Department of Community Services
Land Use Planning Division
www.multco.us/landuse

Multnomah County

1600 SE 190th Ave, Portland OR 97233-5910 • PH. (503) 988-3043 • Fax (503) 988-3389

AGENCY REVIEW

Attached is a site review permit application (as submitted). Please evaluate and comment on these materials so that we can incorporate your feedback into our completeness review. This is not a substitute for public notice of a complete application. Once we determine the application is complete an additional notice will be mailed (with any revised information), offering you the opportunity to comment or informing you of a date for public hearing, as appropriate.

National Scenic Area Site Review

To:

- ☒ Gorge Commission/Cultural Advisory Committee
- ☒ U.S. Forest Service NSA Office
- ☒ Confederated Tribes of Warm Springs
- ☒ Confederated Tribes of the Umatilla Indian Reservation
- ☒ Nez Perce Tribe
- ☒ Yakama Indian Nation
- ☒ State Historic Preservation Office
- ☐ Oregon Department of Transportation
- ☒ Multnomah County Transportation Division
- ☒ PSU/Institute for Natural Resources
- ☒ Oregon Department of Fish and Wildlife

From: Rithy Khut, Planner

Vicinity Map N↑

Case File: T3-2018-9967

Location: 40301 E. Larch Mountain Road, Corbett

Proposal: Request a Conditional Use Permit, National Scenic Area (NSA) Review, a Hillside Development Permit, a Major Variance, and a Lot Consolidation to authorize and establish a retreat facility (wellness center) with overnight accommodations in a historic building commonly known as the Viewpoint Inn

Your written comments are needed no later than **4:00 p.m., Friday, February 23, 2018**.

Zoning: Gorge General Forestry – 40 (GGF-40) ☒ GMA ☐ SMA

National Scenic Area resources that may be impacted by this project include:

☒ Key Viewing Areas	☒ Cultural Resource	☐ Wetland/Stream/Lake Buffer
☐ Sensitive Wildlife Habitat	☐ Rare Plants	☐ Deer/Elk Wintering Range
☒ Historic Uses/Structures	☐ Natural Area	☐ Adjacent to Recreational Uses

Enclosures

Multnomah County

Land Use Planning Division
1600 SE 190th Ave, Ste 116
Portland OR 97233
Ph: 503-988-3043 Fax: 503-988-3389
multco.us/landuse

GENERAL APPLICATION FORM

11:57AM 000001 #8645
0005 JACKIE
PERMITS-TYPE 1 $259.00
PERMITS-TYPE 3 $1055.00
PERMITS-TYPE 3 $3204.00
PERMITS-TYPE 2 $15.45
R/W $49.00
PERMITS-TYPE 2 $1529.55
CR CARD $6112.00

PROPERTY IDENTIFICATION

Property Address 40301 E. Larch Mountain Road, Corbett, OR 97019

State Identification 1N-5E-30CC, Tax Lot 1600 Site Size 1 acre

A&T Alternate Account Number R# R832300010

OTHER PARCEL (if applicable)

Property Address

State Identification 1N-5E-30CC, Tax Lot 1500 Site Size 0.2 acre

A&T Alternate Account Number R# R832301940

PROPERTY OWNER(S) ☒ OR CONTRACT PURCHASER(S) ☐

Name HSF, LLC

Mailing Address PO Box 70

City Corbett State OR Zip Code 97019 Phone#

I authorize the applicant below to make this application.

Hamish Fraser

Property Owner Signature #1 Property Owner Signature #2

NOTE: By signing this form, the property owner or property owner's agent is granting permission for Planning Staff to conduct site inspections on the property.

If no owner signature above, a letter of authorization from the owner is required. ☐

APPLICANT'S NAME AND SIGNATURE

Applicant's Name Keith Daily

Mailing Address 321 SW Fourth Ave, #200

City Portland State OR Zip Code 97204 Phone # 503-235-9400

Fax E-mail keith@emerick-architects.com

Applicant's Signature

GENERAL DESCRIPTION OF APPLICATION (REQUIRED)

Please provide a brief description of your project.

The View Point Inn and Wellness Center is a rehabilitation and expansion of a historic landmark on the National Register of Historic Places. The proposed use is for a wellness retreat center with accommodations for overnight guests. There will be five guest rooms with a small restaurant, spa facilities and health assessment center to provide the supporting amenities necessary for the retreat center.

Note: This application for Conditional Use Permit & Hillside Development Permit

For Staff Use

CASE NUMBER
T3-2018-9967
505203 505202

LAND USE PERMIT(S)
CU, NSA Site Review
Lot Consol. 505204
Variance 505205
Hillside Develop.

DATE SUBMITTED
505206
1/26/2018

Compliance Related ☑

Potential Transportation Impact ☑

PF/PA No.

ZV-2017-9820
Related Case No.

Related Case No.

ZONING

Zoning District

Zoning Overlay

MULTNOMAH COUNTY, OREGON
PROPERTY RECORDS

Property Information

Search Results for R287215

Pay Now

Owner Name

FRUEHAUF,HEINER &
FRUEHAUF,SHERON

Property ID Number

R287215

Owner Address

PO BOX 70
CORBETT, OR 97019

Situs Address

NE COR/ LARCH MOUNTAIN & NE COLUMBIA AVE
CORBETT, OR 97019

Alternate Account Number

R832301940

Neighborhood

R010

Map Tax Lot

1N5E30CC -01500

Levy Code Area - Taxing Districts

074

Portland Maps

Click to Open Map

Information on Ordering Copies

Click to Open Order Form

Property Description

Exemption

Expiration Date

Tax Roll Description

THORS HTS & RPLT, BLOCK 2, LOT 2

Map Number

301N5E 1N5E30CC -01500

Parcel

Account Status

A - Active

Property Use

A - VACANT LAND

Year Built

Acreage

Related Accounts

Linked Accounts

Split/Merge Account

Split/Merge Account Message

Special Account Information

Sales Information

Deed	Grantor (Seller)	Grantee (Buyer)	Instrument	Date	Consideration Amount
WD	SERAFINI,STEPHEN	FRUEHAUF,HEINER &	2016120971	09/27/16	$55,000
TRD	SIMIONE,DONN A &	SERAFINI,STEPHEN	2011110799	10/06/11	$247,059

BSD	SIMIONE,DONN A	SIMIONE,DONN A &	2007043528	03/13/07	$0
BSD	SIMIONE,DONN A &	SIMIONE,DONN A	2006155720	08/21/06	$0
BSD	SIMIONE,DONN A &	SIMIONE,DONN A &	2006099486	05/31/06	$0
BSD	GABLE,JAN	SIMIONE,DONN A &	2005021874	02/08/05	$0
WD	W B OREGON INC	GABLE,JAN	2004098929	06/02/04	$450,600
QCD	WATSON,DOUGLAS T	GABLE,JAN	2004098926	06/02/04	$0
QCD	WATSON,KAREN A	GABLE,JAN	2004098924	06/02/04	$0
BSD	PNW LLC	W B OREGON INC	2004098928	06/02/04	$0
EXD	MULTNOMAH COUNTY SHERIFF	PNW LLC	2004098927	06/02/04	$600,000
QCD	WATSON,DOUGLAS T	PNW LLC	2004098925	06/02/04	$0
QCD	WATSON,KAREN A	PNW LLC	2004098923	06/02/04	$0
INST	WATSON,KAREN A &	WATSON,KAREN A &	BP15571711		$0

2018 Land Information (Unedited and Uncertified)

ID	Type	Acres	Sq Ft
L1	RES - RESIDENTIAL LAND	0.21	9000

INFORMATION SUBJECT TO DISCLAIMER - SEE HOME PAGE

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Keith
10 05

MULTNOMAH COUNTY, OREGON
PROPERTY RECORDS

Property Information

Property Information | Tax Summary | Assessment History | Improvement Information | New Search | Search Results | Printable Summary | Logoff

Search Results for R287200

Pay Now

Owner Name
HSF LLC

Property ID Number
R287200

Owner Address
PO BOX 70
CORBETT, OR 97019

Situs Address
40301 E LARCH MOUNTAIN RD
CORBETT, OR 97019

Alternate Account Number
R832300010

Neighborhood
R010

3 ft. major variance

Map Tax Lot
1N5E30CC -01600

Levy Code Area - Taxing Districts
074

Portland Maps
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Property Description

Exemption
(24H2) HISTORIC PROPERTY 2 TERM

Expiration Date
2023

Tax Roll Description
THORS HTS & RPLT, BLOCK 1, LOT 1, LOT 2 EXC PT IN HWY, HISTORIC PROPERTY, POTENTIAL ADDITIONAL TAX

Map Number
301N5E 1N5E30CC -01600

Parcel

CU
NSA Site
Lot Consol.
H.D.
variance

Account Status
A - Active

Property Use
B - RESIDENTIAL IMPROVED

Year Built
1925

Acreage

Related Accounts
P437717, P466485, P466486, P620769, P624936

Linked Accounts

Split/Merge Account

Split/Merge Account Message

Special Account Information

Sales Information

Deed	Grantor (Seller)	Grantee (Buyer)	Instrument	Date	Consideration Amount
BSD	FRUEHAUF,HEINER &	HSF LLC	2016155958	12/14/16	$0
WD	THOMPSON,GEOFFREY	FRUEHAUF,HEINER &	2016120979	09/27/16	$577,150

	J &				
QCD	SIMIONE,DONN A &	THOMPSON,GEOFFREY J &	2011068357	06/15/11	$0
BSD	SIMIONE,DONN A	SIMIONE,DONN A &	2007128510	07/17/07	$0
BSD	THOMPSON,GEOFFREY	SIMIONE,DONN A	2007124401	07/11/07	$0
BSD	SIMIONE,DONN A	SIMIONE,DONN A &	2006157945	08/24/06	$0
BSD	SIMIONE,DONN A &	SIMIONE,DONN A	2006155720	08/21/06	$0
BSD	SIMIONE,DONN A &	SIMIONE,DONN A &	2006099486	05/31/06	$0
BSD	SIMIONE,DONN A	SIMIONE,DONN A &	2004207149	11/16/04	$0
BSD	GABLE,JAN	SIMIONE,DONN A &	2005021874	02/08/05	$0
WD	GABLE,JANET L &	SIMIONE,DONN A	2004179124	09/30/04	$650,000
BSD	GABLE,JAN	GABLE,JANET L &	2004109246	06/17/04	$0
WD	W B OREGON INC	GABLE,JAN	2004098929	06/02/04	$450,600
QCD	WATSON,DOUGLAS T	GABLE,JAN	2004098926	06/02/04	$0
QCD	WATSON,KAREN A	GABLE,JAN	2004098924	06/02/04	$0
BSD	PNW LLC	W B OREGON INC	2004098928	06/02/04	$0
EXD	MULTNOMAH COUNTY SHERIFF	PNW LLC	2004098927	06/02/04	$600,000
QCD	WATSON,DOUGLAS T	PNW LLC	2004098925	06/02/04	$0
QCD	WATSON,KAREN A	PNW LLC	2004098923	06/02/04	$0
OTH	MULTNOMAH COUNTY SHERIFF	PNW LLC	2004018509	02/05/04	$600,000
INST	WATSON,DOUGLAS T &	WATSON,DOUGLAS T &	BP15490376		$0

2018 Land Information (Unedited and Uncertified)

ID	Type	Acres	Sq Ft
L1	RES - RESIDENTIAL LAND	1.00	43560

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EMERICK ARCHITECTS

VIEW POINT INN & WELLNESS CENTER

PROJECT NARRATIVE

LOCATION: 40301 E. Larch Mountain Road
Corbett, OR 97019

Tax Lot 1600 / 1N-5E-30CC
Alt Account # - R832300010

Tax Lot 1500 / 1N-5E-30CC
Alt Account # - R832301940

RECEIVED
JAN 26 2018
BY:

BASE ZONE: Gorge General Forestry-40 (GGF-40)

LANDSCAPE: Pastoral

PROJECT SUMMARY:

The View Point Inn and Wellness Center is a rehabilitation and expansion of a historic landmark in the Columbia River Gorge. The building was originally constructed in 1924 and placed on the National Register of Historic Places in 1985. The proposed renovation, addition and site development will follow the Secretary of Interior's Standards for Rehabilitation of Historic Properties, and be closely reviewed by the Oregon State Preservation Office and National Parks Service.

The proposed use is to establish a wellness retreat center with accommodations for overnight guests. The project will include five guest rooms, retaining the number that has traditionally existed within the historic building. A small restaurant, spa facilities and a health assessment center will provide supporting amenities to create a retreat center focused on holistic wellness.

The project will restore the historic View Point Inn to include the five guest rooms, with the restaurant and dining area in the historically-significant great room of the original building. The health assessment center will be housed within an addition to the north end of the building that replaces the existing, non-historic garage. The spa facilities will be located within the expanded basement below the existing building and new addition. Furthermore, the historic grounds will be developed with a harmonious landscape design that embraces the natural beauty of the Gorge and re-establishes this historic landmark within the community.

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PERMITS REQUIRED:

- **Conditional Use** - Proposed use for a retreat facility with overnight accommodations and select commercial events to be established per MCC 38.7380: Special Uses in Historic Buildings

- **National Scenic Area Site Review**

- **Hillside Development Permit**

- **Replat** – Replat of Lots 1 & 2 of Thor's Heights Addition. Combine to remove property line between lots.

- **Variance –** The following variances are requested for this project. For additional information regarding each variance, refer to the specific MCC sections found later within this narrative.

    1. MCC 38.2060: Front yard / street side yard dimensions
    2. MCC 38.2060: Height restriction for chimneys
    3. MCC 38.4175: Dimensional standards for parking stalls and aisles
    4. MCC 38.4195: Street lot line yard setbacks for parking areas
    5. MCC 38.7305: Roof materials in forest zones

LIST OF KEY VIEWING AREAS

The subject property is located within the following Key Viewing Areas:

- Columbia River
- Historic Columbia River Highway
- I-84
- Larch Mountain
- Portland Women's Forum *
- SR-14
- Sandy River

* The most prominent KVA visibility is from the Portland Women's Forum. Images of the view from the Portland Women's Forum have been included with this application.

MULTNOMAH COUNTY CODE

The following pages of this narrative address the MCC sections that are applicable to this project. For additional information beyond the written narrative, please refer to the drawings, images and other information that has been included with this application.

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FOREST DISTRICTS – GGF

MCC 38.2030: Conditional Uses

(A) The following conditional uses may be allowed on lands designated GGF, pursuant to the provisions of MCC 38.0045 and 38.7300:

(10) Special uses in historic buildings, subject to MCC 38.7380

Response: The View Point Inn property was placed on the National Register of Historic Places in 1985. A copy of the nomination form has been included with this application. Therefore, the proposed Inn & Wellness Center is an allowed Conditional Use within a historic building. For additional information, please refer to the responses specific to section MCC 38.7380 found later in this narrative.

MCC 38.2060: Dimensional Requirements

(C) Minimum Yard Dimensions:

- Front = 30'
- Side = 10'
- Street Side = 30'
- Rear = 30'
- Maximum Structure Height = 35'
- Minimum Front Lot Line Length = 50'

Response: The Yard Dimensions from the property line are as follows:

The existing historic building:

- Front / Street Side @ Columbia Avenue = 2'-0"
  Note: Existing non-historic garage that is to be removed is over the property line.
- Side / Street Side @ East Larch Mountain Road = 24'-10"
  Note: Yard = 32'-6" to edge of pavement & 30'-0" to existing fence line
- Side Yard to North = 97'-0"
- Rear Yard to West = 132'-0"
- Existing Structure Height is 33'-6"
- Front Lot Line is approximately 192'-4"

The proposed addition:

- Front / Street Side @ Columbia Avenue = 17'-0"
- Side Yard to North = 56'-10"
- Rear Yard to West = 160'-7"
- Proposed Addition Height = 27'-10"

The historic View Point Inn was originally constructed in 1924 and has been on the National Register of Historic Places since 1985. The property is located in the GGF-40 zone, which is for parcels that are 40 acres in size. The main View Point Inn property

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is approximately 1 acre in size and the adjacent parking property is less than ¼ acre in size. In such, dimensional yard standards for 40-acre parcels places an undo burden on lots as small as those of the View Point Inn.

As sited, the existing building does not meet the street side yard requirements along Columbia Avenue, and although it is set back greater than 30' to the pavement of East Larch Mountain Road, it is less than 30' to the property line along that street. A **Variance** from the street side yard requirement is requested to allow the existing building to remain in its historic location.

To maintain visual subordinance from Key Viewing Areas to the west and abide by the Secretary of Interior's Standards for Rehabilitation of Historic Properties, the proposed addition is set back 17'-0" from the east property line along Columbia Avenue. The building addition involves removing the existing, non-historic garage that is located over the property line, so the proposed 17'-0" setback is an improvement upon the existing condition. A **Variance** from the street side yard requirement is requested to allow the proposed addition to be situated as indicated, so it can be visually and historically sensitive to its surroundings and existing site.

In addition, the existing accessory building is set back 6'-2" from the east property line along Columbia Avenue. If necessary, a **Variance** from the street side yard requirement is requested to allow the accessory building to remain in its existing location.

Refer to the Site Plan drawing on sheet A0.1 for additional information.

(E) Structures such as barns, silos, windmills, antennae, chimneys, or similar structures may exceed the height requirement if located at least 30 feet from any property line.

Response: The existing chimney is located 26'-9" from the east property line and the top of structure is approximately 36'-8" above grade. A **Variance** from the 35' height restriction for chimneys located within 30' of any property line is requested to allow the chimney to remain.

MCC 38.2085: Off-Street Parking and Loading

Off-street parking & loading shall be provided as required by MCC 38.4100 - 38.4215.

Response: Off street parking and loading has been provided for the proposed use. Please refer to the responses specific to section MCC 38.4100 – 38.4215 found later in this narrative.

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OFF-STREET PARKING AND LOADING

MCC 38.4130: Location of Parking and Loading Spaces

(A) Parking spaces required by this section shall be provided on the lot of the use served by such spaces.

Response: Existing parking for the View Point Inn is located on the adjacent property to the east. This condition has previously been permitted and approved and will remain in effect with this new proposal. For additional information, see response below to part (B) of this section.

(B) Exception – The Planning Director may authorize the location of required parking spaces other than on the site of the primary use, upon written finding by the Director that:

(1) Parking use of the alternate site is permitted by this Ordinance
(2) The alternate site is within 350' of the use
(3) There is a safe and convenient route for pedestrians between the parking area and use
(4) Location of required parking other than on the site of the use will facilitate satisfaction of one or more purposes or standards or requirements of this chapter
(5) There is assurance in the form of a deed, lease, contract or other similar document that the required spaces will continue to be available for off-street parking use according to the required standards.

Response: The existing parking area for the View Point Inn is located on the property directly to the east, which is under the same ownership as the main property. Copies of the deeds for both properties have been included with this application. The properties are separated by Columbia Avenue, which is 30' wide. Two access points for this parking lot were authorized under permit No. 65292. Location of the parking to the east of the existing building means it is not visible from the Key Viewing Areas located west of the property. If parking were to be located on the main property, it would ultimately be visible from prominent Key Viewing Areas, which would place the parking in conflict with other sections of this code. The proposed landscape plan includes the addition of a stone paver crosswalk to provide a safe and convenient route for pedestrians across Columbia Avenue. Refer to drawings C1.0, L1.01 and A0.1 for additional information.

(C) Loading spaces and vehicle maneuvering area shall be located only on or abutting the property served.

Response: The required loading space is to be located on the property served. It is shown to the north of the proposed addition. See drawings C1.0, L1.01 and A0.1 for additional information.

MCC 38.4175: Dimensional Standards

(A) Parking spaces shall meet the following requirements:

(1) At least 70% of the required off-street parking spaces shall have a minimum width of 9', a minimum length of 18', and a minimum vertical clearance of 6'-6".
(2) Up to 30% of the required off-street parking spaces may have a minimum width of 8'-6", a minimum length of 16', and a vertical clearance of 6' if such spaces are clearly marked for compact car use.

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(3) For parallel parking, the length of the parking space shall be 23'.
(4) Space dimensions shall be exclusive of access drives, aisles, ramps or columns.

Response: The proposed parking layout includes 27 total spaces, all of which will have the 6'-6" minimum vertical clearance. Of those, a total of 5 spaces (19%) are 8'-6" wide by 16' long. The remaining spaces are 9'-0" wide by 16' long. For spaces along the lot perimeter, the 16' length includes an overhang depth beyond the curb/bumper stop. See drawing sheet A0.1 for additional information. Previously approved and permitted parking layouts for this property included spaces as short as 15', A **Variance** is requested for the minimum length requirement of 18' for 70% of parking spaces.

(B) Aisle width shall be not less than:

(1) 25' for 90-degree parking
(2) 20' for less than 90-degree parking
(3) 12' for parallel parking
(4) Angle measurements shall be between the center line of the parking space and center line of the aisle.

Response: 90-degree parking is proposed for the entire lot. 20' wide aisles are proposed between the rows of parking, with a 25' turning aisle at the end of the center row of spaces. See drawing sheet A0.1 for additional information. A **Variance** is requested to allow for 20' wide aisles in lieu of the 25' aisle width requirement.

(C) Loading spaces shall meet the following requirements:

(1) Minimum width = 12', minimum depth = 25'
(2) Minimum vertical clearance shall be 13'

Response: The proposed loading space is 12' wide by 30' deep. The loading space is not covered and a minimum vertical clearance of 13' shall be maintained to any tree limbs that may overhang the loading space.

MCC 38.4180: Improvements

(A) Surfacing:

(1) Unless as otherwise provided in either this section or MCC 38.7380 for Special Uses in Historic Buildings; all areas used for parking, loading or maneuvering of vehicles, including the driveway, shall be surfaced with at least gravel or 2" of blacktop on a 4" crushed rock base or at least 6" of Portland cement, unless a design providing additional load capacity is required by the fire service provider, building official or County Engineer, as applicable.

Response: The surfacing for the parking areas shall be gravel.

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(B) Curbs and Bumper Rails:

(1) All areas used for parking, loading and maneuvering of vehicles shall be physically separated from public streets or adjoining property by required landscape strips or yards or in those cases where no landscaped area is required, by curbs, bumper rails or other permanent barrier against unchanneled motor vehicle access or egress.
(2) The outer boundary of a parking or loading area shall be provided with a bumper rail or curbing at least 4" in height and at least 3' from the lot line or any required fence.

