



DEPARTMENT OF ENVIRONMENTAL SERVICES
LAND USE PLANNING DIVISION
1600 SE 190th Avenue
Portland, OR 97233 (503) 248-3043

GRADING AND EROSION CONTROL PERMIT CASE FILE: GEC 22-98

WHAT: Grading and Erosion Control Permit involving approximately 200 cubic yards of excavation and fill associated with a 1568 square foot addition to a single family residence and expansion of an existing driveway.

WHERE: 31405 E. Historic Columbia River Hwy
Tax Lot 4, Sec. 5, T1S, R4E, W.M.
Tax Acct #R-99405-0040

WHO: Applicant/Property Owner

Khalid Rasulpuri
31405 E. Historic Columbia River Hwy
Troutdale, Oregon 97060

APPROVAL CRITERIA:

Approval criteria for this decision can be found within Chapter 29.300, Grading and Erosion Control Code of the Multnomah County Building and Specialty Codes, copies of which are available at our offices.

DECISION:

APPROVED, subject to limitations, a Grading and Erosion Control Permit involving approximately 200 cubic yards of excavation and fill associated with a 1568 square foot addition to a single family residence and expansion of an existing driveway.

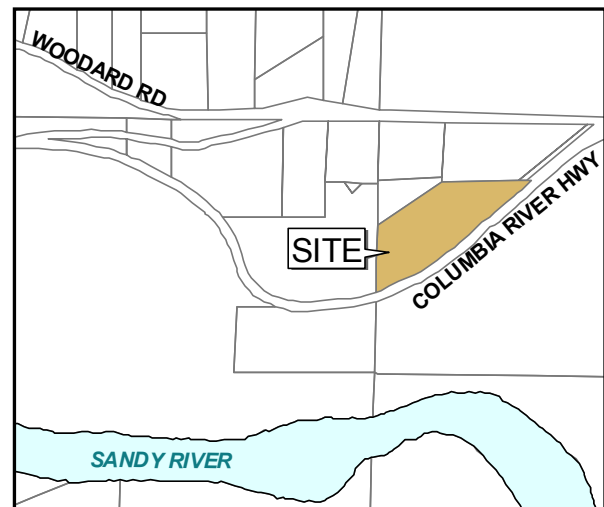
LIMITATIONS:

1. This approval is based on the submitted written narrative(s), and erosion control plan. No excavation or fill shall occur under this permit other than that which is specified within these documents. It shall be the responsibility of the property owner to comply with these documents and the limitations of approval described herein.
2. The property owner shall maintain best erosion control practices through all phases of development. Erosion control measures are to include a gravel construction entrance adjacent to Crown Point Highway, the installation of sediment fences/barriers at the toe of disturbed areas, and post construction re-establishment of ground cover. Straw mulch or 6-mil plastic sheeting shall be used as a wet weather measure to provide erosion protection for exposed soils. Replanting of exposed areas shall be accomplished within thirty (30) days of project completion. **The property owner shall verify that erosion control measures are properly installed and in working order before initiating further grading activities on the subject property.**

VICINITY MAP

SCALE: 1" = 1000'

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3. Drainage of stormwater run-off attributed to this development shall be infiltrated with a French Drain system, constructed pursuant to the specifications provided by Warren Westgarth, P.E., dated October 18, 1998. **Such system shall be sized to a depth of 4 feet, width of 2.75 feet and length of 75 feet.**
4. Before construction is completed but after the drainage system is constructed, the drainage system is to be field-tested. The test shall consist of saturating the drainage system and then testing the performance of the system with the design storm volume of water. The results of this test shall be submitted to the Multnomah County Land Use Planning Office.
5. The property owner is responsible for removing any sedimentation caused by development activities from all neighboring surfaces and/or drainage systems. If any features within adjacent public right-of-way are disturbed, the property owner shall be responsible for returning such features to their original condition or a condition of equal quality.
6. The County may supplement described erosion control techniques if turbidity or other down slope erosion impacts result from on-site grading work. The Portland Building Bureau (Special Inspections Section), the East Multnomah County Soil and Water Conservation District, or the U.S. Soil Conservation Service can also advise or recommend measures to respond to unanticipated erosion effects.
7. Fill materials shall be clean and non-toxic. This permit does not authorize dumping or disposal of hazardous or toxic materials, synthetics (i.e. tires), petroleum based materials, or other solid wastes which may cause adverse leachates or other off-site water quality effects.
8. On-site disposal of construction debris is not authorized under this permit. Spoil materials removed off-site shall be taken to a location approved for the disposal of such material by applicable Federal, State and local authorities.
9. Grading and erosion control activities shall be completed within two (2) years from the date of this approval.
10. No additional land use action and/or permit requests shall be accepted, relating to the subject application, until such time as all required fees for said application have been paid in full.
11. Application for building permits may now be made with the City of Gresham. When ready to have building permits signed off, call the Staff Planner, Derrick I. Tokos, AICP, at (503)-248-3043, for an appointment for review and approval of the conditions and to sign the building permit plans. Multnomah County must review and sign off building permit applications before they are submitted to the City of Gresham. Three (3) sets each of the site plan and building plan are needed for building permit sign-off.

IN THE MATTER OF GEC 22-98

Signed: Derrick I. Tokos, AICP, Planner
For: Kathy Busse, Planning Director

This permit filed with the Director of the Department of
Environmental Services on Tuesday, June 15, 1999.