



**DEPARTMENT OF ENVIRONMENTAL SERVICES
LAND USE PLANNING DIVISION
1600 SE 190th Avenue
Portland, OR 97233
Phone: (503) 248-3043 Fax: (503) 248-3389**

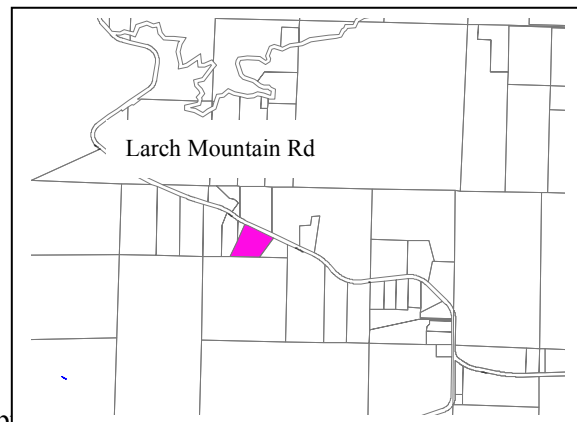
OPPORTUNITY TO COMMENT

**GRADING AND EROSION CONTROL PERMIT
CASE FILE: GEC 17-99**

WHAT: Grading and Erosion Control Permit application for grading activities associated with excavation for a new house.

WHERE: 43000 NE Larch Mountain Rd.
Tax Lot 29, Sec. 5, 1S 5E, W.M.
Tax Account R-99505-0290

WHO: *Applicant/Property Owner*
Dan Roberts
106 Littlepage Rd.
Corbett, OR 97019



APPROVAL CRITERIA:

Approval criteria for this decision can be found within Chapter 22.500, Grading and Erosion Control Code of the Multnomah County Building and Specialty Codes, copies of which are available at our offices.

COMMENTS:

Written comments regarding this application will be accepted if received at the address above by **4:30 p.m., May 21, 1999.**

Copies of all evidence relied upon and provided by the applicant are available for review.

Issues raised in your comments should be specific to the property in the application and should include sufficient information to enable the decision maker to respond to the issue. To ensure that your comments are considered as part of the Decision, they must be provided, in writing, prior to the expiration of the comment period. Please make correspondence to the attention of Virginia Dodson, the county planner assigned to review this application.

Notice of this action is being sent as a courtesy to those property owners in the immediate surrounding area to encourage public participation.



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Thursday, December 04, 2003

Dan Roberts
106 Littlepage Rd.
Corbett, OR 97019

Re: Grading and Erosion Control Permit Application (GEC 17-99)

Dear Applicant:

After examining your Grading and Erosion Control Permit application, staff finds that the following revisions and/or additional information needs to be provided so that our review of this request can be completed:

1. Estimate of depths and the extent and location of all proposed cuts and fills.
2. In order to accurately figure out the amount of cuts and fills, you will need to put together a pre-grade and post-grade contour map. The cross sections you submitted are not accurate enough for me to determine anything. You can probably put together a scaled contour map yourself with the help of a level or you can have a surveyor or engineer do all or part of it.
3. Mark on a plan or put in writing what types of vegetation you intend to plant and where they will be placed after grading is finished.
4. What is your proposed timeline once you have received approvals.

Notice of this permit request was forwarded to adjacent property owners and affected agencies for comment. Responses to this notice are due no later than **May 21, 1999**. Any comments received will be promptly forwarded to your attention.

If you have any questions, please do not hesitate to contact our office.

Sincerely,

Virginia Dodson
Planner



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Portland, OR 97233

Phone: (503) 248-3043 Fax: (503) 248-3389

GRADING AND EROSION CONTROL PERMIT

CASE FILE: GEC 17-99

May 24, 1999

WHAT: Grading and Erosion Control Permit application for grading activities associated with excavation for a new house.

WHERE: 43000 NE Larch Mountain Rd.
Tax Lot 29, Sec. 5, 1S 5E, W.M.
Tax Account R-99505-0290

WHO: *Applicant/Property Owner*
Dan Roberts
106 Littlepage Rd.
Corbett, OR 97019

APPROVAL CRITERIA:

Applicable approval criteria for this decision can be found in Chapter 29.300, Grading and Erosion Control Code of the Multnomah County Building and Specialty Codes.

DECISION:

APPROVED, subject to limitations, a Grading and Erosion Control Permit for grading activities associated with excavation for a new house.

LIMITATIONS:

1. This approval is based on the submitted written narrative(s), site plan and erosion control plan. No excavation or fill shall occur under this permit other than that which is specified within these documents. It shall be the responsibility of the property owner to comply with these documents and the limitations of approval described herein.
2. Fill materials, compaction methods and density specifications shall be as indicated in the Professional Service Industries, Inc. (PSI) report dated May 4, 1999.
3. Stormwater shall be directed to approved discharge points below the house. Measures shall be taken to ensure that stormwater draining from the drainline does not cause erosion downhill.
4. Backfill for foundation shall be imported, as specified in the report by PSI, except for the top 18 to 24 inches.
5. Stockpiled soil shall be prevented from eroding by applying mulch or other protective covering.
6. The County may supplement described erosion control techniques if turbidity or other down slope erosion impacts result from on-site grading work. The Gresham Building Bureau, the East Multnomah County Soil and Water Conservation District, or the U.S. Soil Conservation Service can also advise or recommend measures to respond to unanticipated erosion effects.

7. The property owner shall maintain best erosion control practices through all phases of development.
8. Revegetation of disturbed areas on and near the steep slope should be accomplished using plants native to the area. Holly is not a native plant and is very invasive. Applicant's other suggested plants, vine maple, alder, huckleberry and native ferns, are appropriate plants for this area. Areas around the house may be revegetated with grass seed or other plants of choice. All replanting of exposed areas resulting from the development shall be accomplished no later than November 1, 1999, unless applicant contacts the land use planner to set up alternate arrangements.
9. Grading and erosion control activities shall be completed within two (2) years from the date of this approval. At such time as the project is completed, the property owner is to contact the Multnomah County Land Use Planning Division to arrange for a final site inspection.

IN THE MATTER OF GEC 17-99

Signed: Virginia Dodson, Planner
For: Kathy Busse, Planning Director
May 24, 1999