Response: A 4" high concrete curb will mark the outer boundary of the parking area. The curb will be 6" wide, maximum. As indicated on drawing sheet A0.1, the interior face of the curb is 3'-6" in from all property lines. Assuming the curb is 6" wide, there will be at least 3' clear from the back of curb to the property line.

(C) Marking – All areas for parking and maneuvering of vehicles shall be marked in accordance with the approved plan required under MCC 38.4120, and such marking shall be continually maintained.

Response: All parking and maneuvering areas shall be marked and maintained. Refer to drawing sheets C1.0, L1.01 and A0.1 for additional information.

(D) Drainage – All areas for the parking and maneuvering of vehicles shall be graded and drained to provide for the disposal of all surface water on the lot.

Response: All parking and maneuvering areas shall be graded and drained. Refer to drawing sheets C1.0 and C2.0 for proposed grading and drainage information.

MCC 38.4185: Lighting

Any artificial lighting which may be provided shall be shielded or deflected so as to not shine into adjoining dwellings or other types of living units, and so as not to create a hazard to the traveling public on any street.

Response: Only downward directed light fixtures will be used to avoid shining into adjacent properties or streets. The lighting will be shielded and/or deflected away from adjacent areas. Please refer to the lighting images that have been included in this application.

MCC 38.4195: Design Standards – Setbacks

(A) Any required yard which abuts upon a street lot line shall not be used for a parking or loading space, vehicle maneuvering area or access drive other than a drive connecting directly to a street.

Response: This requirement for the parking area cannot be met. The property is zoned GGF-40, which is for parcels that are 40 acres in size, but the parking is located on a property that is less than ¼ acre in size. Adhering to the required yard setbacks would greatly restrict the ability to use this parcel. This parcel has traditionally been used for parking and has previously been approved and permitted as such. A **Variance** from the required street yard setback is requested for this parcel to continue its existing use a s a parking area.

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MCC 38.4205: Minimum Required Off-Street Parking Spaces

(C) Retail, Office & Commercial Use

(1) Store, and Personal Service Shop - 1 space for each 400 sf of gross floor area
(4) Restaurant, Coffee Shop, Tavern or Bar – 1 space for each 100sf gross floor area
(6) Overnight Accommodations – 1 space per guest room or suite plus extra spaces for dining rooms, ballrooms or meeting rooms as required by this section where the capacity of such areas exceeds the capacity of the guest rooms or suites.
(7) Commercial Events – 1 space for every 3 guests allowed within the maximum event size plus one space for each 2 employees.
(8) Conference or Retreat Facilities – These shall be treated as combinations of uses such as overnight accommodations, restaurant, auditorium, etc; and the required spaces for each separate use shall be provided.

Response: The View Point Inn & Wellness Center combines overnight accommodations with a spa retreat facility. Therefore, the required off-street parking calculations are developed as a combination of those uses as follows:

• Overnight Accommodations:	5 Guest Rooms	= 5 parking spaces
• Restaurant / Dining Room:	1225sf/100sf	= 12 parking spaces
• Spa Facilities (Personal Service):	3975sf/400sf	= 10 parking spaces
Combined Total		**= 27 parking spaces**

In addition, the Operational Plan included with this application indicates a series of Commercial Events by reservation only. The proposed Commercial Events are as follows:

• Community Lectures:	40 guests max. (40/3= 13) + 12 employees max. (12/2=6)	
	Total Lecture Parking Required	**= 19 spaces**
• Seasonal Dinners:	40 guests max. (40/3= 13) + 12 employees max. (12/2=6)	
	Total Dinner Parking Required	**= 19 spaces**
• Annual Staff Holiday Party:	80 guests maximum - including staff (80/3 = 27)	
	Total Lecture Parking Required	**= 27 spaces**

The Wellness Center will not be open during the Community Lectures or Seasonal Dinners and the Restaurant area will be used to serve those events, but the Overnight Accommodations will still be available. Therefore, in addition to the 19 required parking spaces for those events, the 5 parking spaces dedicated to guest rooms will still be required, bringing the total parking count for those events to 24 spaces. The Overnight Accommodations will not be available during the Annual Holiday Party, so the total required parking for that event stays at 27 spaces.

The proposed parking layout for the project includes a total of 27 parking spaces. Refer to drawing sheets C1.0, L1.01 and A0.1 and the Operational Plan for additional information.

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HILLSIDE DEVELOPMENT

MCC 38.5520: Grading & Erosion Control Standards

Approval of development plans on sites subject to a Hillside Development Permit shall be based on findings that the proposal adequately addresses the following standards. Conditions of approval may be imposed to assure the design meets the standards:

(A) Design Standards for Grading & Erosion Control

(1) Grading Standards – Items (a) through (e)
(2) Erosion Control Standards – Items (a) through (m)

(B) Responsibility
(C) Implementation
(D) Final Approvals

Response: A Hillside Development Permit is part of this Land Use Application. For implementation of the Grading & Erosion Control standards, please refer to drawing sheet C1.0 and the associated HDP Form 1 and HDP Worksheet.

NATIONAL SCENIC AREA SITE REVIEW

MCC 38.7035: GMA Scenic Review Criteria

The following scenic review standards shall apply to all Review & Conditional Uses in the General Management Area of the Columbia River Gorge National Scenic Area:

(A) All Review Uses and Conditional Uses:
(1) New buildings and roads shall be sited and designed to retain the existing topography and to minimize grading activities to the maximum extent practicable.
(2) New buildings shall be compatible with the general scale (height, dimensions and visible mass) of similar buildings that exist nearby (within ¼ mile). Expansion of existing development shall comply with this guideline to the maximum extent practicable.
(3) New vehicular access points to the Scenic Travel Corridors shall be limited to the maximum extent practicable, and access consolidation required where feasible.
(4) Property owners shall be responsible for the proper maintenance and survival of any required vegetation.
(5) For all proposed development, the determination of compatibility with the landscape setting shall be based on information submitted in the site plan.

Response: The View Point Inn is an existing building on the National Register of Historic Places. The proposed rehabilitation, building expansion and development of the property seeks to retain the existing topography as much as possible. Please refer to drawing sheet C1.0, along with the HDP forms for additional information regarding the approach to grading. The proposed addition follows the Secretary of Interior's Standards for Rehabilitation of Historic Properties, which puts it in compatible scale with the existing historic structure. Furthermore, the proposed addition is similar in footprint to the existing garage it is replacing, resulting in minimal change to the

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existing scale of the building. No new vehicular access points to Scenic Travel Corridors are required for the proposed development. Please refer to the L-series of drawings for additional information regarding the landscape elements of the project.

(B) All Review Uses & Conditional Uses topographically visible from Key Viewing Areas:

(1) Each development shall be visually subordinate to its setting as seen from Key Viewing Areas.
(2) The extent and type of conditions applied to a proposed development or use to achieve the scenic standard shall be proportionate to its potential visual impacts as seen from Key Viewing Areas.
(3) Determination of potential visual effects and compliance with visual subordinance policies shall include consideration of the cumulative effects of proposed developments.

Response: The View Point Inn is on the National Register of Historic Places. Per section MCC 38.7035 (B)(14), *Rehabilitation of or modifications to existing significant historic structures shall be exempted from visual subordinance requirements for lands seen from Key Viewing Areas.* In such, the proposed project is exempt from the visual subordinance requirements of MCC 38.7035(B)(1-3) listed above. Although the historic site is exempt, the proposed rehabilitation seeks to retain visual subordinance to the greatest extent practicable by locating the addition on the least visible portion of the site, respecting the scale and aesthetic of the existing building and using the landscape design to help screen the addition from Key Viewing Areas.

(4) In addition to site plan requirements in MCC 38.0045 (A) applications for all buildings visible from key viewing areas shall include a description of the proposed building's height, shape, color, exterior building materials, exterior lighting, and landscaping details (type of plants used, number, size, locations of plantings, and any irrigation provisions or other measures to ensure the survival of landscaping planted for screening purposes).

Response: Refer to the attached drawings and material sheets regarding the above listed elements of the proposed building and site.

(6) New development shall be sited on portions of the subject property which minimize visibility from Key Viewing Areas, unless the siting would place such development in a buffer specified for protection of wetlands, riparian corridors, sensitive plants, sensitive wildlife sites or conflict with the protection of cultural resources. In such situations, development shall comply with this standard to the maximum extent practicable.

Response: The proposed addition is sited on the north end of the existing building, which through existing and proposed vegetation, has the least visual impact from Key Viewing Areas. Locating the addition on another portion of the site would alter the historic integrity of the existing building and place the addition within prominent view from key areas.

(7) New development shall be sited using existing topography and/or existing vegetation as needed to achieve visual subordinance from key viewing areas.
(8) Existing tree cover screening proposed development from key viewing areas shall be retained as specified in MCC 38.7035 (C).
(9) Driveways and buildings shall be designed and sited to minimize visibility of cut banks and fill slopes from key viewing areas.

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Response: For items (7-9) above, the proposed development seeks to use existing topography and vegetation while minimizing cut and fill to the greatest extent practicable. Refer to the Civil and Landscape drawings, and associated Hillside Development Forms for additional information regarding grading and vegetation. No driveways are visible from key viewing areas, and restoring the existing building plus addition will not visibly alter the topography from key viewing areas.

(10) The exterior of buildings on lands seen from Key Viewing Areas shall be composed of nonreflective materials or materials with low reflectivity, unless the structure would be fully screened from all Key Viewing Areas by existing topographic features.

Response: The View Point Inn is on the National Register of Historic Places, and per section MCC 38.7035 (B)(14) is exempt from this requirement. The proposed rehabilitation and addition follows the Secretary of Interior's Standards for Rehabilitation of Historic Properties. The proposed exterior materials are non-reflective or low-reflective in nature. The exterior consists of a wood cedar shake roof, wood cedar shingle siding and dark wood trim throughout. A narrow slot of the addition will have a standing seam copper roof that will be pre-patinated before installation for an aged, weathered and non-reflective appearance. Please refer to the attached elevations, renderings and material sheets for additional information.

(11) Exterior lighting shall be directed downward and sited, hooded and shielded such that it is not highly visible from Key Viewing Areas. Shielding and hooding materials shall be composed of non-reflective, opaque materials.

Response: Exterior lighting throughout the project will be minimal. Most lighting will be low-level bollards for pathway lighting that will be screened from Key Viewing Areas. Building lighting will be directed downward and shielded with non-reflective materials. Refer to attached lighting image sheets for additional information about proposed lighting fixtures.

(12) Unless expressly exempted by other provisions of this chapter, colors of structures on sites visible from key viewing areas shall be dark earth-tones found at the specific site or the surrounding landscape. The specific colors or list of acceptable colors shall be included as a condition of approval.

Response: The View Point Inn is on the National Register of Historic Places, and per section MCC 38.7035 (B)(14) is exempt from this requirement. The proposed rehabilitation and addition follows the Secretary of Interior's Standards for Rehabilitation of Historic Properties. In doing so, the proposed colors for the addition are intended to match the historic colors of the existing structure. Please refer to the attached elevations, renderings and material sheets for additional information.

(13) Additions to existing buildings smaller in total square area than the existing building may be the same color as the existing building. Additions larger than the existing building shall be of dark earth-tone colors found at the specific site or in the surrounding landscape.

Response: The proposed addition is smaller in total square area than the existing building, and therefore may be the same color as the existing building. The proposed colors for the addition

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are intended to match the historic colors of the existing structure. Please refer to the attached elevations, renderings and material sheets for additional information.

(14) Rehabilitation of or modifications to existing significant historic structures shall be exempted from visual subordinance requirements for lands seen from Key Viewing Areas. To be eligible for such exemption, the structure must be included in, or eligible for inclusion in, the National Register of Historic Places or be in the process of applying for a determination of significance pursuant to such regulations. Rehabilitation of or modifications to such historic structures shall be consistent with National Park Service regulations for historic structures.

Response: The View Point Inn was placed on the National Register of Historic Places in 1985 and is therefore exempt from these visual subordinance requirements. A copy of the historic nomination has been included with this application. The rehabilitation shall be consistent with National Park Service regulations for historic structures. Refer to the drawings, images and "Protection & Enhancement Plan" that are included with this application.

(16) An alteration to a building built prior to November 17, 1986, which already protrudes above the skyline of a bluff, cliff or ridge as seen from a Key Viewing Area, may itself protrude above the skyline if:
- (a) The altered building, through use of color, landscaping and/or other mitigation measures, contrasts less with its setting than before the alteration; and
- (b) There is no practical alternative means of altering the building without increasing the protrusion.

Response: The View Point Inn was originally constructed in 1924 and is on the National Register of Historic Places. The existing building protrudes from the bluff visible from the Portland Women's Forum. The gable end of the existing, non-historic garage addition faces the key viewing area and is incongruous with the historic structure. The proposed addition removes the garage and creates a massing that is more harmonious with the existing building, establishing a façade that contrast less with its setting than the current garage. The ridge of the proposed addition will be lower than the existing building to minimize the overall protrusion. Furthermore, the addition is located in the only practical location on the site, in an area that works with the natural topography, has the least impact as seen from Key Viewing Areas and is most congruous with the Secretary of Interior's Standards for Rehabilitation of Historic Properties.

(17) The following standards shall apply to new landscaping used to screen development from key viewing areas:
- (a) New landscaping shall be required only when there is no other means to make the development visually subordinate from key viewing areas. Development shall be sited to avoid the need for new landscaping wherever possible.
- (b) If new landscaping is required, it shall be used to supplement other techniques for achieving visual subordinance.
- (c) Vegetation planted for screening purposes shall be of sufficient size to make the development visually subordinate within five years or less of commencement of construction.
- (d) Landscaping shall be installed as soon as practicable, and prior to project completion.

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Response: The proposed landscaping is intended to fit with the historic nature of the property. The western lawn area that has traditionally been a feature of the property shall remain. Additional landscaping is proposed to provide some screening for the new addition and create a buffer from the adjacent street. The landscaping is an integral part of the project and shall be installed prior to project completion. Please refer to the Planting Plan shown on drawing sheet L2.01 for additional information.

(18) Conditions regarding new landscaping or retention of existing vegetation for new developments on land designated GMA Forest shall meet both scenic guidelines and the fuel break requirements of MCC 38.7305(A).

Response: Please refer to the L-series of Landscape drawings, other responses to scenic guidelines within this narrative and the response to MCC 38.7305(A) found later in this narrative.

(23) Except for water-dependent development and water-related recreation development, development shall be set back 100 feet from the ordinary high-water mark of the Columbia River below Bonneville Dam, and 100 feet from the normal pool elevation of the Columbia River above Bonneville Dam.

Response: The subject property is located more than 100' back from the ordinary high-water mark of the Columbia River below Bonneville Dam.

(24) New buildings shall not be permitted on lands visible from Key Viewing Areas with slopes in excess of 30 percent.

Response: The proposed project includes an addition, but no new buildings. Slopes within the area of development on the property, including the existing building, proposed addition and landscaping areas, do not exceed 30%. Refer to the grading plan, drawing sheet C1.0 for additional information.

(25) All proposed structural development involving more than 100 cubic yards of grading on sites visible from Key Viewing Areas shall include submittal of a grading plan.

Response: A grading plan has been included with this application. Please refer to drawing sheet C1.0.

(C) All Review Uses & Conditional Uses within the following landscape settings, regardless of visibility from KVAs:

(1) Pastoral

(a) In portions of this setting visible from Key Viewing Areas, the following standards shall be employed to achieve visual subordinance for new development and expansion of existing development:

1. Except as necessary for site development or safety purposes, the existing tree cover screening the development from Key Viewing Areas shall be retained.
2. Vegetative landscaping shall, where feasible, retain the open character of existing pastures and fields.

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3. At least half of any trees planted for screening purposes shall be species native to the setting or commonly found in the areas.
4. At least one-quarter of any trees planted for screening shall be coniferous for winter screening.

Response: As indicated on the proposed "Tree Removal and Protection Plan" on sheet L0.01, the majority of existing tree cover is to remain, with only a minimal amount to be removed as necessary for site development. The open character of the west portion of the historic property has predominantly been retained, as indicated by the open lawn areas shown in the "Planting Plan" on sheet L2.01. A select amount of planting is proposed towards the north of the site as screening for the building addition; please refer to sheet L2.01 for additional information regarding species.

(D) All Review Uses and Conditional Uses within scenic travel corridors:

(2) All new buildings and alterations to existing buildings, except in a GGRC, shall be set back at least 100' from the edge of pavement of the Scenic Travel Corridor roadway. A variance to this setback requirement may be granted pursuant to MCC 38.0065. All new parking lots and expansions of existing parking lots shall be set back at least 100 feet from the edge of pavement of the Scenic Travel Corridor roadway, to the maximum extent possible.
(3) Additions to existing buildings or expansion of existing parking lots located within 100' of the edge of pavement of a Scenic Travel Corridor roadway except in a GGRC, shall comply with subsection (2) above to the maximum extent practicable.

Response: The project property is within the Columbia River Highway Scenic Travel Corridor. As indicated by the setback line on drawing sheet A0.1, the existing building and expansion is set back more than 100' from the Columbia River Highways edge of pavement.

MCC 38.7045: GMA Cultural Resource Review Criteria

(A) Cultural Resource Reconnaissance Surveys

(1) A cultural reconnaissance survey shall be required for all proposed uses, except:

(a) The modification, expansion, replacement, or reconstruction of existing buildings and structures
(e) Proposed uses that would occur on sites that have been adequately surveyed in the past.

Response: The View Point Inn is an existing building that was originally constructed in 1924 and has been on the National Resister of Historic Places since 1985. Multiple surveys and plat maps of the property have been found, some dating as far back as 1913. Per exceptions (a) and (e) listed above, a cultural resource reconnaissance survey is not required.

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SPECIAL USES

MCC 38.7300: Review and Conditional Uses

(B) Forestry
- (1) The owners of land designated GGF or GGA within 500' of the perimeter of the subject parcel have been notified of the land use application and have been given at least 10 days to comment prior to a final decision
- (2) The use will not interfere seriously with accepted forest or agricultural practices on nearby lands devoted to resource use
- (3) The use will be sited in such a way as to minimize the loss of forest or agricultural land and to minimize the chance of interference with accepted forest or agricultural practices of nearby lands, and
- (4) The use will not significantly increase fire hazard, fire suppression costs or risk to fire suppression personnel and will comply with MCC 38.0085.

Response: The owners of adjacent lands shall be notified as required as part of the land use application for this project. The proposed use of overnight accommodations and retreat center is one that has previously existed on the subject property, and that use does not interfere with any forest and agricultural practices on nearby lands. As the rehabilitation of an existing historic building on a previously developed site, the proposed development will not create any loss or interference with forest or agricultural land. Furthermore, the existing building does not have a sprinkler system installed. Therefore, the proposed development will add an automatic sprinkler system throughout the existing building and new addition to help reduce fire hazard and suppression costs while improving safety. In addition, all exterior planting areas will have an automatic irrigation system that will also help to reduce fire hazard.

MCC 38.7305: Fire Protection in Forest Zones

(A) All buildings shall be surrounded by a maintained fuel break of 50'. Hazardous fuels shall be removed with the fuel break area. Irrigated or fire resistant vegetation may be planted within the fuel break. This could include green lawns and low shrubs. Trees should be spaced greater than 15' between the crowns and pruned to remove dead and low branches.

Response: The proposed development is located within the GGF-40 zone, which is for parcels that are 40 acres in size; but the subject property is only about 1 acre in size and the existing historic building is less than 50' from multiple property lines. Therefore, to establish a fuel break within the confines of the property, all planting areas shall be irrigated with a permanent automatic irrigation system as indicated in the Planting Notes on sheet L2.01,

(B) Buildings with plumbed water systems shall install at least one standpipe a minimum of 50' from the structure.

Response: Standpipes shall be installed as required. Refer to drawing sheet C2.0 for additional information.

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(D) Access drives shall be constructed to a minimum of 12' in width and not exceed a grade of 12%. Turnouts shall be provided at a minimum of every 500'. Access drives shall be maintained to a level that is passable to fire equipment.

Response: All access drives are at least 12' wide and less than 12% grade and the subject property does not exceed 500' in any direction. Refer to drawings C1.0, C2.0 and A0.1 for additional information.

(F) Telephone and power supply systems shall be underground wherever possible.

Response: Existing telephone and power supply systems along Larch Mountain Road are overhead and shall remain. Where feasible, new connections will be underground.

(G) Roofs of structures should be constructed of fire-resistant materials such as metal, fiberglass shingle or tile. Roof materials such as cedar shake and shingle should not be used.

Response: The View Point Inn is an existing building on the National Register of Historic Places. The existing roof is sawn cedar shingles and to maintain the historic integrity of the structure, the roof material shall remain cedar shingles. Alternate materials such as fiberglass shingle or tile are not congruous with the Secretary of Interior's Standards for Rehabilitation of Historic Properties, and thus, are not viable options for this property. To accommodate the use of cedar shingles on the roof, an automatic fire sprinkler system will be installed throughout the interior of the building to help mitigate the overall fire risk. Due to the historic nature of the existing building, a **Variance** is requested to allow for a sawn cedar shingle roof.

(H) Any chimney or stovepipe on any structure for use with a wood stove or fireplace should be screened with no coarser than 1 ¼" mesh metal screen that is noncombustible and corrosion resistant and should be equipped with a spark arrestor.

Response: As noted on the architectural plan and elevation drawings, mesh metal screens shall be installed at all fireplaces and the chimney is to be equipped with a spark arrestor.

(I) All structural projections such as balconies, decks and roof gables should be built with fire resistant materials equivalent to that specified in the Uniform Building Code.

Response: All structural projections shall be constructed according to Building Code requirements. This requirement shall be addressed as part of the building permit application and review to be completed upon land use approval.

(J) Attic openings, soffit vents, foundation louvers or other ventilation openings on dwellings and accessory structures should be screened with no coarser than 1 ¼" mesh metal screen that is noncombustible and corrosion resistant.

Response: As noted on the architectural elevation drawings, any ventilation openings shall be screened per this requirement.

