in the above referenced narrative and plans.

2. The property owner shall maintain best erosion control practices through all phases of development. Appropriate erosion control measures are described in the H.G. Schlicker and Associates, Inc. reports, and include the installation of sediment fences/barriers at the toe of disturbed areas and post construction re-establishment of ground cover. Straw mulch, erosion blankets, or 6-mil plastic sheeting shall be used as a wet weather measure to provide erosion protection for exposed soils. All erosion control measures are to be implemented as prescribed in the current edition of the *Erosion Prevention Sediment Control Plans Technical Guidance Handbook*, copies of which are available for purchase at our office, or through the City of Portland. The property owner shall verify that all erosion control measures are properly installed and in working order prior to initiating grading activities.
3. On-site disposal of construction debris is not authorized under this permit. Spoil materials removed off-site shall be taken to a location approved for the disposal of such material by applicable Federal, State and local authorities.
4. Fill materials shall be clean and non-toxic. This permit does not authorize dumping or disposal of hazardous or toxic materials, synthetics (i.e. tires), petroleum based materials, or other solid wastes which may cause adverse leachates or other off-site water quality effects.
5. The property owner is responsible for removing any sedimentation caused by development activities from all neighboring surfaces and/or drainage systems. If any features within adjacent public right-of-way are disturbed, the property owner shall be responsible for returning such features to their original condition or a condition of equal quality.
6. The County may supplement described erosion control techniques if turbidity or other down slope erosion impacts result from on-site grading work. The Portland Building Bureau (Special Inspections Section), the local Soil and Water Conservation District, or the Natural Resources Conservation Service can also advise or recommend measures to respond to unanticipated erosion effects.
7. Drainage of storm run-off attributed to this development shall be managed via roadside ditch and drywells as described in the report prepared by H.G. Schlicker and Associates, dated November 27, 2000, and storm water plan of the same date, labeled Figure 7 (attached).
8. If a percolation test has not been performed as a basis of designing the subsurface drainage system, such a test shall be performed during construction to confirm assumed percolation rates. If percolation rates are less than assumed rates, the system shall be redesigned based on the actual rates. Percolation test results and any modifications to drainage design performed in response to the test results shall be submitted to the Multnomah County Land Use Planning Office.
9. The property owner shall maintain water quality within the seasonal drainage by implementing the mitigation plan described under Item #2 of their January 11, 2001 letter and planting plan labeled Baxter, Figure 3 (attached).
10. On January 12, 2001, the applicant presented to, and received sign-off from, the County on a Division of State Lands and US Army Corp of Engineers joint permit application for placement of fill within the seasonal drainage, attributed to the road crossing. No work authorized under this permit is to be initiated until such time as required approvals are obtained from these agencies.
Submit copies of approval letters to our office, referenced to case file #GEC 0-37.

11. **Applications for building permits may now be made with the City of Gresham. When ready to have building permits signed off, call the Staff Planner, Derrick I. Tokos, AICP, at (503)-988-3043, for an appointment for review and approval of the conditions and to sign the building permit plans. Multnomah County must review and sign off building permit applications before they are submitted to the City of Gresham. Three (3) sets each of the site plan and building plan are needed for building permit sign-off.**
12. Earth disturbing activities within the drainage swale (Baxter, Figure 2 (attached)), excluding landscaping, shall only occur between April 30th and November 1st of each year that this permit is valid.

Follow up requirements after grading:

1. All disturbed areas are to be seeded or planted within thirty (30) days of the date grading activities are concluded.
2. **Once construction is completed, the supervising engineer or geologist shall submit a statement certifying that all work has been completed pursuant to the referenced specifications.**
3. The property owner shall contact the case planner at the Land Use Planning Division at (503) 988-3043, to arrange for a **site inspection** after the project is complete.

Grading and erosion control activities described and approved under this permit shall be completed within two (2) years from the date of this approval.

Issued by:

Signed: Derrick I. Tokos, AICP, Planner
For: Kathy Busse, Planning Director

Date: Wednesday, February 28, 2001