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MCC 38.7380: Special Uses in Historic Buildings

(A) Definitions

(1) For the purpose of this section, the term "historic buildings" refers to buildings either on or eligible for the National Register of Historic Places.
(2) For the purposes of this section, the "subject property" refers to the parcel or group of parcels in common ownership that have been historically used in conjunction with an historic building.

Response: The View Point Inn building has been on the National Register of Historic Places since 1985. A copy of the nomination form has been included with this application. The property located at 40301 E. Larch Mountain Road, Tax Lot 1600 and the adjacent Tax Lot 1500 are under the same ownership and have been historically used in conjunction with the existing historic building.

(C) The following uses may be allowed as established in each zone on a property with a building either on or eligible for the National Register of Historic Places and that was 50 years old or older as of January 1, 2006 subject to compliance with the standards of MCC 38.7000-38.7085, MCC 38.7300 and parts (D), (E), (F) and (G) of this section.

(2) Overnight accommodations. The room capacity of such accommodations shall be limited to the total number of lawfully existing rooms in the historic building as of January 1, 2006.
(3) Commercial events in the building or on the subject property, incidental and subordinate to the primary use of the property.
(6) A conference and/or retreat facility within a historic building, as the building existed as of January 1, 2006.

Response: The View Point Inn was originally constructed in 1924 and has been on the National Register of Historic Places since 1985. The proposed Conditional Use for the property is a retreat facility with overnight accommodations, which are uses that had previously been established for the building as of January 1, 2006. The historic inn featured five guest rooms for overnight accommodations and the proposed development maintains that same capacity. The building has also long been used as a retreat facility, hosting events such as weddings and other gatherings. The proposed development continues this use by creating a spa retreat to enhance the experience and wellness of those who visit the facility. Additionally, a few incidental commercial events are planned throughout the year to establish a greater connection with the local community. Please refer to the Operational Plan that has been included with this application for additional information.

(D) Uses allowed by parts (C)(3) of this section shall include all information required for the "Operational Plan for Commercial Events as specified in MCC 38.7380(F)(1)(b)(iv).

Response: Please refer to the Operational Plan that has been included with this application.

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(F) The following criteria apply to all proposed Special Uses in Historic Buildings in addition to the Site Review Criteria of MCC 38.700-38.7085.

(1) Cultural Resources

(a) All applications for uses listed in MCC 38.7380 (C) shall include a historic survey and evaluation of eligibility for the National Register of Historic Places...The evaluation of eligibility shall not be required for buildings previously determined to be eligible. For such properties, documentation of a prior eligibility determination shall be included in the application.

Response: The View Point Inn building has been on the National Register of Historic Places since 1985. A copy of the nomination form has been included with this application.

(b) Applications for Special Uses in Historic Buildings shall include a "Protection and Enhancement Plan" which shall include the following:

(i) A description of how the proposed use will significantly contribute to the protection and enhancement of the historic resource, including specific actions that will be taken towards restoration, protection and enhancement, and adequate maintenance of the historic resource, and a proposed schedule for completion of such actions.

(ii) A statement addressing consistency of the proposed use with the Secretary of the Interior's Standards for Rehabilitation of Historic Properties and the Secretary of the Interior's Standards for Preservation of Historic Properties.

(iii) Detailed architectural drawings and building plans that clearly illustrate all proposed exterior alterations to the building associated with the proposed use. Any exterior additions to the building or outdoor components of the proposed use (e.g. parking areas, site for temporary structures, interpretive displays) shall be shown on the site plan.

(iv) Any proposal for commercial events at a historic property shall include an Operation Plan for Commercial Events, to be incorporated into the "Protection and Enhancement Plan". The Operational Plan shall include sufficient information to demonstrate how the commercial events will remain incidental and subordinate to the primary use of the property, and shall, at minimum, address:

- Number of events to be held annually.
- Maximum size of events, including number of guests and vehicles at proposed parking area.
- Provision for temporary structures, including location and type of structures anticipated.
- How the proposed commercial events will contribute to protection and enhancement of the historic resource.

Response: Please refer to the "Protection and Enhancement Plan" and "Operational Plan" that have been included with this application.

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(2) Scenic Resources

(a) New parking areas associated with the proposed use shall be located on the subject property as it existed as of January 1, 2006. Such parking areas may be developed using paving blocks, gravel, or other pervious surfaces; asphalt, concrete and other impervious materials are prohibited.
(b) Parking areas associated with the proposed use shall be visually subordinate from Key Viewing Areas, and shall to the maximum extent practicable, use existing topography and existing vegetation to achieve visual subordinance.
(c) Temporary structures associated with a commercial event (e.g. tents, canopies, portable restrooms) shall be placed on the subject property no sooner than two days before the event and removed within two days after the event. Alternatively, temporary structures may remain in place for up to 90 days in one calendar year if the County determines that they will be visually subordinate from Key Viewing Areas.

Response: The existing gravel parking area on the subject property is to be reused for the proposed use, with a revised layout per the attached drawings and previous comments within this narrative. The location of the parking area to the east of the existing building makes it visually subordinate from any Key Viewing Areas. Should temporary structures be used for any event, the guidelines established in this code shall be followed.

(3) Recreation Resources
The proposed use shall not detract from the use and enjoyment of existing recreation resources on nearby lands.

Response: The proposed use will not detract from the use and enjoyment of any recreation resources nearby. In contrast, rehabilitation of the existing building that is currently in disrepair will visually enhance the visual experience as seen from any nearby areas.

(4) Agricultural and Forest Lands

(a) The proposed use shall be compatible with and will not interfere with accepted forest or agricultural practices on nearby lands devoted to such areas.
(b) The proposed use will be sited to minimize the loss of land suitable for production of crops, livestock or forest products.
(c) A declaration has been signed by the landowner and recorded into the county deeds and records specifying that the owners, successors, heirs and assigns of the subject property are aware that adjacent and nearby operators are entitled to carry on accepted agriculture or forest practices on nearby lands.

Response: The proposed use is a continuation of uses that have previously existed on the subject property, and has thus been compatible with nearby forest and agricultural practices. Since the proposed use is sited at an existing building on the National Register of Historic Places, there will be no loss of land suitable for production of crops, livestock or forest product. As a previously approved use on the subject property, a declaration should already have been recorded into the county deeds. If no declaration currently exists, the owner shall sign one and have it recorded as necessary.

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(G) The following standards address health, safety, and potential impacts to surrounding properties and apply to all proposed Special Uses in Historic Buildings.

(1) Outdoor uses shall be limited to the hours of 7:00 am to 7:00 pm or sunset, whichever is later, except that in between Memorial Day and Labor Day afternoon activities may extend as late as 10 pm.

Response: These limitations shall be observed.

(2) The use of outdoor amplification in conjunction with a use authorized under this section is prohibited.

Response: No outdoor amplification shall be used.

(3) Parking shall be provided in accordance with the Minimum Required Off-Street Parking Spaces in MCC 38.4205. Existing off street parking and loading areas on a historic property shall be allowed to be used in their current configuration. New parking areas or expansions to existing parking areas shall meet the design and improvement standards of MCC 38.4100-38.4215 with the following exceptions.

MCC 38.4130(B) and (C) shall not apply to Special Uses in Historic Buildings. All required parking associated with the use shall be provided on the subject property.

Additionally, the surfacing requirements of MCC 38.4180(A) shall not apply. Instead, the surfacing requirements of MCC 38.7380(F)(2)(a) shall be employed.

Response: The existing off-street parking area is to be re-used, with modifications to the layout as indicated in the attached drawings and previous comments within this narrative. The revised layout does not expand the existing parking count or area, and the parking area shall be surfaced with gravel. Please refer to responses given to MCC 38.4100-38.4215 found earlier in this narrative, and drawing sheets C1.0, L1.01 and A0.1 for additional information.

(4) Business identification or facility entry signs located on the premises may be allowed subject to the provisions of MCC 38.0080.

Response: Should any signs be necessary, the provisions of MCC 38.0080 shall be followed.

(5) The proposed use shall be compatible with the surrounding area.
(6) The proposed use shall not create hazardous conditions.

Response: As an existing building that was originally constructed in 1924 and is on the National Register of Historic Places, the proposed use is compatible with the surrounding area. Use of the property as an inn and retreat center has traditionally existed on the site and shall not create any hazardous conditions.

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(7) The proposed use shall not require public services other than those existing or approved in the area.

Response: The proposed use does not require any public services other than those existing or approved in the area.

(8) If private services will be used, the applicant shall demonstrate the private service is or can be made adequate to serve the use.

Response: If private services are determined to be necessary for this project, appropriate documentation shall be provided.

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EMERICK ARCHITECTS

VIEW POINT INN & WELLNESS CENTER
OPERATIONAL PLAN

The View Point Inn and Wellness Center will include the following components of its operation:

- Five guest bedrooms accommodating up to ten guests within the Inn's historic structure.
- Holistic health assessment center located in the new addition proposed where the non-historic garage is currently situated.
- Health spa located in the expanded basement and restored accessory building.
- Health food restaurant for registered guests located in the Inn's historic great room.
- Limited larger events as described below.

Overnight Guests

The primary business activity for the View Point Inn and Wellness Center is focused on the five guest bedrooms that were previously operated by the historic Inn. These rooms will continue to be within the historic part of the building, restoring a centerpiece of the Corbett community while creating a healing retreat for guests who want to appreciate the natural beauty of the Columbia River Gorge.

The five queen beds offer space for a maximum of 10 overnight guests. who will be required to register for a minimum one-week stay. In addition to health assessments and spa treatments, overnight guests will be able to partake in daily educational talks on healthy living, hiking excursions into the Gorge, and healthy meals provided by the restaurant. The assessment center, spa facilities and restaurant serve to create a holistic retreat experience for the Inn's overnight guests.

Day Visitors

To efficiently utilize space, reconcile the needs of the entity's business projections and accommodate the needs of local clients, the View Point Inn and Wellness Center's operational plan incorporates the use of all facilities for day visitors, by appointment only. The restaurant will only be open to clients who have made an appointment for use of the spa facilities. Day visitor numbers are projected at an average of 15-45 external visitors per day who will stay for one to four hours per appointment.

Health Assessment Center

To create a holistic approach to wellness for the overnight guests and day use visitors, the health assessment center provides essential support to the spa facilities. The assessment center will include staff offices, health monitoring equipment, and an area for storing, mixing and shipping/receiving of herbal extracts.

A loading space is located adjacent to the health assessment center to service the shipping/receiving needs of the facility. An average of 3 deliveries and pick-ups are anticipated per week.

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Staff

Staff and intern numbers are anticipated to be 5-12 employees, depending on the facility's fill rate. Work shifts will range from three to eight hours in length, including one overnight staff person.

Internships and volunteer opportunities will be offered to students and graduates of local universities and institutions to provide for advanced learning within the community.

Commercial Events

Plans for potential larger events include:

- 12 educational community lectures (high tea) per year, by reservation only. Maximum attendance of 40 people.
- 4-8 seasonal special menu dinners, by reservation only. Maximum attendance of 40 people.
- 1 annual Christmas party for staff and families. Maximum attendance of 80 people (including service staff).

Food will be provided onsite by the restaurant. No weddings will occur at the View Point Inn.

Overnight accommodations will still be available during the community lectures and seasonal dinners, allowing the primary use of the property to continue throughout these incidental events. The proposed events will provide opportunities beyond the retreat and wellness services of the inn and spa for the community to engage with this historic resource. Integrating the View Point Inn with the community will further the protection and enhancement of this historic resource.

Hours of Operation

The Wellness Center and restaurant will be open to registered day visitors from 9 am to 8 pm, seven days per week.

The commercial events described above will conclude by 10 pm. Except between Memorial Day and Labor Day, any outdoor activities associated with these events will conclude by 7 pm or sunset.

Parking & Deliveries

The property includes a parking lot that accommodates 27 cars.

All overnight and day guests can be accommodated within the provided parking lot.

Commercial event parking will be accommodated by the provided parking lot. As indicated above, the maximum event will be 80 people, including any service staff for the event. Per MCC 38.4205, commercial events require 1 space per 3 guests (80/3 = 27 spaces).

Deliveries are anticipated to be 3 times per week during business hours.

321 SOUTHWEST FOURTH AVENUE #200 PORTLAND OREGON 97204 503 235 9400
emerick-architects.com

EMERICK ARCHITECTS

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VIEW POINT INN & WELLNESS CENTER
PROTECTION AND ENHANCEMENT PLAN

MCC 38.7380(F)(1)(b): Applications for Special Uses in Historic Buildings shall include a "Protection and Enhancement Plan" which shall include the following:

(i) A description of how the proposed use will significantly contribute to the protection and enhancement of the historic resource, including specific actions that will be taken towards restoration, protection and enhancement, and adequate maintenance of the historic resource, and a proposed schedule for completion of such actions.

The significant investment by HSF, LLC in the View Point Inn property and reopening of the building as a wellness center with an overnight stay component will significantly contribute to the protection and enhancement of this historic resource. Continuing to use the building as an inn allows for the greatest retention of historic character. While the historic finishes were destroyed by fire, the layout of the historic building is largely intact. By reusing the building in a manner that includes hospitality, the historically-significant great room is retained for its original function and the five guest rooms are also retained. This precludes the need to completely re-demise the interior as might be required for a different use. The other types of spaces that are needed to fulfill the HSF, LLC business plan are accommodated in a compatible side addition and a basement expansion. This approach allows the property to thrive as an income-producing asset, but preserves the character of the historic building.

Given that this National Register property is currently participating in the Special Assessment Program and also intends to apply for Historic Tax Credits through the National Park Service (NPS), all work on the property will be closely review by the Oregon State Historic Preservation Office (SHPO) and NPS for conformance with the Secretary's Standards for Historic Rehabilitation.

The enclosed plans outline the specific work that will be taken to restore, protect, and enhance the View Point Inn. Some key scopes of work include:

- Reroofing and residing the Inn with wood shingles to match the historic condition.
- Restoring the great room, including the fireplace, wood paneling, wood floors, and other character-defining finishes.
- Replacing the metal-frame porch enclosure with wood windows that are consistent with the historic condition.
- Restore the grounds and retain historic features such as the rock-faced piers.

The project is intended to commence in summer 2018 and be completed the following year.

As a property supporting a commercial business, the View Point Inn will be professionally managed, which will include regular maintenance to the historic resource and the grounds.

321 SOUTHWEST FOURTH AVENUE #200 PORTLAND OREGON 97204 503 235 9400
emerick-architects.com

(ii) A statement addressing consistency of the proposed use with the Secretary of the Interior's Standards for Rehabilitation of Historic Properties and the Secretary of the Interior's Standards for Preservation of Historic Properties.

Standard #1 reads: "A property shall be used for its historic purpose or be placed in a new use that requires minimal change to the defining characteristics of the building and its site and environment." Many historic rehabilitation projects are challenged to meet this first Standard, but not the View Point Inn. As stated above, by retaining the building's use as an inn, the character of the building can be restored to its historic condition.

Adding square footage and program in an expanded basement is a historically-sensitive approach to enlarging a building. Likewise, a horizontal addition that replaces the non-historic garage and lightly touches the building with a small "hyphen" type connection, allows the historic building to read as the primary resource. The addition includes compatible, high-quality materials and harmonizes with the historic inn through its common forms, but does not visually compete for attention. The location on the northeast side of the building also allows the inn to retain its historic view from Larch Mountain Road.

The basement expansion and the addition have both been reviewed by Joy Sears at SHPO in August 2017. Her feedback was that our approach to these elements and the project, as a whole, is consistent with the Secretary's Standards.

(iii) Detailed architectural drawings and building plans that clearly illustrate all proposed exterior alterations to the building associated with the proposed use. Any exterior additions to the building or outdoor components of the proposed use (e.g. parking areas, site for temporary structures, interpretive displays) shall be shown on the site plan.

Architectural drawings for the proposed project, including site plans, building plans and exterior elevations have been included with this application. Refer to those drawings for necessary information.

(iv) Any proposal for commercial events at a historic property shall include an Operation Plan for Commercial Events, to be incorporated into the "Protection and Enhancement Plan". The Operational Plan shall include sufficient information to demonstrate how the commercial events will remain incidental and subordinate to the primary use of the property, and shall, at minimum, address:

- *Number of events to be held annually.*
- *Maximum size of events, including number of guests & vehicles at proposed parking area.*
- *Provision for temporary structures, including location and type of structures anticipated.*
- *How the proposed commercial events will contribute to protection and enhancement of the historic resource.*

Refer to the Operational Plan that has been included with this application.

321 SOUTHWEST FOURTH AVENUE #200 PORTLAND OREGON 97204 503 235 9400
emerick-architects.com

VIEW POINT INN & WELLNESS CENTER

DRAWING INDEX

PROJECT TEAM

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(1) VICINITY PLAN
SCALE: N.T.S.

GENERAL NOTES

1. THE CONTRACTOR, OWNER AND ARCHITECT SHALL BE BOUND TO THE CURRENT EDITION OF AIA DOCUMENT A201, GENERAL CONDITIONS OF THE CONTRACT FOR CONSTRUCTION. EACH PARTY'S ROLES AND RESPONSIBILITIES SHALL BE LAID FORTH IN THAT DOCUMENT UNLESS MODIFICATIONS ARE AGREED TO BY WRITTEN CONSENT OF THE PARTIES INVOLVED.
2. THESE NOTES SET MINIMUM STANDARDS FOR CONSTRUCTION. THE DRAWINGS GOVERN OVER THE GENERAL NOTES TO THE EXTENT SHOWN.
3. THESE DRAWINGS HAVE BEEN PREPARED SOLELY FOR USE ON THIS PROJECT LOCATED AT THE ADDRESS NOTED HERIN. POSSESSION OF THESE DRAWINGS DOES NOT GRANT A LICENSE TO CONSTRUCT OR FABRICATE THE WHOLE OR PARTS OF THIS PROJECT IN OTHER LOCATIONS.
4. THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND CONDITIONS ON DRAWINGS WITH ACTUAL FIELD DIMENSIONS AND CONDITIONS. NOTIFY ARCHITECT IMMEDIATELY OF ANY DISCREPANCIES OR IF ACTUAL FIELD CONDITIONS DIFFER FROM THOSE INDICATED IN THE DRAWINGS.
5. ALL CONSTRUCTION & M.E.P. SYSTEMS SHALL BE IN COMPLIANCE W/ CURRENT LOCAL CODES & ORDINANCES.
6. COORDINATE HOURS OF OPERATION & JOB SITE CLEAN-UP SCHEDULES & REQUIREMENTS WITH TENANT AND/OR BUILDING OWNER.
7. INSPECTION AND/OR JOB SUPERVISION IS NOT PROVIDED BY ARCHITECT.
8. UNLESS NOTED OTHERWISE, THE CONTRACTOR WILL BE REQUIRED TO PROVIDE SEPARATE PERMITS FOR ALL BIDDER DESIGN SYSTEMS.
9. ALL ITEMS ARE CONSIDERED NEW UNLESS NOTED EXISTING OR (E).
10. ALL DIMENSIONS ARE TO FACE OF GWB FINISH, UNLESS SPECIFICALLY NOTED OTHERWISE.
11. ALL DAMAGE TO THE EXISTING BUILDING AND/OR FINISHES CAUSED BY DEMOLITION AND/OR NEW CONSTRUCTION IS TO BE PATCHED AND REPAIRED TO MATCH AT MINIMUM THE CONDITION PRIOR TO THE DAMAGE.
12. WHEN APPLICABLE THE CONTRACTOR IS TO PROTECT EXISTING LANDSCAPING WHILE THE PROJECT IS UNDER CONSTRUCTION AND GENERALLY MINIMIZE THE AMOUNT OF DAMAGE TO THE SITE AS MUCH AS POSSIBLE. WHERE LANDSCAPING REQUIRES REMOVAL, THE CONTRACTOR IS TO NOTIFY THE OWNER WITH AMPLE LEAD TIME, SO IF THE OWNER CHOOSES, THE SPECIMENS IN QUESTION CAN BE RELOCATED.
13. ALL WINDOWS WITHIN 18" OF FLOOR AND WITHIN 24" OF ANY DOOR TO BE TEMPERED GLAZING, TYP.
14. PROVIDE WATER RESISTANT GYPSUM WALL BOARD IN ALL WET LOCATIONS UNLESS SPECIFICALLY NOTED OTHERWISE.
15. OWNER/ARCHITECT TO SELECT AND APPROVE ALL FINISHES (PAINT COLORS, MASONRY, MORTAR, ETC.) AND CUT SHEET SELECTIONS PRIOR TO PURCHASE OR INSTALLATION. CONTRACTOR TO PROVIDE THE OWNER & ARCHITECT WITH AMPLE LEAD TIME FOR REVIEW SO THAT THE PROJECT SCHEDULE IS NOT JEOPARDIZED. WHEN REQUESTED BY THE ARCHITECT, FULL SCALE MOCK UPS OF COLORS AND FINISH ASSEMBLIES SHALL BE TEMPORARILY INSTALLED ON SITE.
16. SHOW DRAWINGS AND/OR PRODUCT SPECIFICATION CUT SHEETS SHALL BE PROVIDED FOR THE FOLLOWING:
    A. DOORS + WINDOWS
    B. CABINETRY
    C. HARDWARE
    D. BRICK AND/OR STONE MASONRY
    E. LANDSCAPING
    F. PAINT COLORS
    G. ROOFING COMPONENTS, ACCESSORIES, PRODUCTS + DETAILS
    H. FLOORING + LEVELING COMPOUNDS
    I. MECHANICAL, ELECTRICAL AND PLUMBING EQUIPMENT, FIXTURES + DETAILS
    J. ALL STEEL FABRICATION

    PROVIDE SUBMITTALS FOR ANY OTHER ITEMS SPECIFIED IN THE A201 GENERAL CONDITIONS. PROVIDE SHOP DRAWINGS FOR ALL STRUCTURAL ASSEMBLIES TO BE FABRICATED FOR THE PROJECT. SHOP DRAWINGS OF BIDDER DESIGNED ITEMS ARE TO BE PREPARED BY AND BEAR THE STAMP OF AN OREGON LICENSED ENGINEER / PRODUCT ENGINEER. SUCH DRAWINGS SHALL CERTIFY THAT THERE HAS BEEN NO DEVIATION FROM THE ARCHITECT'S DESIGN IN ANY WAY, OR SHALL CALL TO THE ATTENTION OF ARCHITECT THAT THE ENGINEER HAS DEVIATED FROM THE ARCHITECT'S DESIGN DRAWINGS. SUCH DEVIATION MAY BE CAUSE FOR REJECTING THE SHOP DRAWINGS. THE ARCHITECT WILL MARK-UP A MAXIMUM OF FOUR SETS OF SHOP DRAWINGS. FAX OR EMAIL SUBMITTALS WILL NOT BE ACCEPTED WITHOUT PRIOR APPROVAL. ALL SUBMITTALS SHALL BE REVIEWED AND STAMPED BY GENERAL CONTRACTOR PRIOR TO SUBMITTAL TO ARCHITECT. ALL STRUCTURAL MEMBERS TO BE DETAILED, FABRICATED AND ERECTED IN ACCORDANCE WITH AISC STANDARDS LATEST EDITION.

PROJECT INFORMATION

PROJECT ADDRESS:	40301 E Larch Mountain Rd. Corbett, OR 97019
LEGAL DESCRIPTION:	IN-SE-30CC-TAX LOT 1500 & 1600
ALT. ACCOUNT. #:	R923030910 + R923039401
YEAR BUILT:	1924
ZONING DESIGNATION:	GGF-40
MAX HEIGHT ALLOWED:	35'
PROPOSED HEIGHT:	33' - 4" (Existing)
EXISTING LOT SIZE:	TAX LOT 1600: 41,754 SF TAX LOT 1500: 9,725 SF

FLOOR AREAS:	MAIN BUILDING EXISTING:		MAIN BUILDING PROPOSED:	
	Basement:	1067 SF	Basement:	4194 SF
	First Floor:	3222 SF	First Floor:	4458 SF
	Second Floor:	1850 SF	Second Floor:	2872 SF
	TOTAL:	6139 SF	TOTAL:	11524 SF
	Accessory Bldg:	425 SF	Accessory Bldg:	425 SF

APPLICABLE BUILDING CODES:

1. MULTNOMAH COUNTY CODE OF ORDINANCES
2. 2014 OREGON STRUCTURAL SPECIALTY CODE

ASSOCIATED PERMITS, APPEALS, L.U.R.'S ETC.

PRE-APPLICATION CONFERENCE NOTES:

CASE FILE NO.: PA 2016 - 6044

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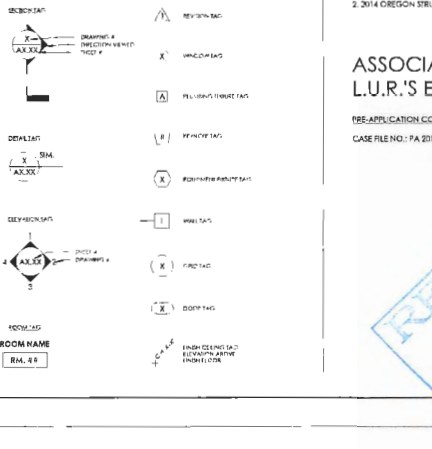
ARCHITECTURAL ABBREVIATIONS

NOT ALL ABBREVIATIONS MAY BE USED. ABBREVIATIONS MAY BE USED IN CONJUNCTION WITH OTHERS.

∠	ANGLE
∡	AT
℄	CENTERLINE
ø	DIAMETER OR ROUND
⊕	PLATE
#	POUND OR NUMBER
/	PER OR OVER
±	PLUS OR MINUS
-	AND
A.B.	ANCHOR BOLT
A.C.	AIR CONDITIONING
ACOUS.	ACOUSTICAL
ADA	AMERICANS W/ DISABILITIES ACT
ADJ.	ADJUSTABLE OR ADJACENT
A.F.F.	ABOVE FINISH FLOOR
AGGR.	AGGREGATE
AISC	AMERICAN INSTITUTE OF STEEL CONSTRUCTION
ALUM.	ALUMINUM
ALT.	ALTERNATE
ANOD.	ANODIZED
APPROX.	APPROXIMATE
ARCH.	ARCHITECT OR ARCHITECTURAL
AUTO	AUTOMATIC
AVE.	AVENUE
BD.	BOARD
BTWN	BETWEEN
BLDG.	BUILDING
BLK.	BLOCK
BLKG.	BLOCKING
BM.	BEAM
BOT	BOTTOM
B.O.	BOTTOM OF
C.B.	CATCH BASIN
CEM.	CEMENT
CER.	CERAMIC
C.F.C.I.	CONTRACTOR FURNISHED, CONTRACTOR INSTALLED
C.J.	CONTROL JOINT
CLO.	CLOSET
CLG.	CEILING
CLKG.	CAULKING
CLR	CLEAR
CMU	CONCRETE MASONRY UNIT
CNTR.	COUNTER
COL.	COLUMN
COMP.	COMPACT
CONC.	CONCRETE
CONSTR.	CONSTRUCTION
CONT.	CONTINUOUS [CONTINUATION]
CONTR.	CONTRACTOR
COORD.	COORDINATE
CORR.	CORRIDOR
C.T.	CERAMIC TILE
CTR.	CENTER
CNTRSK.	COUNTERSINK
C.W.	COLD WATER
C.V.G.	CLEAR VERTICAL GRAIN
DBL.	DOUBLE
DEMO.	DEMOLITION [DEMOLISH]
DIA.	DIAMETER
DIM.	DIMENSION
DISP.	DISPENSER
DN	DOWN
DR.	DOOR
D.S.	DOWN SPOUT
DTL.	DETAIL
DW.	DISHWASHER
DWG.	DRAWING
(E)	EXISTING
E.	EAST
EA.	EACH
E.J.	EXPANSION JOINT
ELEV.	ELEVATION
ELEC.	ELECTRICAL
EMERG.	EMERGENCY
ENCL.	ENCLOSURE
ENGR.	ENGINEER
EQ.	EQUAL
ETC.	ETCETERA
E.T.R.	EXISTING TO REMAIN
EXP.	EXPANSION OR EXPOSED
EXT.	EXTERIOR
F.C.	FINISH CEILING
F.D.	FLOOR DRAIN
F.E.	FIRE EXTINGUISHER
F.E.C.	FIRE EXTINGUISHER CABINET
F.F.	FINISH FLOOR
FIN.	FINISH
FLR.	FLOOR
FLUOR.	FLUORESCENT
F.O.B.	FACE OF BRICK
F.O.C.	FACE OF CONCRETE
F.O.F.	FACE OF FINISH
F.O.S.	FACE OF STUD
FOUND.	FOUNDATION
F.P.	FIRE PROOF
FR.	FRAME
F.S.	FLOOR SINK
FT.	FOOT OR FEET
FTG.	FOOTING
FURR.	FURRING
GA.	GAUGE
G.B.	GRAB BAR
G.C.	GENERAL CONTRACTOR
GL	GLASS
GRND.	GROUND
GR.	GRADE
GWB	GYPSUM WALL BOARD
GYP.	GYPSUM
HB.	HOSE BIB
H.C.	HOLLOW CORE
HDWD	HARDWOOD
HDWR.	HARDWARE
H.M.	HOLLOW METAL
HORIZ.	HORIZONTAL
HR.	HOUR
HT.	HEIGHT
HVAC	HEATING, VENTILATING, AND AIR CONDITIONING
H.W.	HOT WATER
I.B.C.	INTERNATIONAL BUILDING CODE
I.D	INSIDE DIAMETER
IN.	INCH (INCHES)
INFO.	INFORMATION
INSUL.	INSULATION
INT.	INTERIOR
I.R.C.	INTERNATIONAL RESIDENTIAL CODE
JAN.	JANITOR
JST.	JOIST
JT.	JOINT
LAV.	LAVATORY
MSNRY.	MASONRY
MAX	MAXIMUM
MECH.	MECHANICAL
MEMB.	MEMBRANE
M.E.P.	MECHANICAL, ELECTRICAL, PLUMBING
MANUF.	MANUFACTURER
MIN.	MINIMUM
MIR.	MIRROR
MISC.	MISCELLANEOUS
M.O.	MASONRY OPENING
MTD.	MOUNTED
MTL.	METAL
MUL.	MULLION
N.	NORTH
N.I.C.	NOT IN CONTRACT
N.I.S.	NOT IN SCOPE
NO.	NUMBER
NOM.	NOMINAL
N.T.S.	NOT TO SCALE
O.C.	ON CENTER
O.D.	OUTSIDE DIAMETER
O.E.E.S.C.	OREGON ENERGY EFFICIENCY SPECIALTY CODE
O.F.C.I.	OWNER FURNISHED, CONTRACTOR INSTALLED
OFF.	OFFICE
OPNG	OPENING
OPP.	OPPOSITE
O.R.S.C.	OREGON RESIDENTIAL SPECIALTY CODE
O.S.S.C.	OREGON STRUCTURAL SPECIALTY CODE
P.C.P.	PORTLAND CEMENT PLASTER
P.C.	POWDER COAT
PL	PLATE
P.LAM.	PLASTIC LAMINATE
PLYWD	PLYWOOD
PNL.	PANEL
PR.	PAIR
PRCST.	PRE-CAST
PRE-FIN.	PRE FINISH
PROP.	PROPERTY
PRTN.	PARTITION
P.T.	PRESSURE TREATED
QNTY.	QUANTITY
RAD.	RADIUS
R.B.	RUBBER BASE
R.C.P.	REFLECTED CEILING PLAN
R.D.	ROOF DRAIN
REF.	REFERENCE OR REFER
REQ.	REQUIREMENT(S)
REQ.D	REQUIRED
REV.	REVERSE OR REVISION
RM.	ROOM
R.O.	ROUGH OPENING
S.	SOUTH
SCHED.	SCHEDULE
SECT.	SECTION
S.F.	SQUARE FEET OR FOOT
SHT.	SHEET
SIM	SIMILAR
SIMP.	SIMPSON
S.M.S.	SHEET METAL SCREWS
SPEC.	SPECIFICATION
SPECS.	SPECIFICATIONS
SQ.	SQUARE
S.S.	STAINLESS STEEL
ST.	STREET
STD.	STANDARD
STL.	STEEL
STOR.	STORAGE
STRUCT.	STRUCTURE OR STRUCTURAL
SYM.	SYMBOL
T.B.D.	TO BE DETERMINED
T.B.S.	TO BE SPECIFIED
TEMP.	TEMPERATURE
T&G	TONGUE AND GROOVE
THK.	THICK
THRSH.	THRESHOLD
T.O.	TOP OF
T.O.S.	TOP OF SHEATHING
T.O.W.	TOP OF WALL
TR.	TREAD
T.S.	TUBE STEEL
T-STAT.	THERMOSTAT
TYP.	TYPICAL
U.L.	UNDERWRITERS LABORATORIES
U.N.O	UNLESS NOTED OTHERWISE
V.B.	VAPOR BARRIER
VEN.	VENEER
VERT	VERTICAL
VFY.	VERIFY
V.I.F.	VERIFY IN FIELD
V.G.	VERTICAL GRAIN
W.	WEST
W/	WITH
W/IN	WITHIN
WD.	WOOD
W.A.	WATER HEATER
WINDW.	WINDOW
WRGB	WATER RESISTANT GYPSUM WALL BOARD
W/O	WITHOUT
W.P.	WATER PROOF
WSCT.	WAINSCOT
WT.	WEIGHT
YRD.	YARD

ARCHITECTURAL SYMBOLS



THESE INFORMATION CONTAINED HEREIN ARE NOT INTERPRETATIONS OF CONSTRUCTION DOCUMENTS. THEY ARE NOT PRACTICAL ADVICE.

LAND USE SUBMITTAL

EMERICK ARCHITECTS

CONSULTANT LOGO SPACE

REVIEW SET

NOT FOR CONSTRUCTION

REV. #:	DATE:	DESCRIPTION

HSF, LLC
VIEW POINT INN & WELLNESS CENTER
40301 E Larch Mountain Rd.
Corbett, OR 97019

INDEX, PROJECT INFORMATION, VICINITY MAP

PROJECT NO: 1723
DRAWN BY: JC | CHKD BY: KMD
DATE: 1/19/2018

G0.0

TOPOGRAPHIC SURVEY FOR PETER MEIJER ARCHITECT

LOCATED IN THE SW 1/4 OF SECTION 30 AND THE NW 1/4 OF SECTION 31,
TOWNSHIP 1 NORTH, RANGE 5 EAST W.M.
LOTS 1 AND 2 OF BLOCK 1 AND LOT 2 OF BLOCK 2, RE-PLAT OF PARTS OF
BLOCKS 1 & 2 OF THOR'S HEIGHTS ADDITION,
MULTNOMAH COUNTY, OREGON.
TAX LOTS 1500 & 1600, 1N-5E-30CC

NARRATIVE:

THE PURPOSE OF THIS SURVEY IS TO SHOW THE TOPOGRAPHY FOR TAX LOTS 1500 AND 1600 OF MULTNOMAH COUNTY ASSESSORS MAP 1N 5E 30CC.
FIELD WORK WAS COMPLETED MARCH 16, 2017.
PLEASE SEE THE ASSOCIATED PROPERTY BOUNDARY SURVEY FOR COMPLETE PROPERTY BOUNDARY INFORMATION.

HORIZONTAL DATUM:

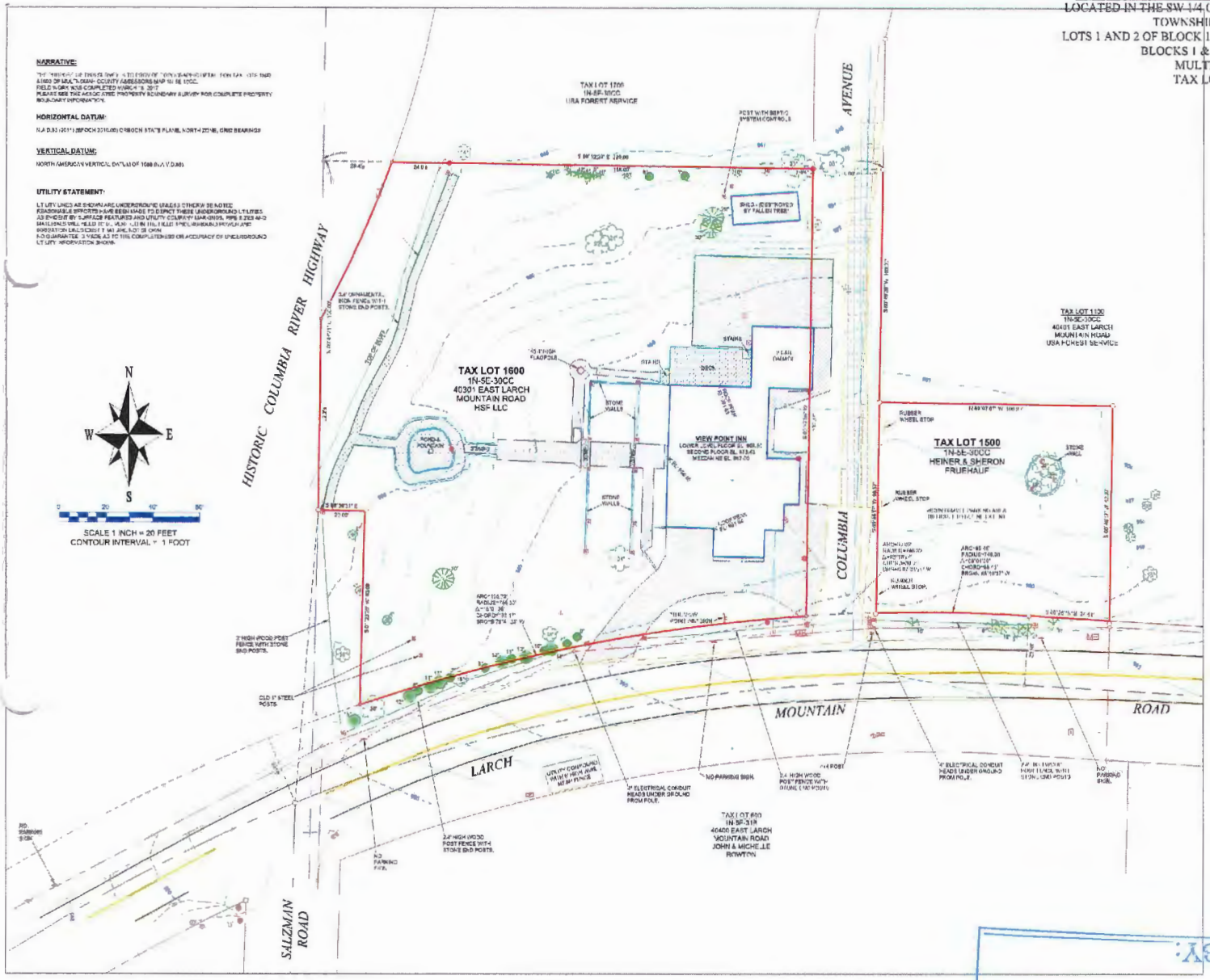
N.A.D.83 (2011) (EPOCH 2010.00) OREGON STATE PLANE, NORTH ZONE, GRID BEARINGS

VERTICAL DATUM:

NORTH AMERICAN VERTICAL DATUM OF 1988 (N.A.V.D.88)

UTILITY STATEMENT:

UTILITY LINES ARE SHOWN ARE UNDERGROUND UNLESS OTHERWISE NOTED. REASONABLE EFFORTS HAVE BEEN MADE TO DEPICT THESE UNDERGROUND UTILITIES AS EVIDENCED BY SURFACE FEATURES AND UTILITY COMPANY MAPS ONLY. THE LOCATIONS WILL HOLD TRUE VALUE ONLY IF THE UTILITIES WERE INSTALLED ALONG THE LINES SHOWN. NO GUARANTEE IS MADE AS TO THE COMPLETENESS OR ACCURACY OF UNDERGROUND UTILITY INFORMATION SHOWN.



SYMBOL LEGEND:

- SURVEY CONTROL POINT
- FOUND MONUMENT OF RECORD
- NEW MONUMENT SET (SEE SUBSIDIARY SURVEY)
- UTILITY POLE
- CLEANOUT
- ELECTRICAL METER
- ELECTRICAL OUTLET
- HYDRANT
- SIGN
- WATER METER
- WATER VALVE
- GAS VALVE
- STEEL WIRE ANCHOR
- STORM CATCH BASIN
- FIBER
- UTILITY VAULT
- TELEPHONE PEDESTAL
- MAIL BOX
- FLOOR DRAIN
- FLAGPOLE
- POST
- FENCE
- OVERHEAD POWER
- UNDERGROUND WATER
- UNDERGROUND POWER
- TREE OF UNKNOWN SPECIES WITH TRUNK DIAMETER
- FIR TREE WITH TRUNK DIAMETER
- PINE TREE WITH TRUNK DIAMETER
- FRUIT TREE WITH TRUNK DIAMETER
- CEDAR TREE WITH TRUNK DIAMETER
- HOLLY TREE WITH TRUNK DIAMETER
- DRAIN
- BUILDING
- PAVEMENT
- CONCRETE
- WOOD DECKING
- STONE WALKWAY OR RETAINING WALL

REGISTERED PROFESSIONAL LAND SURVEYOR

OREGON
JANUARY 15, 2002
BRADLEY J. CROSS
60051

RENEWS: 12/31/2017

PROJECT NUMBER: 2017002
DATE OF DRAWING: MARCH 17, 2017

COLUMBIA RIVER SURVEYING & MAPPING
1767 12th St, #181
HOOD RIVER, OREGON, 97031
PHONE: 541-386-0002
EMAIL: INFO@COLUMBIASURVEYING.COM

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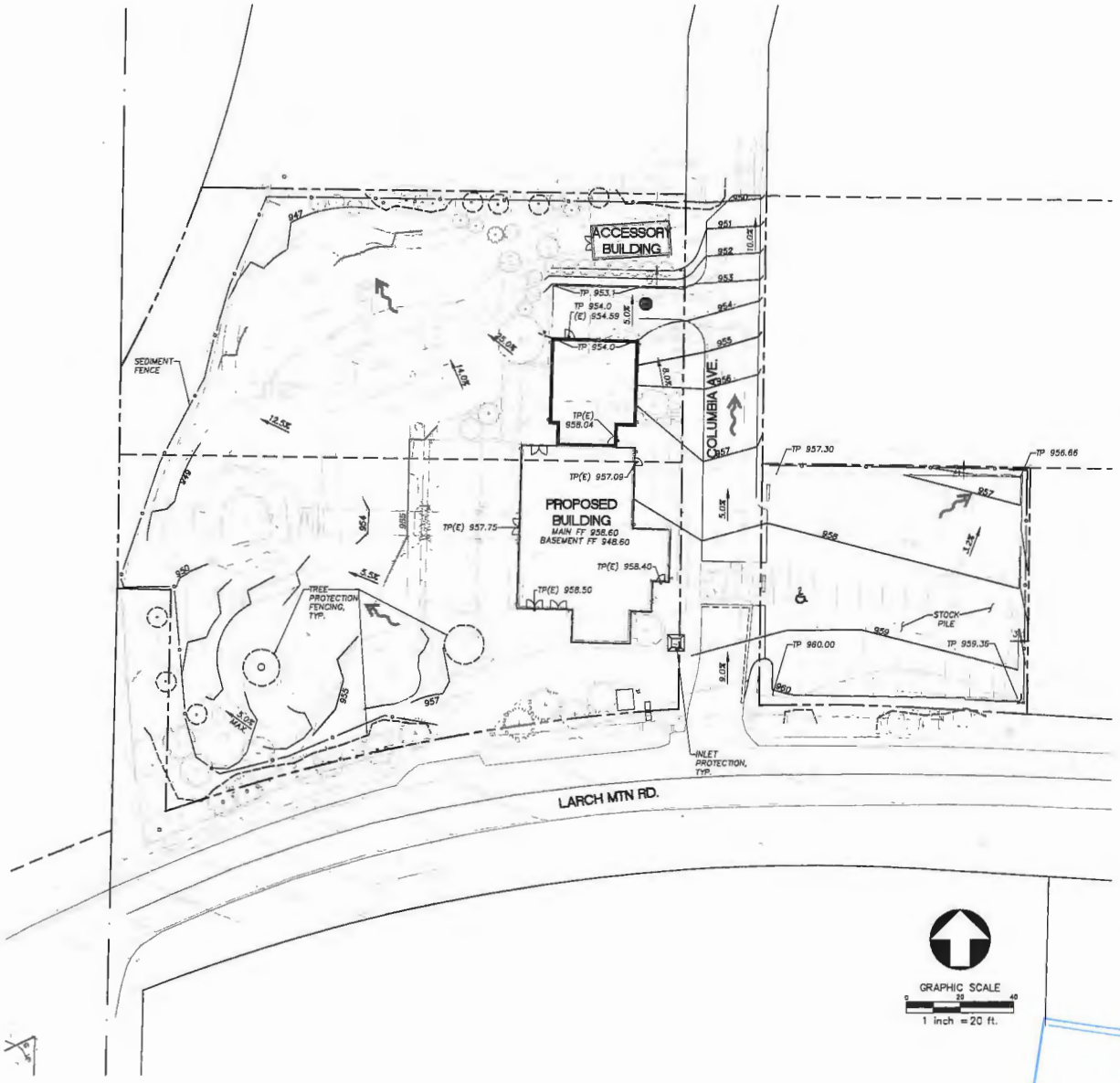

GRADING NOTES

1. REFER TO LANDSCAPE PLANS FOR TREE REMOVAL AND PROTECTION.
2. MAJORITY OF CUT WITHIN PROPOSED BUILDING FOOTPRINT IN ORDER TO CREATE FULL BASEMENT. MAJORITY OF FILL IS PARKING AND DRIVE GRAVEL SURFACING.
3. EARTHWORK (EXISTING GRADE TO FINISHED GRADE)
   480 CY FILL
   1093 CY CUT
   613 CY NET FILL

GRADING LEGEND

	STOCKPILE AREA WITH PLASTIC SHEETING	4/C3.0
	TEMPORARY GRAVEL CONSTRUCTION ENTRANCE	3/C3.0
TC XXX.XX	GRADE AT TOP OF CURB	
TP XXX.XX	GRADE AT TOP OF PAVEMENT	
FG XX.XX	FINISHED GRADE	
EG XX.XX	EXISTING GRADE	
X	ADA ACCESS SEE ENLARGED PLANS	
X.XX	SLOPE ARROW	
GB	GRADE BREAK	
987	EXISTING CONTOUR	
988	PROPOSED CONTOUR	
	SEDIMENT FENCE	1/C3.0
	DRAINAGE FLOW DIRECTION	
	FILTER FABRIC INLET PROTECTION	2/C3.0
	BIO BAG PROTECTION	
	TREE PROTECTION FENCING	5/C3.0

LEGEND

EXISTING	PROPOSED	DESCRIPTION
		PROPERTY LINE
		SETBACK LINE
		BLDG OVERHANG
		SAWCUT LINE
		EDGE OF PAVEMENT
		CURB, WHEEL STOPS
		STORM PIPE
		CATCH BASIN
		DRYWELL
		FLOW LINE
		SANITARY LINE
		SANITARY CLEANOUT
		SANITARY DRAIN FIELD
		WATER LINE
		WATER METER VAULT
		WATER VALVE
		CONCRETE
		A.C. PAVEMENT
		GRAVEL
		STONE WALKWAY
		STONE WALL
		FENCE
		TREE
		MAIL BOX
		GRAVEL
		BUILDING
		PAVEMENT
		CONCRETE
		WOOD DECKING
		STONE WALL

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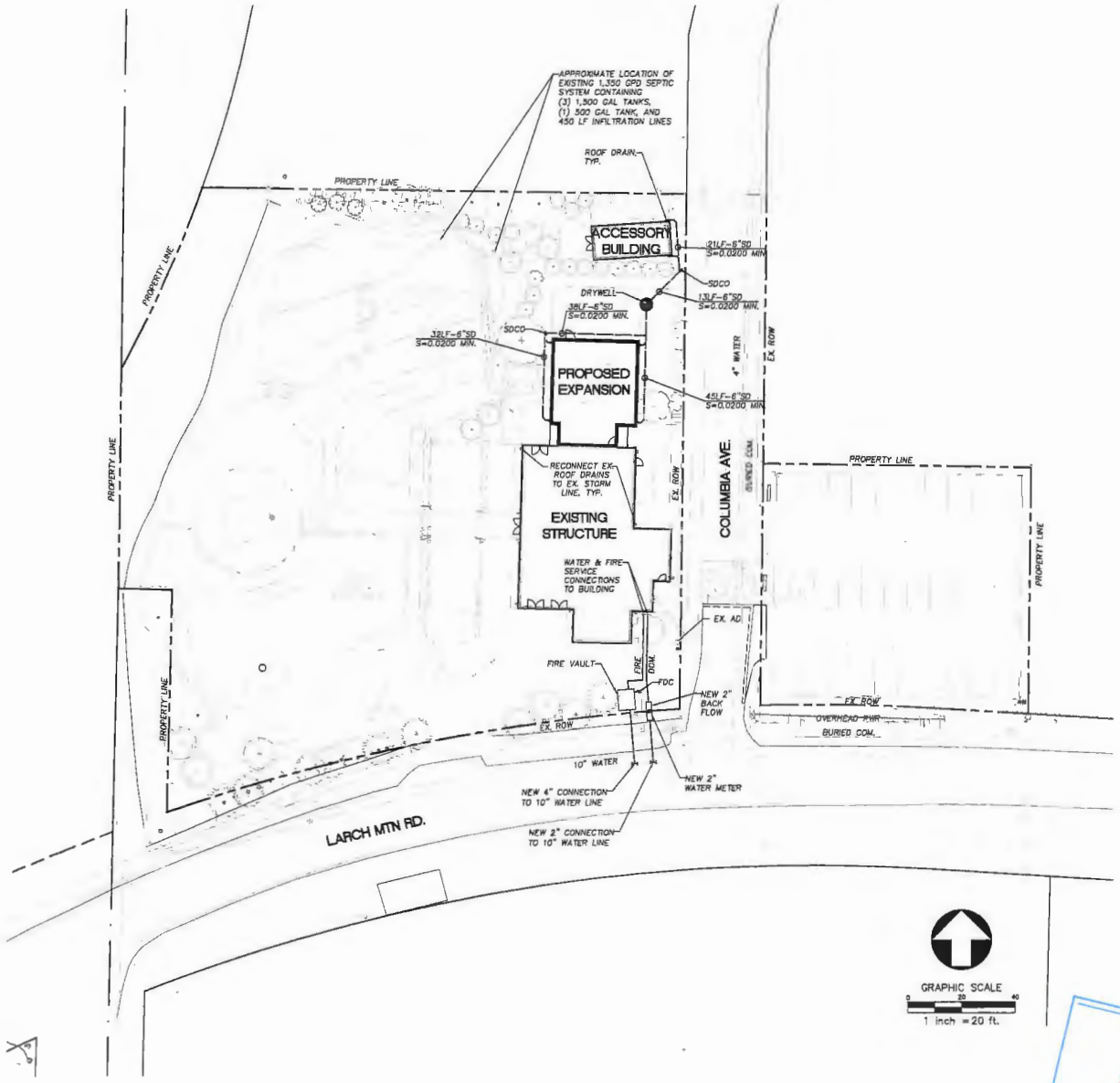
REV. #: DATE: DESCRIPTION

HSF, LLC
VIEW POINT INN & WELLNESS CENTER
40301 E Larch Mountain Rd.,
Corbett, OR 97019

GRADING AND EROSION CONTROL PLAN

PROJECT NO: 1723
DRWN BY: JMF CHK'D BY: MSW
DATE: 01.19.18

C1.0



UTILITY NOTES

1. ALL DOMESTIC WATER AND FIRE PROTECTION WORK IN THE PUBLIC RIGHT OF WAY BY CORBETT WATER DISTRICT AT OWNER'S EXPENSE. CONTRACTOR SHALL COORDINATE WITH CORBETT WATER DISTRICT MANAGER, JEFF BUSTO (503)695-2284.
2. CONTRACTOR SHALL LOCATE EXISTING SEPTIC FACILITIES PRIOR TO CONSTRUCTION TO VERIFY LOCATION.
3. INSTALL FOUNDATION DRAIN AROUND PERIMETER OF ALL STRUCTURES.
4. CAP AND ABANDON EXISTING WATER SERVICE AT MAIN.

UTILITY LEGEND

- AREA DRAIN, CATCH BASIN, OVERFLOW DRAIN
- CLEANOUT
- FIRE DEPARTMENT CONNECTION
- FIRE HYDRANT
- WATER VAULT
- DRYWELL

LEGEND

EXISTING	PROPOSED	DESCRIPTION
		PROPERTY LINE
		SETBACK LINE
		BLDG OVERHANG
		SAWCUT LINE
		EDGE OF PAVEMENT
		CURB, WHEEL STOPS
		STORM PIPE
		CATCH BASIN
		DRYWELL
		FLOW LINE
		SANITARY LINE
		SANITARY CLEANOUT
		SANITARY DRAIN FIELD
		WATER LINE
		WATER METER VAULT
		WATER VALVE
		CONCRETE
		A.C. PAVEMENT
		GRAVEL
		STONE WALKWAY
		STONE WALL
		FENCE
		TREE
		MAIL BOX
		GRAVEL
		BUILDING
		PAVEMENT
		CONCRETE
		WOOD DECKING
		STONE WALL

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HSF, LLC
VIEW POINT INN & WELLNESS CENTER
40301 E Larch Mountain Rd.,
Corbett, OR 97019

UTILITY PLAN

PROJECT NO: 1723
DRWN BY: JHF CHK'D BY: MSW
DATE: 01.19.18

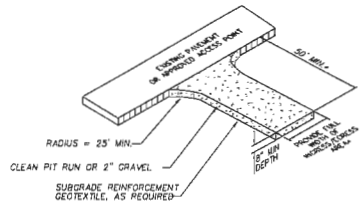
C2.0

EROSION CONTROL NOTES

1. APPROVAL OF THIS EROSION, SEDIMENT AND POLLUTION CONTROL PLAN (ESPCP) DOES NOT CONSTITUTE AN APPROVAL OF PERMANENT ROAD OR DRAINAGE DESIGN (E.G., SIZE AND LOCATION OF ROADS, PIPES, RESTRICTORS, CHANNELS, RETENTION FACILITIES, UTILITIES, ETC.)
2. IT IS THE INTENT OF THESE PLANS AND SPECIFICATIONS TO ENSURE THAT SEDIMENT LADEN WATER DOES NOT LEAVE THE WORK SITE. THE CONTRACTOR SHALL USE ALL AVAILABLE MEANS TO ACHIEVE THIS RESULT.
3. THE IMPLEMENTATION OF THESE ESPCP AND THE CONSTRUCTION, MAINTENANCE, REPLACEMENT, AND UPGRADING OF THESE ESPCP FACILITIES IS THE RESPONSIBILITY OF THE CONTRACTOR UNTIL ALL CONSTRUCTION IS COMPLETED AND APPROVED AND VEGETATION/LANDSCAPING IS ESTABLISHED.
4. THE BOUNDARY OF THE CLEARING LIMITS SHOWN ON THIS PLANS SHALL BE CLEARLY FLAGGED IN THE FIELD PRIOR TO CONSTRUCTION. DURING THE CONSTRUCTION PERIOD, NO DISTURBANCE BEYOND THE FLAGGED CLEARING LIMITS SHALL BE PERMITTED. THE FLAGGING SHALL BE MAINTAINED BY THE CONTRACTOR FOR THE DURATION OF CONSTRUCTION.
5. THE ESPCP FACILITIES SHOWN ON THIS PLAN MUST BE CONSTRUCTED IN CONJUNCTION WITH ALL CLEARING AND GRADING ACTIVITIES, AND IN SUCH A MANNER AS TO ENSURE THAT SEDIMENT AND SEDIMENT-LADEN WATER DOES NOT ENTER THE DRAINAGE SYSTEM, ROADWAYS OR VIOLATE APPLICABLE WATER STANDARDS.
6. THE ESPCP FACILITIES SHOWN ON THIS PLAN ARE THE MINIMUM REQUIREMENTS FOR ANTICIPATED SITE CONDITIONS. DURING THE CONSTRUCTION PERIOD, THESE ESPCP FACILITIES SHALL BE UPGRADED AS NEEDED FOR UNEXPECTED STORM EVENTS AND TO ENSURE THAT SEDIMENT AND SEDIMENT-LADEN WATER DO NOT LEAVE THE SITE.
7. THE ESPCP FACILITIES SHALL BE INSPECTED DAILY BY CONTRACTOR AND MAINTAINED AS NECESSARY TO ENSURE THEIR CONTINUED FUNCTIONING.
8. THE ESPCP FACILITIES ON INACTIVE SITES SHALL BE INSPECTED AND MAINTAINED A MINIMUM OF ONCE A MONTH OR WITHIN THE 24 HOURS FOLLOWING A STORM EVENT.
9. ALL STORM INLETS SHALL BE PROTECTED TO PREVENT SEDIMENT FROM LEAVING THE PROJECT SITE. CLEANING OF CATCH BASINS SHALL OCCUR WHEN SEDIMENT CONSUMES ONE-THIRD OF THE DEVICE STORAGE AREA. ALL CATCH BASINS AND CONVEYANCE LINES SHALL BE CLEANED PRIOR TO PAVING. THE CLEANING OPERATION SHALL NOT FLUSH SEDIMENT LADEN WATER INTO THE DOWNSTREAM SYSTEM
10. ALL AREAS DISTURBED BY CONSTRUCTION OF THIS PROJECT NOT RECEIVING A HARD, DURABLE SURFACE SHALL BE GRASSED AND/OR LANDSCAPED AT EARLIEST PRACTICABLE TIME.
11. IN GENERAL, CONSTRUCTION SHALL PROGRESS FROM DOWNSTREAM TO UPSTREAM. THE CONTRACTOR SHALL CONSTRUCT ESC FACILITIES IN CONJUNCTION WITH ALL CLEARING, GRADING AND OTHER LAND ALTERATION ACTIVITIES.
12. STABILIZED CONSTRUCTION ENTRANCES SHALL BE INSTALLED AT THE BEGINNING OF CONSTRUCTION AND MAINTAINED FOR THE DURATION OF THE PROJECT. ADDITIONAL MEASURES MAY BE REQUIRED TO ENSURE THAT ALL PAVED AREAS ARE KEPT CLEAN FOR THE DURATION OF THE PROJECT.
13. TEMPORARY EROSION CONTROL MEASURES SHALL REMAIN FUNCTIONAL AND IN PLACE UNTIL THEIR REMOVAL IS DIRECTED BY THE ENGINEER. THE CONTRACTOR SHALL COMPLETELY RESTORE ALL AREAS DISTURBED BY REMOVAL OF TEMPORARY EROSION CONTROL MEASURES. REMOVED MATERIALS SHALL BECOME PROPERTY OF THE CONTRACTOR TO BE DISPOSED OF IN ACCORDANCE WITH APPLICABLE LAWS AND JURISDICTIONS.
14. CONTRACTOR WILL PROVIDE TRUCKS THAT ARE WELL SEALED FOR TRANSPORTATION OF SATURATED SOILS/MATERIAL FROM THE SITE. A TRUCK MUST NOT LEAK LIQUIDS AT ANY RATE GREATER THAN 1 GAL/HR.
15. EROSION CONTROL MEASURES SHALL BE IN ACCORDANCE WITH THE CITY OF PORTLAND 2008 EROSION AND SEDIMENT CONTROL MANUAL.
16. SUPPLEMENTARY WET WEATHER MEASURES SHALL BE IN PLACE AND FUNCTIONING BY OCTOBER 1 AND REMAIN OPERATIONAL UNTIL APRIL 30.
17. SUPPLEMENTARY WET WEATHER MEASURES ARE IN ADDITION TO BASE MEASURES.
18. WHEN CONCRETE TRUCKS ARE USED, A SHALLOW PIT SHALL BE DUG FOR RESIDUAL CONCRETE, AGGREGATE AND WATER. TRUCKS THAT RECYCLE THIS RESIDUAL BACK INTO THE TRUCK MAY BE USED IN LIEU OF THE PIT.
19. IF FERTILIZERS ARE USED TO ESTABLISH VEGETATION, THE APPLICATION RATES SHALL FOLLOW THE MANUFACTURER'S GUIDELINES AND THE APPLICATION SHALL BE DONE IN SUCH A WAY TO MINIMIZE NUTRIENT-LADEN RUNOFF TO RECEIVING WATERS.
20. STOCKPILES SHALL BE LOCATED AWAY FROM THE CONSTRUCTION ACTIVITY AND SHALL BE STABILIZED OR COVERED AT THE END OF EACH WORKDAY.
21. SIGNIFICANT AMOUNTS OF SEDIMENT THAT LEAVE THE SITE SHALL BE CLEANED UP WITHIN 24 HOURS AND PLACED BACK ON THE SITE OR PROPERLY DISPOSED.
22. ALL EROSION AND SEDIMENT CONTROLS NOT IN THE DIRECT PATH OF WORK SHALL BE INSTALLED BEFORE ANY LAND DISTURBANCE.

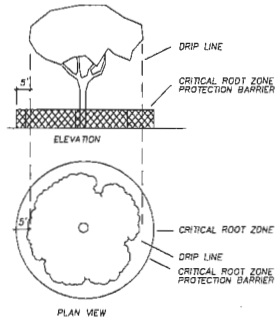
SEDIMENT FENCE NOTES

1. THE FILTER FABRIC SHALL BE PURCHASED IN A CONTINUOUS ROLL CUT TO THE LENGTH OF THE BARRIER TO AVOID USE OF JOINTS. WHEN JOINTS ARE NECESSARY, FILTER CLOTH SHALL BE SPLICED TOGETHER ONLY AT SUPPORT POST, WITH A 6-INCH MINIMUM OVERLAP, AND BOTH END SECURELY FASTENED TO THE POST, OR OVERLAP 2"x2" POSTS AND ATTACHED AS SHOWN IN SEDIMENT FENCE DETAIL INCLUDED IN THESE PLANS.
2. THE FILTER FABRIC FENCE SHALL BE INSTALLED TO FOLLOW THE CONTOURS WHERE FEASIBLE. THE FENCE POSTS SHALL BE SPACED A MAXIMUM OF 6-FEET APART AND DRIVEN SECURELY INTO THE GROUND A MINIMUM OF 24-INCHES.
3. A TRENCH SHALL BE CUT ALONG SLOPE CONTOURS AND AROUND STOCKPILES FOR SILT FENCE INSTALLATION. THE FILTER FABRIC FENCE SHALL HAVE A MINIMUM VERTICAL BURIAL OF 6-INCHES. ALL EXCAVATED MATERIAL FROM THE FILTER FABRIC FENCE INSTALLATION SHALL BE FIRMLY REDEPOSITED ALONG THE ENTIRE TRENCHED AREA ON THE UPHILL SIDE OF AND AGAINST THE FENCE.
4. STANDARD OR HEAVY DUTY FILTER FABRIC SHALL HAVE MANUFACTURED STITCHED LOOPS TO FIT 2"x2" INSTALLATION POST. STAPLED FENCE PRODUCTS ARE NOT ALLOWED. STITCHED LOOPS SHALL BE INSTALLED ON THE UPHILL SIDE OF THE SLOPED AREA, WITH POST SPACED A MAXIMUM OF 6 FEET APART.
5. FILTER FABRIC FENCES SHALL BE REMOVED WHEN THEY HAVE SERVED THEIR USEFUL PURPOSE, BUT NOT BEFORE THE UP SLOPE AREA HAS BEEN PERMANENTLY PROTECTED AND STABILIZED.
6. SILT FENCES SHALL BE INSPECTED BY CONTRACTOR IMMEDIATELY AFTER EACH RAINFALL AND AT LEAST DAILY DURING PROLONGED RAINFALL. ANY REQUIRED REPAIRS, RELOCATIONS, OR ADDITIONS SHALL BE MADE IMMEDIATELY
7. AT NO TIME SHALL MORE THAN 1-FOOT OF SEDIMENT BE ALLOWED TO ACCUMULATE UP SLOPE OF A SILT FENCE. SEDIMENT SHALL BE REMOVED OR RE-GRADED ONTO SLOPES AND THE SILT FENCE REPAIRED AND REESTABLISHED.



*20' MIN. FOR SINGLE FAMILY AND DUPLEX RESIDENTIAL

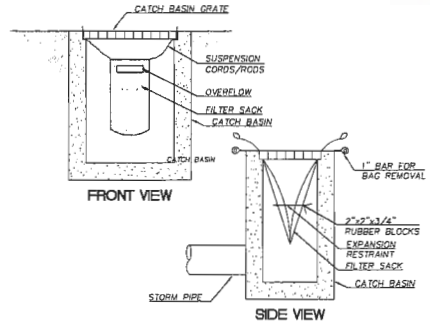
3 TEMPORARY GRAVEL CONSTRUCTION ENTRANCE
NTS



NOTES:

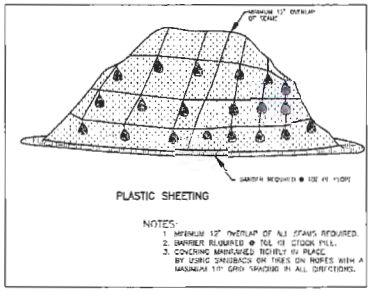
1. THE ROOT PROTECTION ZONE IS A MINIMUM OF 1 FOOT FOR EVERY 1 INCH OF TREE DIAMETER.
2. AT THE PERIMETER OF THE ROOT PROTECTION ZONE THERE MUST BE A 6' TALL CHAINLINK FENCE HAVING 8' POSTS.

5 TREE PROTECTION DETAIL
NTS



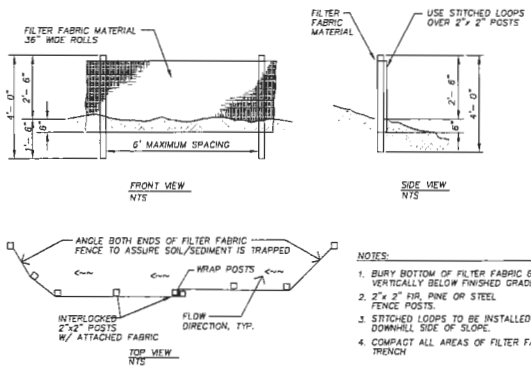
NOTE:
1. REPLACE BIOFILTER BAGS WITH INSERT SACKS AFTER THE FIRST LIFT OF PAVING.

2 FILTER FABRIC INLET PROTECTION
NTS



NOTES:
1. MINIMUM 12" OVERLAP OF ALL SEAMS REQUIRED.
2. BARRIER REQUIRED @ TOE OF STOCK PILE.
3. COVERING MAINTAINED TIGHTLY IN PLACE BY USING SANDBAGS OR TIRES ON ROPES WITH A MAXIMUM 10' GRID SPACING IN ALL DIRECTIONS.

4 PLASTIC SHEETING
NTS



NOTES:

1. BURY BOTTOM OF FILTER FABRIC 6" VERTICALLY BELOW FINISHED GRADE.
2. 2"x 2" FIR, PINE OR STEEL FENCE POSTS.
3. STITCHED LOOPS TO BE INSTALLED DOWNHILL SIDE OF SLOPE.
4. COMPACT ALL AREAS OF FILTER FABRIC TRENCH

1 SEDIMENT FENCE
NTS

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REV. #:	DATE:	DESCRIPTION

HSF, LLC
VIEW POINT INN & WELLNESS CENTER
40301 E Larch Mountain Rd.,
Corbett, OR 97019

SEDIMENT AND EROSION CONTROL NOTES AND DETAILS

PROJECT NO: 1723
DRAWN BY: JAP CHK'D BY: MSW
DATE: 01.19.18

C3.0

TREE INVENTORY TABLE

#	TREE SPECIES (Botanical Name – Common Name)	SIZE	STATUS
1	Ilex aquifolium – English Holly	12" DIAMETER	TO REMAIN
2	Ilex aquifolium – English Holly	10" DIAMETER	TO REMAIN
3	Ilex aquifolium – English Holly	12" DIAMETER	TO REMAIN
4	Ilex aquifolium – English Holly	6" DIAMETER	TO REMAIN
5	Ilex aquifolium – English Holly	3" DIAMETER	TO REMAIN
6	Ilex aquifolium – English Holly	5" DIAMETER	TO REMAIN
7	Ilex aquifolium – English Holly	8" DIAMETER	TO REMAIN
8	Alnus rubra – Red Alder	10" DIAMETER	TO REMAIN
9	Pinus nigra – Black Pine	9" DIAMETER	TO REMAIN
10	Pinus nigra – Black Pine	7" DIAMETER	TO REMAIN
11	Acer platanoides – Norway Maple	10" DIAMETER	TO REMAIN
12	Acer platanoides – Norway Maple	18" DIAMETER	TO REMAIN
13	Acer platanoides – Norway Maple	24" DIAMETER	TO REMAIN
14	Pseudotsuga menziesii – Douglas Fir	28" DIAMETER	TO BE REMOVED
15	Pseudotsuga menziesii – Douglas Fir	30" DIAMETER	TO BE REMOVED

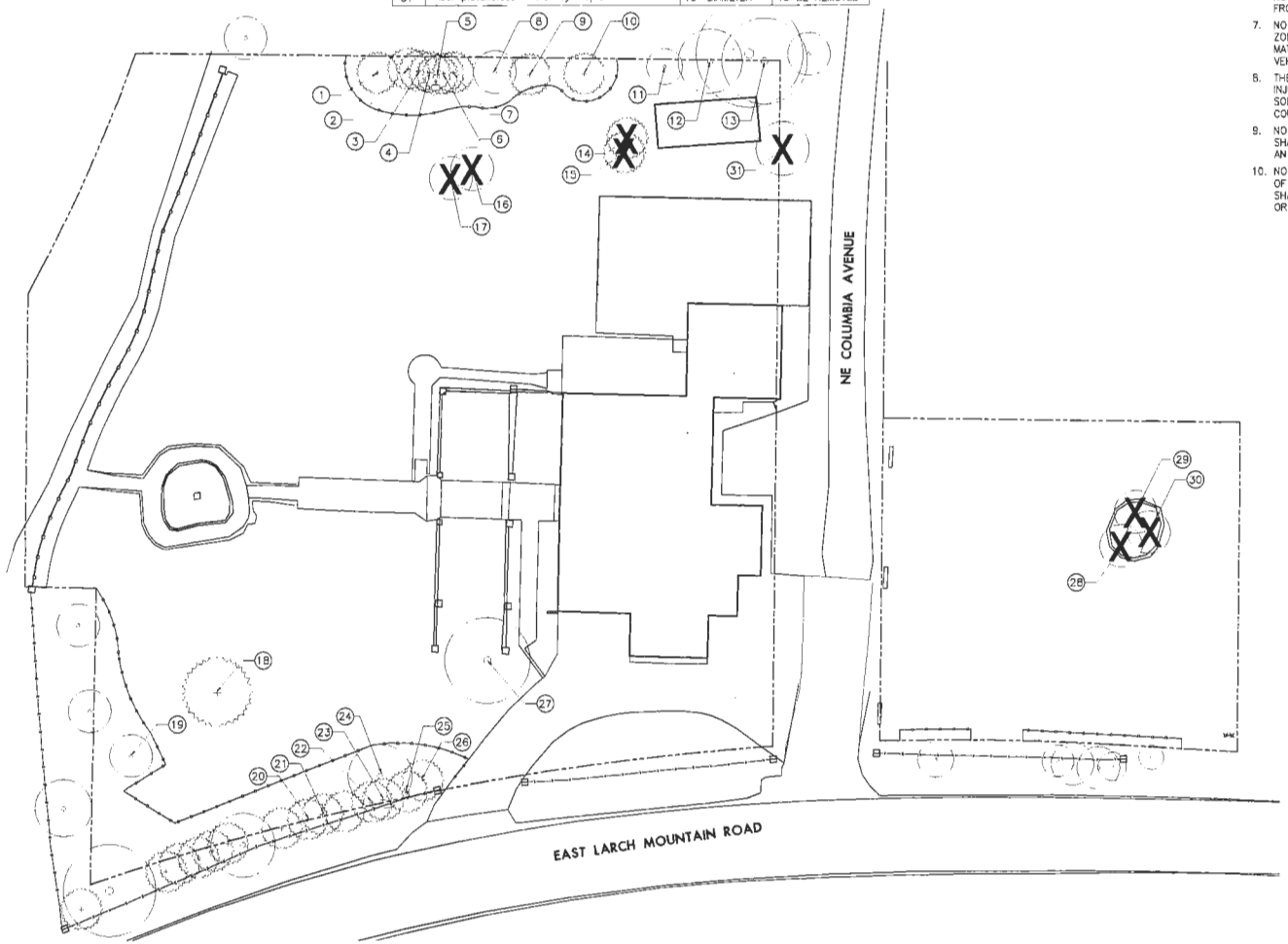
#	TREE SPECIES (Botanical Name – Common Name)	SIZE	STATUS
16	Alnus rubra – Red Alder	24" DIAMETER	TO BE REMOVED
17	Alnus rubra – Red Alder	22" DIAMETER	TO BE REMOVED
18	Pseudotsuga menziesii – Douglas Fir	30" DIAMETER	TO REMAIN
19	Prunus sargentii – Sargent Cherry	4" DIAMETER	TO REMAIN
20	Pinus nigra – Black Pine	8" DIAMETER	TO REMAIN
21	Pinus nigra – Black Pine	14" DIAMETER	TO REMAIN
22	Pinus nigra – Black Pine	10" DIAMETER	TO REMAIN
23	Pinus nigra – Black Pine	14" DIAMETER	TO REMAIN
24	Crataegus laevigata – English Hawthorne	18" DIAMETER	TO REMAIN
25	Pinus nigra – Black Pine	8" DIAMETER	TO REMAIN
26	Pinus nigra – Black Pine	9" DIAMETER	TO REMAIN
27	Prunus sargentii – Sargent Cherry	24" DIAMETER	TO REMAIN
28	Acer platanoides – Norway Maple	18" DIAMETER	TO BE REMOVED
29	Acer platanoides – Norway Maple	32" DIAMETER	TO BE REMOVED
30	Acer platanoides – Norway Maple	27" DIAMETER	TO BE REMOVED
31	Acer platanoides – Norway Maple	15" DIAMETER	TO BE REMOVED

TREE REMOVAL LEGEND

- EXISTING DECIDUOUS TREE
- EXISTING DECIDUOUS TREE, TO BE REMOVED
- EXISTING EVERGREEN TREE
- EXISTING EVERGREEN TREE, TO BE REMOVED
- TREE PROTECTION FENCING

TREE REMOVAL NOTES

1. THIS PLAN IS BASED ON A SURVEY BY COLUMBIA RIVER SURVEYING AND MAPPING DATED 03/17/2017. NOTIFY LANDSCAPE ARCHITECT OF ANY DISCREPANCIES IDENTIFIED ON SITE RELATED TO SURVEY INFORMATION PRIOR TO INSTALLATION.
2. PROTECT ALL TREES INDICATED TO REMAIN, INCLUDING BARK AND ROOT ZONES. INSTALL PROTECTIVE FENCING WHERE INDICATED ON THE TREE PROTECTION PLAN. PROTECTIVE BARRIERS SHALL BE PLACED BEFORE PHYSICAL DEVELOPMENT STARTS AND SHALL STAY IN PLACE UNTIL AFTER PLANNING OFFICIAL AUTHORIZES THEIR REMOVAL OR A FINAL CERTIFICATE OF OCCUPANCY IS ISSUED, WHICHEVER OCCURS FIRST.
3. TREE PROTECTION FENCING SHALL BE CHAIN LINK, MINIMUM OF 6' HEIGHT, SECURED WITH STEEL POSTS, INSTALLED 5' BEYOND THE EDGE OF THE ROOT ZONE OR AS INDICATED ON THE TREE REMOVAL AND PROTECTION PLAN.
4. EXCAVATION WITHIN THE TREE PROTECTION ZONE WILL BE PERFORMED USING ONLY NON-MOTORIZED HANDHELD TOOLS AND SHALL BE THE MINIMUM NECESSARY TO ACCOMPLISH THE PURPOSE FOR THE EXCAVATION AND TO ENSURE LONG-TERM SURVIVAL OF THE TREE.
5. TREE PROTECTION FENCING SHALL BE FLUSH WITH THE INITIAL UNDISTURBED GRADE.
6. APPROVED SIGNS SHALL BE ATTACHED TO PROTECTION FENCING, AND VISIBLY STATING THAT INSIDE THE FENCING IS A TREE PROTECTION ZONE, NOT TO BE DISTURBED UNLESS PRIOR APPROVAL HAS BEEN OBTAINED FROM THE COUNTY MANAGER.
7. NO CONSTRUCTION ACTIVITY SHALL OCCUR WITHIN THE TREE PROTECTION ZONE, INCLUDING, BUT NOT LIMITED TO DUMPING OR STORAGE OF MATERIALS SUCH AS BUILDING SUPPLIES, SOIL, WASTE ITEMS, OR PARKED VEHICLES AND EQUIPMENT.
8. THE TREE PROTECTION ZONE SHALL REMAIN FREE OF CHEMICALLY INJURIOUS MATERIALS AND LIQUIDS SUCH AS PAINTS, THINNERS, CLEANING SOLUTIONS, PETROLEUM PRODUCTS, AND CONCRETE OR DRY WALL EXCESS, CONSTRUCTION DEBRIS, OR RUNOFF.
9. NO EXCAVATION, TRENCHING, GRADING, ROOT PRUNING OR OTHER ACTIVITY SHALL OCCUR WITHIN THE TREE PROTECTION ZONE UNLESS DIRECTED BY AN ARBORIST PRESENT ON SITE AND APPROVED BY THE CITY MANAGER.
10. NO FILL OR COMPACTION SHALL OCCUR WITHIN THE CRITICAL ROOT ZONES OF ANY OF THE TREES. IF COMPACTION IS UNAVOIDABLE, MEASURES SHALL BE TAKEN AS RECOMMENDED BY A CERTIFIED ARBORIST TO REDUCE OR MITIGATE THE IMPACT OF THE FILL OR COMPACTION.



1 TREE REMOVAL AND PROTECTION PLAN

Plan
1"=16'-0"

N

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HSF, LLC
VIEW POINT INN & WELLNESS CENTER
40301 E Larch Mountain Rd.
Corbett, OR 97019

TREE REMOVAL AND PROTECTION PLAN

PROJECT NO: 1723
DRAWN BY: BEO CHKD BY: KL
DATE: 01.19.18

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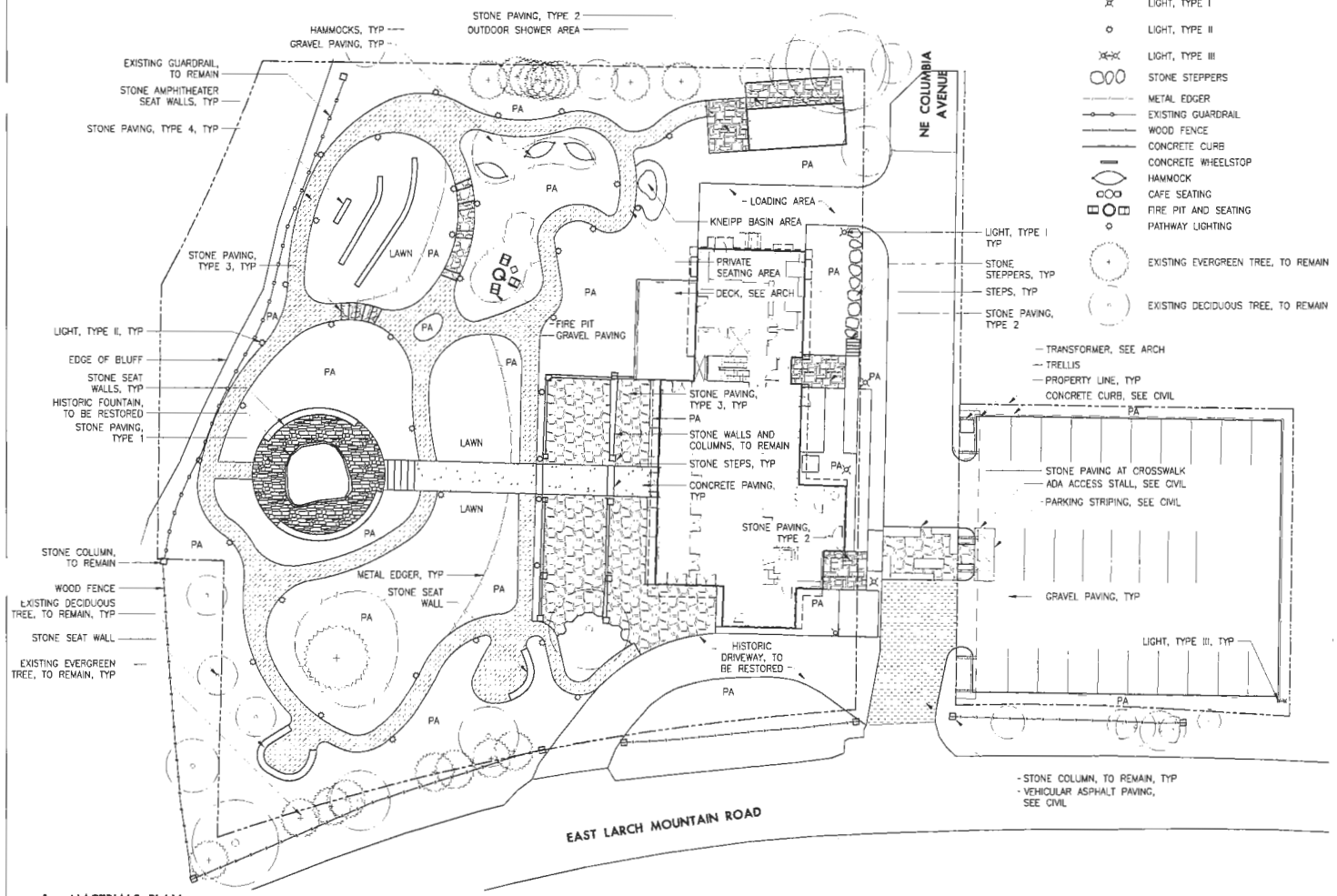

1 MATERIALS PLAN

Plan
1"=16'-0"

LEGEND

- PROPERTY LINE/RIGHT-OF-WAY
- PEDESTRIAN CONCRETE PAVING
- VEHICULAR ASPHALT PAVING, SEE CIVIL
- STONE PAVING – TYPE 1
- STONE PAVING – TYPE 2
- STONE PAVING – TYPE 3
- STONE PAVING – TYPE 4
- GRAVEL PAVING
- VEHICULAR GRAVEL PAVING
- LIGHT, TYPE I
- LIGHT, TYPE II
- LIGHT, TYPE III
- STONE STEPPERS
- METAL EDGER
- EXISTING GUARDRAIL
- WOOD FENCE
- CONCRETE CURB
- CONCRETE WHEELSTOP
- HAMMOCK
- CAFE SEATING
- FIRE PIT AND SEATING
- PATHWAY LIGHTING
- EXISTING EVERGREEN TREE, TO REMAIN
- EXISTING DECIDUOUS TREE, TO REMAIN

ABBREVIATIONS

ARCH	ARCHITECTURAL
CONC	CONCRETE
DWG	DRAWINGS
ELEC	ELECTRICAL
MECH	MECHANICAL
NIC	NOT IN CONTRACT
PA	PLANTING AREA
SIM	SIMILAR
SPECS	SPECIFICATIONS
STRUC	STRUCTURAL
TYP	TYPICAL
W/	WITH

MATERIALS NOTES

1. THIS PLAN IS BASED ON A SURVEY BY COLUMBIA RIVER SURVEYING AND MAPPING DATED 03/17/2017. NOTIFY LANDSCAPE ARCHITECT OF ANY DISCREPANCIES IDENTIFIED ON SITE RELATED TO SURVEY INFORMATION PRIOR TO INSTALLATION.
2. PROTECT EXISTING VEGETATION TO REMAIN. SEE SPECIFICATION FOR FENCING AND OTHER REQUIREMENTS.
3. SEE CIVIL DRAWINGS FOR LOCATION OF UTILITIES.
4. SEE CIVIL DRAWINGS FOR ALL VEHICULAR AREA IMPROVEMENTS, INCLUDING PAVING, CURBS, DRIVEWAY APRONS, STRIPING AND SIGNAGE, AS WELL AS ANY VEHICULAR AND PEDESTRIAN PAVING IMPROVEMENTS WITHIN THE RIGHT-OF-WAY.

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40301 E Larch Mountain Rd,
Corbett, OR 97019

MATERIALS PLAN

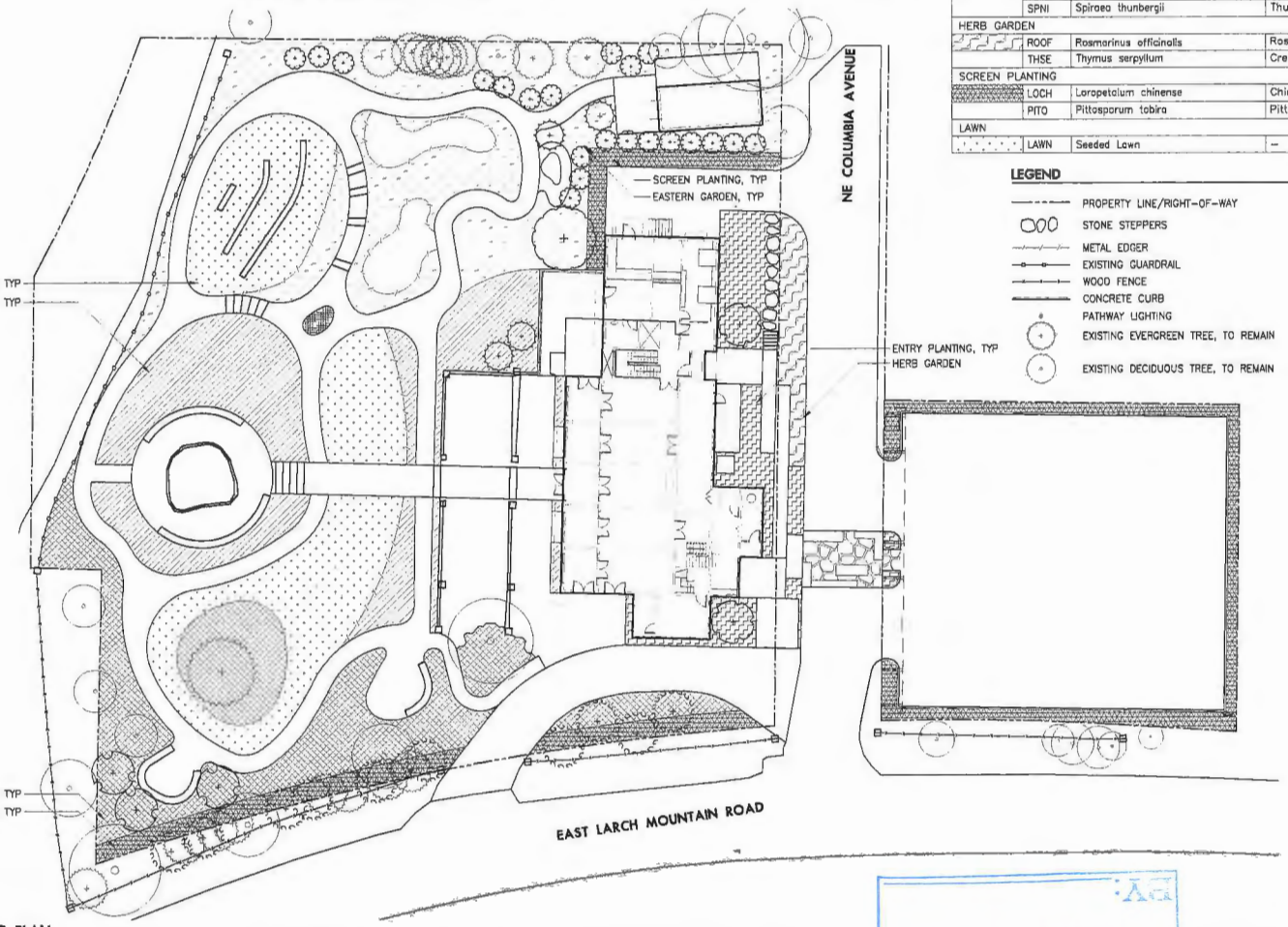
PROJECT NO: 1723
DRWN BY: BEO CHKD BY: KL
DATE: 01.19.18

L1.01

PLANT SCHEDULE

SYMBOL	ABBR	BOTANICAL NAME	COMMON NAME	SIZE/CONDITION	SPACING
TREES					
	AP	Acer palmatum	Japanese Maple	3" CAL., B&B	as shown
	CK	Cornus kousa	Kousa Dogwood	3" CAL., B&B	as shown
	FR	Fargesia rufa 'Green Panda'	Fargesia	#10/CONT	as shown
	MR	Morus rubra	Mulberry Tree	3" CAL., B&B	as shown
	PM	Pinus mugo	Mugo Pine	4' HT., B&B	as shown
	PS	Pinus sylvestris	Scots Pine	7' HT., B&B	as shown

FERN GARDEN					
	AFTI	Athyrium filix-femina	Lady Fern	#5/CONT	3' O.C.
	MARE	Mahonia repens	Creeping Mahonia	#1/CONT	18" O.C.
	OSCI	Osmundastrum cinnamomeum	Cinnamon Fern	#5/CONT	2' O.C.
	PATE	Pachysandra terminalis	Japanese Spurge	SP#4	12" O.C.
	POMU	Polystichum munitum	Sword Fern	#5/CONT	3' O.C.
ORNAMENTAL GARDEN					
	BUMI	Buxus microphylla var. japonica	Japanese Boxwood	#3/CONT	2' O.C.
	CASA	Camellia sasanqua 'Marge Miller'	Camellia	#1/CONT	18" O.C.
	LIMU	Liriope muscari	Lilyturf	#1/CONT	18" O.C.
	HAMA	Hakonechloa macra 'Aureola'	Japanese Forest Grass	#3/CONT	18" O.C.
EASTERN GARDEN					
	DAOD	Daphne odora	Daphne	#1/CONT	3' O.C.
	NADO	Nandina domestica 'Compacta'	Heavenly Bamboo	#5/CONT	3' O.C.
	OPJA	Ophiopogon japonicus	Mondo Grass	#1/CONT	12" O.C.
	PIJA	Pieris japonica	Pieris	#5/CONT	5' O.C.
	TRJA	Trachelospermum jasminoides	Star Jasmine	#1/CONT	12" O.C.
ENTRY PLANTING					
	EDCH	Edgeworthia chrysantha	Edgeworthia	#5/CONT	3' O.C.
	FOIN	Forsythia x intermedia	Forsythia	#5/CONT	5' O.C.
	SPNI	Spiraea thunbergii	Thunberg Spirea	#5/CONT	4' O.C.
HERB GARDEN					
	ROOF	Rosmarinus officinalis	Rosemary	#5/CONT	30" O.C.
	THSE	Thymus serpyllum	Creeping Thyme	SP#4	12" O.C.
SCREEN PLANTING					
	LOCH	Loropetalum chinense	Chinese Fringe Flower	#5/CONT	4' O.C.
	PITO	Pittosporum tobira	Pittosporum	#5/CONT	5' O.C.
LAWN					
	LAWN	Seeded Lawn	–	–	–



1 PLANTING PLAN

Plan
1"=16'-0"

LEGEND

- PROPERTY LINE/RIGHT-OF-WAY
- STONE STEPPERS
- METAL EDGER
- EXISTING GUARDRAIL
- WOOD FENCE
- CONCRETE CURB
- PATHWAY LIGHTING
- EXISTING EVERGREEN TREE, TO REMAIN
- EXISTING DECIDUOUS TREE, TO REMAIN

ABBREVIATIONS

B&B	BALLED & BURLAPPED
CAL	CALIPER
CONT	CONTAINER
DIA	DIAMETER
DBH	DIAMETER AT BREAST HEIGHT
HT	HEIGHT
O.C.	ON CENTER
SPECS	SPECIFICATIONS
TYP	TYPICAL
#	CONTAINER SIZE

PLANTING NOTES

1. THIS PLAN IS BASED ON A SURVEY BY COLUMBIA RIVER SURVEYING AND MAPPING DATED 03/17/2017. NOTIFY LANDSCAPE ARCHITECT OF ANY DISCREPANCIES IDENTIFIED ON SITE RELATED TO SURVEY INFORMATION PRIOR TO INSTALLATION.
2. PROTECT EXISTING VEGETATION TO REMAIN.
3. ALL PLANT MATERIAL SHALL BE NURSERY GROWN, WELL ROOTED, AND WELL BRANCHED. ALL TREES MUST BE FREE OF INSECTS, DISEASES, MECHANICAL INJURY, AND OTHER OBJECTIONABLE FEATURES WHEN PLANTED. ALL PLANT MATERIAL SHALL CONFORM TO "AMERICAN STOCK STANDARDS" LATEST EDITION.
4. ALL PLANT MATERIAL TO BE APPROVED BY LANDSCAPE ARCHITECT PRIOR TO INSTALLATION. SEE SPECIFICATIONS.
5. CLEAR PLANT BEDS OF ALL GRAVEL AND DEBRIS PRIOR TO SOIL PREPARATION AND PLANTING, FOR APPROVAL BY LANDSCAPE ARCHITECT.
6. TREES TO BE RETAINED AND/OR PLANTED SHALL BE WATERED AS NECESSARY TO MINIMIZE STRESS TO THE TREE, PROMOTE ROOT GROWTH, AND ENSURE SURVIVAL, THROUGHOUT THE CONSTRUCTION PERIOD AND THE FIRST THREE GROWING SEASONS AFTER PLANTING. TREES SHALL BE MULCHED WITH COMPOST MULCH, SEE SPECIFICATIONS. PROTECTIVE BARRIERS SHALL STAY IN PLACE UNTIL PLANNING OFFICIAL AUTHORIZES THEIR REMOVAL OR A FINAL CERTIFICATE OF OCCUPANCY IS ISSUED, WHICHEVER OCCURS FIRST. STAKING & FERTILIZING SHALL BE REQUIRED WHERE DEEMED NECESSARY BY PLANNING OFFICIAL.
7. ALL PLANTING AREAS ARE TO BE IRRIGATED WITH A PERMANENT AUTOMATIC IRRIGATION SYSTEM EXCEPT RESEEDED DISTURBED AREAS, THOSE ARE ARE TO BE NON-IRRIGATED.

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JAN 26 2018
BY:

lango.hansen
LANDSCAPE ARCHITECTS
1100 NE GLISAN, #3b
portland or 97209

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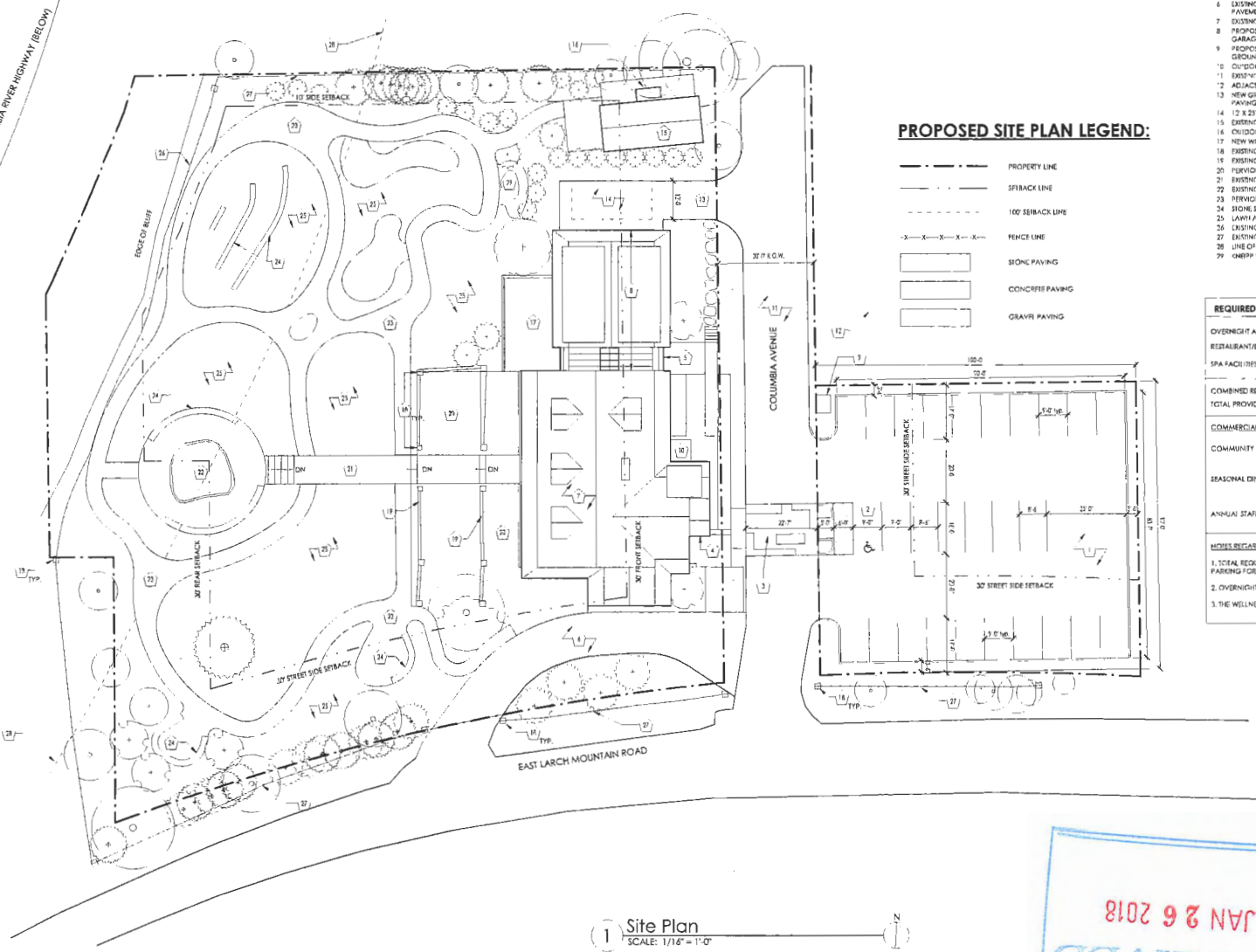
HSF, LLC
VIEW POINT INN & WELLNESS CENTER
40301 E Larch Mountain Rd.
Corbett, OR 97019

PLANTING PLAN

PROJECT NO: 1723
DRAWN BY: BED CHKD BY: KL
DATE: 01.19.18

L2.01



1 Site Plan
SCALE: 1/16" = 1'-0"

GENERAL SITE PLAN NOTES

1. COORDINATE ALL SITE WORK WITH CIVIL & LANDSCAPE DRAWINGS
2. ALL PARKING LOT MARKINGS TO BE MAINTAINED PER MULTOMAH COUNTY CODE STANDARDS
3. REFER TO EXISTING SITE SURVEY FOR ADDITIONAL PROPERTY INFORMATION

PROPOSED SITE PLAN LEGEND:

- PROPERTY LINE
- SETBACK LINE
- 100' SETBACK LINE
- FENCE LINE
- STONE PAVING
- CONCRETE PAVING
- GRAVEL PAVING

PROPOSED SITE PLAN KEYNOTES:

1 EXISTING GRAVEL PARKING AREA TO BE REFURBISHED, PROVIDE NEW GRAVEL & LAYOUT ACCORDING TO PLANS, PROVIDE 4" THICK CURB AROUND PERIMETER, SEE CIVIL & LANDSCAPE DRAWINGS FOR ADDITIONAL INFO
2 ACCESSIBLE STALL & AISLE TO BE PROVIDED
3 NEW PEDESTRIAN CROSSWALK, SEE LANDSCAPE FOR DESIGN
4 MAIN ENTRANCE FOR OVERNIGHT ACCOMMODATIONS
5 ENTRANCE FOR WELLNESS CENTER ACTIVITIES
6 EXISTING HISTORIC DRIVE & AISLE ACCESS TO BE RESURFACED, REMOVE EXISTING PAVEMENT AND PROVIDE NEW GRAVEL SURFACE
7 EXISTING HISTORIC BUILDING TO BE REHABILITATED
8 PROPOSED BUILDING ADDITION @ APPROXIMATE LOCATION OF EXISTING, NON-HISTORIC GARAGE TO BE REMOVED
9 PROPOSED ELECTRICAL TRANSFORMER LOCATION, TO BE SCREENED OR LOCATED BELOW GROUND
10 OUTDOOR COOLER FOR KITCHEN, SEE LANDSCAPE PLANS FOR SCREENING
11 EXISTING GRAVEL SURFACE @ COLUMBIA AVENUE TO REMAIN
12 ADJACENT VACANT LOT - NOT IN CONTRACT
13 NEW GRAVEL DRIVEWAY & LOADING AREA TO REPLACE EXISTING CONCRETE DRIVEWAY PAVING
14 12 x 25' LOADING SPACE
15 EXISTING SINGLE STORY ACCESSORY BUILDING TO BE RE-CONSTRUCTED
16 OUTDOOR SHOWER AREA TO BE PROVIDED AT NORTH SIDE OF ACCESSORY BUILDING
17 NEW WOOD DECK W/ METAL HANDRAILS TO REPLACE EXISTING DECK
18 EXISTING HISTORIC STONE PILLARS TO REMAIN, REFURBISH EACH AS REQ'D
19 EXISTING HISTORIC LOW STONE WALLS TO REMAIN, REFURBISH AS REQ'D
20 PERVIOUS PATIO PAVING AREA, SEE LANDSCAPE DRAWINGS
21 EXISTING CONCRETE WALKWAY TO BE REFURBISHED
22 EXISTING FOUNTAIN TO BE RESTORED
23 PERVIOUS PATHWAY PAVING, SEE LANDSCAPE DRAWINGS
24 STONE SEATING AREA, SEE LANDSCAPE DRAWINGS
25 LAWN AND/OR PLANTING AREA, SEE LANDSCAPE DRAWINGS
26 EXISTING GUARDRAIL/FENCE TO REMAIN
27 EXISTING FENCING TO REMAIN, REPAIR AND/OR REPLACE AS NECESSARY
28 LINE OF 100' SETBACK FROM EDGE OF COLUMBIA RIVER HIGHWAY
29 GNBPP WATER BASIN AREA

REQUIRED OFF-STREET PARKING PER MCC 38.4205		
OVERNIGHT ACCOMMODATIONS:	5 GUEST ROOMS	= 5 PARKING SPACES
RESTAURANT/DINING ROOM:	1225sf/100sf	= 12 PARKING SPACES
SPA FACILITIES (PERSONAL SERVICE):	3975sf/400sf	= 10 PARKING SPACES
COMBINED REQUIRED:		= 27 PARKING SPACES
TOTAL PROVIDED:		= 27 PARKING SPACES
COMMERCIAL EVENT PARKING		
COMMUNITY LECTURES:	40 GUESTS MAX (40/3=13)+12 EMPLOYEES MAX (12/2=6) **TOTAL LECTURE PARKING REQUIRED = 19 + 5 = 24**	
SEASONAL DINNERS:	40 GUESTS MAX (40/3=13)+12 EMPLOYEES MAX (12/2=6) **TOTAL DINNER PARKING REQUIRED = 19 + 5 = 24**	
ANNUAL STAFF HOLIDAY PARTY:	80 GUESTS MAXIMUM - INCLUDING STAFF (80/3)=27 **TOTAL HOLIDAY PARTY PARKING REQUIRED: 27**	

NOTES REGARDING COMMERCIAL EVENTS:

1. TOTAL REQUIRED PARKING FOR COMMUNITY LECTURE + SEASONAL DINNER EVENTS INCLUDES PARKING FOR OVERNIGHT ACCOMMODATIONS
2. OVERNIGHT ACCOMMODATIONS WILL NOT BE AVAILABLE DURING ANNUAL HOLIDAY PARTY
3. THE WELLNESS CENTER/SPA FEATURES WILL NOT BE OPEN DURING COMMERCIAL EVENTS

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EMERICK ARCHITECTS

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REV. #: DATE: DESCRIPTION

HSF, LLC
VIEW POINT INN & WELLNESS CENTER
40301 E Larch Mountain Rd.
Corbett, OR 97019

SITE PLAN

PROJECT NO: 1723
DRWN BY: JC / CHKD BY: KMD
DATE: 1/19/2018

A0.1

PLAN LEGEND:

- EXISTING WALL
- NEW WALL
- ITEM ABOVE

PROPOSED PLAN NOTES:

1. ALL NEW FOUNDATION WALLS + FLOOR SLAB IN BASEMENT
2. ALL PERIMETER FOUNDATION WALLS TO BE 8" CONCRETE WALLS
3. SEE LANDSCAPE & CIVIL PLANS FOR EXTERIOR SITE WORK
4. NEW EXTERIOR WINDOWS AND DOORS TO MATCH HISTORIC AS CLOSELY AS POSSIBLE
5. ALL FIREPLACES TO BE SCREENED W/ NO COASER THAN 1 1/4" MESH METAL THAT IS NON-COMBUSTABLE CORROSION RESISTANT
6. PROVIDE SPARK ARRESTOR IN FIREPLACE CHIMNEY
7. BUILDING SHALL BE EQUIPPED THROUGHOUT WITH AN AUTOMATIC SPRINKLER SYSTEM

PROPOSED PLAN KEYNOTES:

1. ROOF OVERHANG
2. TSUKUBAI WATER BLESSING
3. DOUBLE HEIGHT SPACE
4. WINDOW WELL TO BASEMENT. SEE EXT. ELEVATION
5. RESTORE (E) RIVER ROCK FIREPLACE + HEARTH
6. NEW STAIR TO MEET CURRENT BUILDING CODE. DETAILS TO MATCH HISTORIC SALVAGED STAIR
7. NEW WALK-IN COOLER
8. SEE MATERIALS SHEET LUR-XX FOR INTERIOR MATERIALS TO BE SALVAGED/MATCHED
9. NEW WOOD DECK. SEE SITE PLAN FOR MATERIALS
10. NEW MASONRY FIREPLACE W BASEMENT
11. NEW BASEMENT STAIR
12. RESTORE (E) SECOND FLOOR FIREPLACE

1 BASEMENT FLOOR PLAN
SCALE: 1/4" = 1'-0"

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40301 E Larch Mountain Rd.
Corbett, OR 97019

BASEMENT FLOOR PLAN - PROPOSED

PROJECT NO: 1723
DRWN BY: JC CHK'D BY: KMD
DATE: 1/19/2018

A2.1

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PLAN LEGEND:

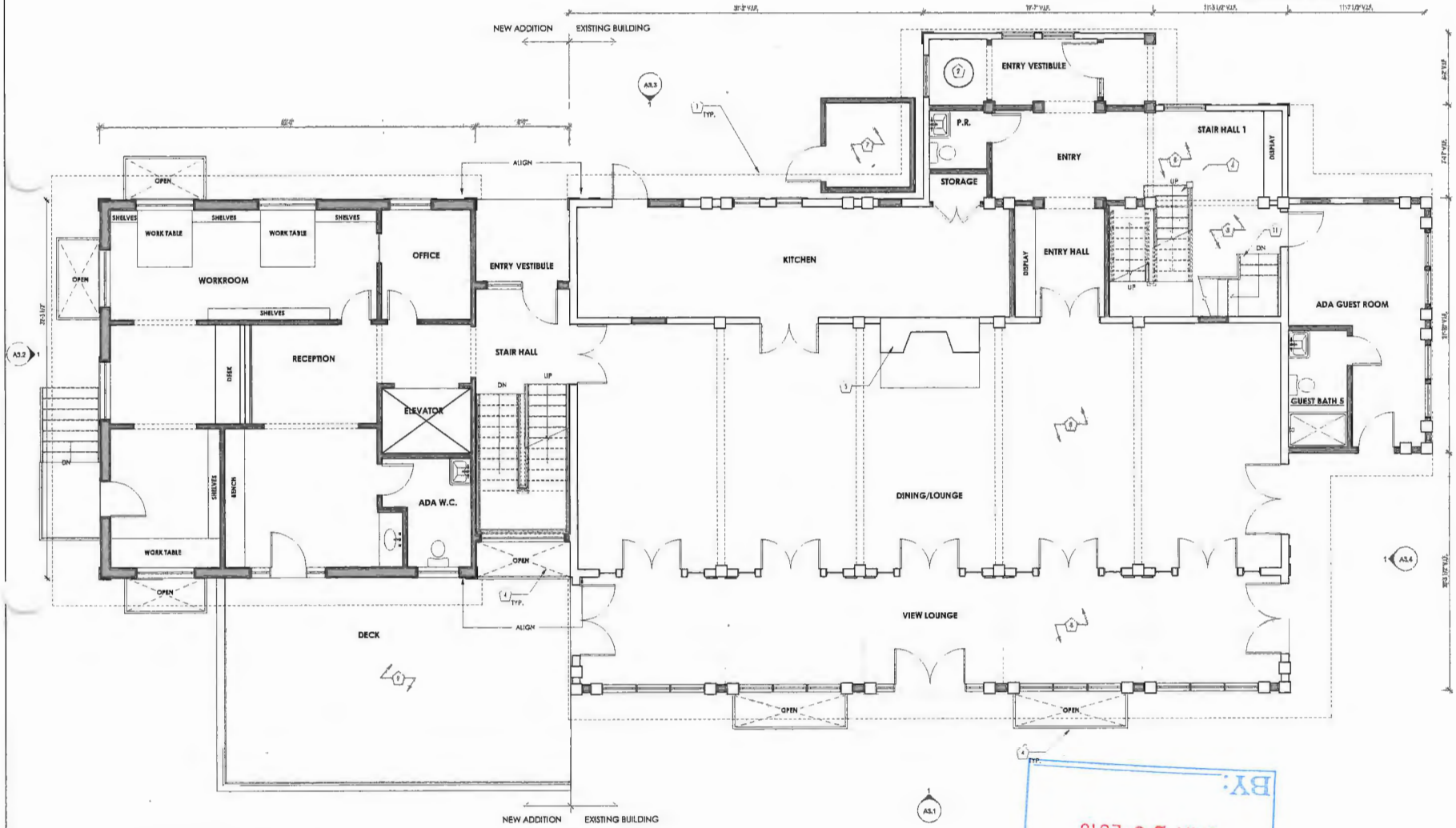
- EXISTING WALL
- NEW WALL
- ITEM ABOVE

PROPOSED PLAN NOTES:

1. ALL NEW FOUNDATION WALLS + FLOOR SLAB IN BASEMENT
2. ALL PERIMETER FOUNDATION WALLS TO BE 8" CONCRETE WALLS
3. SEE LANDSCAPE & CIVIL PLANS FOR EXTERIOR SITE WORK
4. NEW EXTERIOR WINDOWS AND DOORS TO MATCH HISTORIC AS CLOSELY AS POSSIBLE
5. ALL FIREPLACES TO BE SCREENED W/ NO COARSER THAN 1 1/4" MESH METAL THAT IS NON-COMBUSTABLE CORROSION RESISTANT
6. PROVIDE SPARK ARRESTOR @ FIREPLACE CHIMNEY
7. BUILDING SHALL BE EQUIPPED THROUGHOUT WITH AN AUTOMATIC SPRINKLER SYSTEM

PROPOSED PLAN KEYNOTES:

1 ROOF OVERHANG
2 TSUKUBAI WATER BLESSING
3 DOUBLE HEIGHT SPACE
4 WINDOW WELL TO BASEMENT. SEE EXT. ELEVATION
5 RESTORE (E) RIVER ROCK FIREPLACE + HEARTH
6 NEW STAIR TO MEET CURRENT BUILDING CODE. DETAILS TO MATCH HISTORIC SALVAGED STAIR
7 NEW WALK-IN COOLER
8 SEE MATERIALS SHEET LUX-XX FOR INTERIOR MATERIALS TO BE SALVAGED/MATCHED
9 NEW WOOD DECK. SEE SITE PLAN FOR MATERIALS
10 NEW MASONRY FIREPLACE @ BASEMENT
11 NEW BASEMENT STAIR
12 RESTORE (E) SECOND FLOOR FIREPLACE



1 FIRST FLOOR PLAN
SCALE: 1/4" = 1'-0"

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FIRST FLOOR PLAN - PROPOSED

PROJECT NO: 1723
DRWN BY: JC CHK'D BY: XMO
DATE: 1/19/2018

A2.2

PLAN LEGEND:

- EXISTING WALL
- NEW WALL
- ITEM ABOVE

PROPOSED PLAN NOTES:

1. ALL NEW FOUNDATION WALLS + FLOOR SLAB IN BASEMENT
2. ALL PERIMETER FOUNDATION WALLS TO BE 8" CONCRETE WALLS
3. SEE LANDSCAPE & CIVIL PLANS FOR EXTERIOR SITE WORK
4. NEW EXTERIOR WINDOWS AND DOORS TO MATCH HISTORIC AS CLOSELY AS POSSIBLE
5. ALL FIREPLACES TO BE SCREENED W/ NO COASER THAN 1 1/4" MESH METAL THAT IS NON-COMBUSTABLE CORROSION RESISTANT
6. PROVIDE SPARK ARRESTOR @ FIREPLACE CHIMNEY
7. BUILDING SHALL BE EQUIPPED THROUGHOUT WITH AN AUTOMATIC SPRINKLER SYSTEM

PROPOSED PLAN KEYNOTES:

1 ROOF OVERHANG
2 TSUKUBAI WATER BLESSING
3 DOUBLE HEIGHT SPACE
4 WINDOW WELL TO BASEMENT. SEE EXT. ELEVATION
5 RESTORE (E) RIVER ROCK FIREPLACE + HEARTH
6 NEW STAIR TO MEET CURRENT BUILDING CODE. DETAILS TO MATCH HISTORIC SALVAGED STAIR
7 NEW WALK-IN COOLER
8 SEE MATERIALS SHEET LUR-XX FOR INTERIOR MATERIALS TO BE SALVAGED/MATCHED
9 NEW WOOD DECK. SEE SITE PLAN FOR MATERIALS
10 NEW MASONRY FIREPLACE @ BASEMENT
11 NEW BASEMENT STAIR
12 RESTORE (E) SECOND FLOOR FIREPLACE

1 SECOND FLOOR PLAN
SCALE: 1/4" = 1'-0"

NEW ADDITION EXISTING BUILDING

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SEE ENDURFLEX PORTFOLIO FOR TITLE
P 503.230.9400 W ENDURFLEX-ARCHITECTS.COM

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SECOND FLOOR PLAN - PROPOSED

PROJECT NO: 1723
DRWN BY: JC CHK'D BY: KMD
DATE: 1/19/2018

A2.3

ELEVATION NOTES:

1. ALL NEW WINDOWS AND DOORS TO BE ALUMINUM CLAD WOOD TO MATCH HISTORIC COLOR PROFILE AND DETAILS AS CLOSELY AS POSSIBLE. MANUFACTURER TO BE MARVIN OR EQUIVALENT

2. ALL HISTORIC MATERIALS REMOVED DURING DEMO TO BE STORED ON SITE BY G.C. TO ALLOW MATCHING OF NEW MATERIALS

3. SEE LANDSCAPE & CIVIL PLANS FOR EXTERIOR SITE WORK

4. ANY ATTIC OPENINGS, SOFFIT VENTS, FOUNDATION LOUVERS OR OTHER VENTILATION OPENINGS SHALL BE SCREENED W/ A NON-COMBUSTIBLE & CORROSION RESISTANT, 1 1/4" MAXIMUM MESH METAL SCREEN

PROPOSED ELEVATION KEYNOTES:

1. MATCH (E) ROUGH HEWN TIMBER TRIM
2. REPAIR + REINSTATE (E) HISTORIC WOOD TRIM WHERE CONDITION ALLOWS. REPLACE W/ NEW WOOD TRIM TO MATCH (E) WHERE HISTORIC TRIM IS NOT SALVAGEABLE
3. NEW SAWN CEDAR SHINGLE ROOF TO MATCH (E) ORIGINAL
4. NEW WINDOW AT EXISTING OPENING. TYP.
5. (E) NON-HISTORIC CHIMNEY BRICK TO BE REPLACED. PROVIDE SPARK ARRESTOR @ NEW CHIMNEY CONSTRUCTION
6. NEW WOOD DOORS, DETAILS TO MATCH HISTORIC AS CLOSELY AS POSSIBLE
7. NEW WOOD WINDOWS, DETAILS TO MATCH HISTORIC AS CLOSELY AS POSSIBLE
8. NEW COPPER STANDING SEAM ROOF, PRE-PATINATED TO ACHIEVE WEATHERED LOOK
9. NEW WINDOW WELL TO BASEMENT, TYP.
10. NEW DORMER IN LOCATION OF PREVIOUS DORMER. PATCH + REPAIR AS REQ.
11. NEW RIDGE SKYLIGHT
12. NEW WOOD DECK W/ PTD METAL RAILINGS
13. MATCH (E) WINDOW TRIM AT ALL NEW ADDITION WINDOWS
14. NEW DOORS AT EXISTING OPENING
15. NEW PARGED CONCRETE BASE AT ADDITION
16. MATCH SLOPE + FLARE OF (E) BUILDING ROOF
17. WALK-IN COOLER SHOWN DASHED-IN TO BE SCREENED BY LANDSCAPE MATERIALS
18. MATCH (E) HISTORIC TRIM
19. NEW CEDAR SHINGLE SIDING TO MATCH (E) SHINGLES SALVAGED DURING DEMO
20. NEW PAINTED WOOD PANELING
21. HISTORIC (E) ROUGH HEWN TIMBER TRIM TO REMAIN. REPAIR AS NEC.
22. NEW COPPER GUTTER THROUGHOUT
23. EXTERIOR LIGHT FIXTURE. TYP. WHERE INDICATED

1 WEST ELEVATION - PROPOSED
SCALE: 1/4" = 1'-0"

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40301 E Larch Mountain Rd.
Corbett, OR 97019

WEST ELEVATION - PROPOSED

PROJECT NO: 1723
DRWN BY: JC CHKD BY: EMD
DATE: 1/19/2018

A3.1

ELEVATION NOTES:

1. ALL NEW WINDOWS AND DOORS TO BE ALUMINUM CLAD WOOD TO MATCH HISTORIC COLOR PROFILE AND DETAILS AS CLOSELY AS POSSIBLE. MANUFACTURER TO BE MARVIN OR EQUIVALENT

2. ALL HISTORIC MATERIALS REMOVED DURING DEMO TO BE STORED ON SITE BY G.C. TO ALLOW MATCHING OF NEW MATERIALS

3. SEE LANDSCAPE & CIVIL PLANS FOR EXTERIOR SITE WORK

4. ANY ATTIC OPENINGS, SOFFIT VENTS, FOUNDATION LOUVERS OR OTHER VENTILATION OPENINGS SHALL BE SCREENED W/ A NON-COMBUSTIBLE & CORROSION RESISTANT, 1 1/4" MAXIMUM MESH METAL SCREEN

PROPOSED ELEVATION KEYNOTES:

1 MATCH (E) ROUGH HEWN TIMBER TRIM
2 REPAIR + REINSTATE (E) HISTORIC WOOD TRIM WHERE CONDITION ALLOWS, REPLACE W/ NEW WOOD TRIM TO MATCH (E) WHERE HISTORIC TRIM IS NOT SALVAGEABLE
3 NEW SAWN CEDAR SHINGLE ROOF TO MATCH (E) ORIGINAL
4 NEW WINDOW AT EXISTING OPENING, TYP.
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20 NEW PAINTED WOOD PANELING
21 HISTORIC (E) ROUGH HEWN TIMBER TRIM TO REMAIN, REPAIR AS REQ.
22 NEW COPPER GUTTER THROUGHOUT
23 EXTERIOR LIGHT FIXTURE, TYP. WHERE INDICATED

1 NORTH ELEVATION - PROPOSED
SCALE: 1/4" = 1'-0"

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Corbett, OR 97019

NORTH ELEVATION - PROPOSED

PROJECT NO: 1723
DRAWN BY: JC CHK'D BY: KMD
DATE: 1/19/2018

A3.2

ELEVATION NOTES:

1. ALL NEW WINDOWS AND DOORS TO BE ALUMINUM CLAD WOOD TO MATCH HISTORIC COLOR PROFILE AND DETAILS AS CLOSELY AS POSSIBLE. MANUFACTURER TO BE MARVIN OR EQUIVALENT

2. ALL HISTORIC MATERIALS REMOVED DURING DEMO TO BE STORED ON SITE BY G.C. TO ALLOW MATCHING OF NEW MATERIALS

3. SEE LANDSCAPE & CIVIL PLANS FOR EXTERIOR SITE WORK

4. ANY ATTIC OPENINGS, SOFFIT VENTS, FOUNDATION LOUVERS OR OTHER VENTILATION OPENINGS SHALL BE SCREENED W/ A NON-COMBUSTIBLE & CORROSION RESISTANT, 1 1/4" MAXIMUM MESH METAL SCREEN

PROPOSED ELEVATION KEYNOTES:

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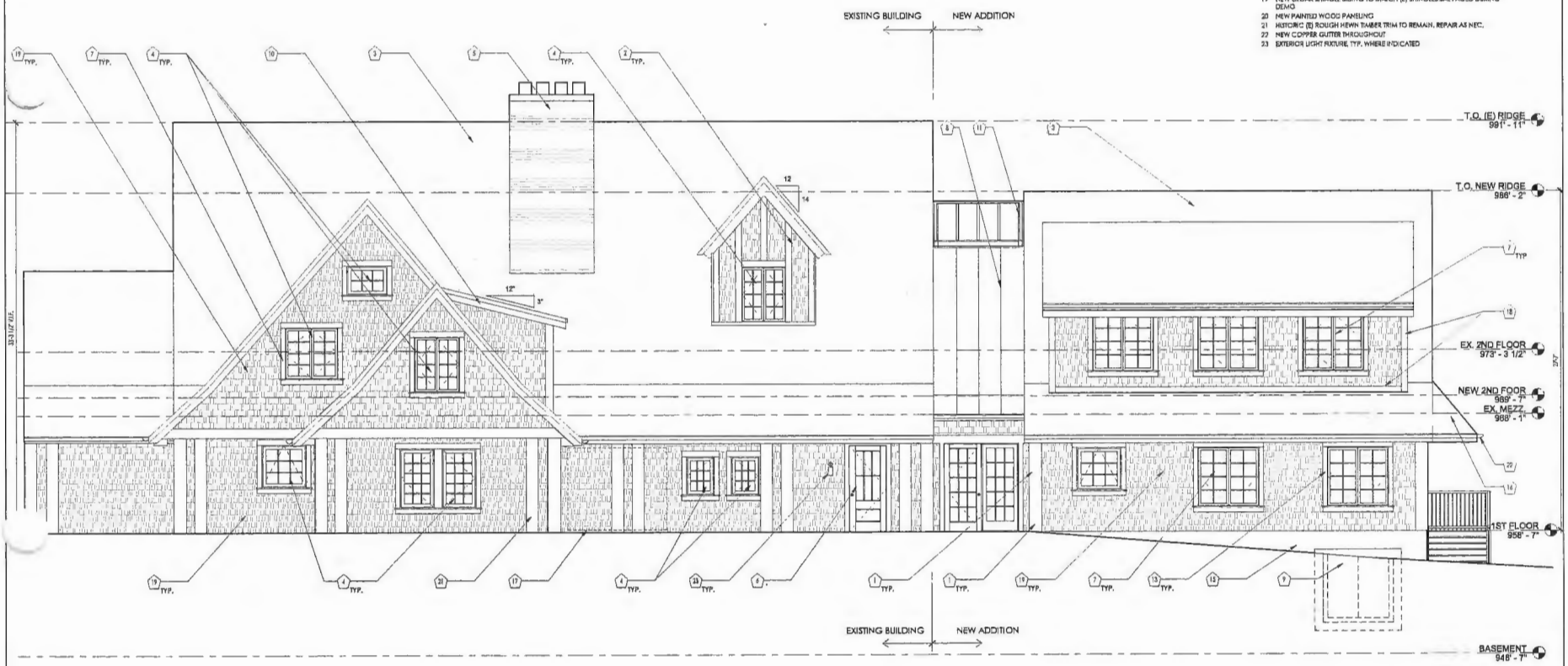
21 HISTORIC (E) ROUGH HEWN TIMBER TRIM TO REMAIN, REPAIR AS NEC.
22 NEW COPPER GUTTER THROUGHOUT
23 EXTERIOR LIGHT FIXTURE, TYP. WHERE INDICATED



1 EAST ELEVATION - PROPOSED
SCALE: 1/4" = 1'-0"

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BY:

LAND USE SUBMITTAL

EHERICK ARCHITECTS

CONSULTANT LOGO SPACE

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REV. #: DATE: DESCRIPTION

HSF, LLC
VIEW POINT INN & WELLNESS CENTER
40301 E Larch Mountain Rd.
Corbett, OR 97019

EAST ELEVATION - PROPOSED

PROJECT NO: 1723
DRWN BY: JC CHKD BY: KMD
DATE: 1/19/2018

A3.3

ELEVATION NOTES:

1. ALL NEW WINDOWS AND DOORS TO BE ALUMINUM CLAD WOOD TO MATCH HISTORIC COLOR PROFILE AND DETAILS AS CLOSELY AS POSSIBLE. MANUFACTURER TO BE MARVIN OR EQUIVALENT

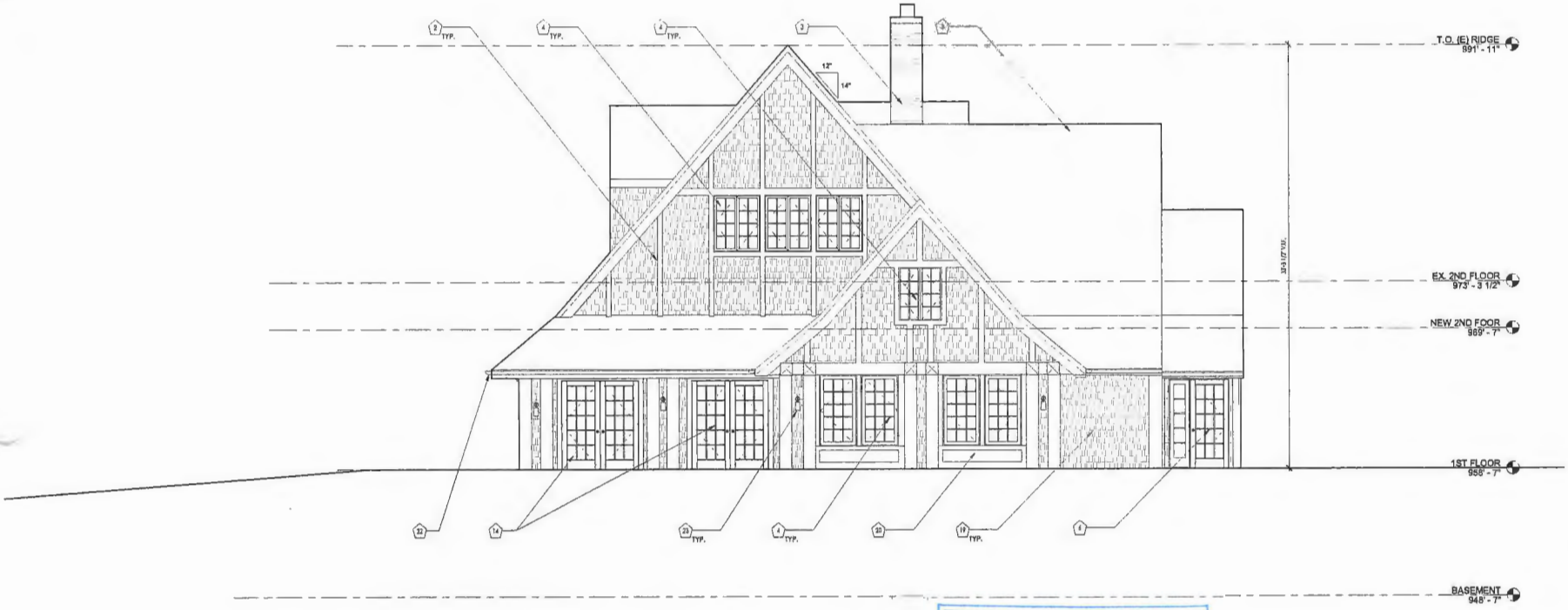
2. ALL HISTORIC MATERIALS REMOVED DURING DEMO TO BE STORED ON SITE BY G.C. TO ALLOW MATCHING OF NEW MATERIALS

3. SEE LANDSCAPE & CIVIL PLANS FOR EXTERIOR SITE WORK

4. ANY ATTIC OPENINGS, SOFFIT VENTS, FOUNDATION LOUVERS OR OTHER VENTILATION OPENINGS SHALL BE SCREENED W/ A NON-COMBUSTIBLE & CORROSION RESISTANT, 1 1/4" MAXIMUM MESH METAL SCREEN

PROPOSED ELEVATION KEYNOTES:

1. MATCH (E) ROUGH HEWN TIMBER TRIM
2. REPAIR + REINSTATE (E) HISTORIC WOOD TRIM WHERE CONDITION ALLOWS, REPLACE W/ NEW WOOD TRIM TO MATCH (E) WHERE HISTORIC TRIM IS NOT SALVAGEABLE
3. NEW SAWN CEDAR SHINGLE ROOF TO MATCH (E) ORIGINAL
4. NEW WINDOW AT EXISTING OPENING, TYP.
5. (E) NON-HISTORIC CHIMNEY BRICK TO BE REPLACED. PROVIDE SPARK ARRESTOR @ NEW CHIMNEY CONSTRUCTION
6. NEW WOOD DOORS, DETAILS TO MATCH HISTORIC AS CLOSELY AS POSSIBLE
7. NEW WOOD WINDOWS, DETAILS TO MATCH HISTORIC AS CLOSELY AS POSSIBLE
8. NEW COPPER STANDING SEAM ROOF, PRE-PATINATED TO ACHIEVE WEATHERED LOOK
9. NEW WINDOW WELL TO BASEMENT, TYP.
10. NEW DORMER IN LOCATION OF PREVIOUS DORMER. PATCH + REPAIR AS REQ.
11. NEW RIDGE SKYLIGHT
12. NEW WOOD DECK W/ PTD METAL RAILINGS
13. MATCH (E) WINDOW TRIM AT ALL NEW ADDITION WINDOWS
14. NEW DOORS AT EXISTING OPENING
15. NEW PARGED CONCRETE BASE AT ADDITION
16. MATCH ELOPE + FLARE OF (E) BUILDING ROOF
17. WALK-IN COOLER SHOWN DASHED-IN TO BE SCREENED BY LANDSCAPE MATERIALS
18. MATCH (E) HISTORIC TRIM
19. NEW CEDAR SHINGLE SIDING TO MATCH (E) SHINGLES SALVAGED DURING DEMO
20. NEW PAINTED WOOD PANELING
21. HISTORIC (E) ROUGH HEWN TIMBER TRIM TO REMAIN, REPAIR AS NEC
22. NEW COPPER GUTTER THROUGHOUT
23. EXTERIOR LIGHT FIXTURE, TYP., WHERE INDICATED



1 SOUTH ELEVATION - PROPOSED
SCALE: 1/4" = 1'-0"

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BY:

LAND USE SUBMITTAL

EMERICK ARCHITECTS
2331 SOUTHWEST FOURTH AVE, SUITE 200 PORTLAND OR 97201
P 503.223.7400 W EMERICKARCHITECTS.COM

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SPACE

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REV. #:	DATE:	DESCRIPTION

HSF, LLC
VIEW POINT INN & WELLNESS CENTER
40301 E Larch Mountain Rd.
Corbett, OR 97019

SOUTH ELEVATION - PROPOSED

PROJECT NO: 1723
DRAWN BY: JC CHK'D BY: KMD
DATE: 1/19/2018

A3.4

ELEVATION NOTES:

1. ALL NEW WINDOWS AND DOORS TO BE ALUMINUM CLAD WOOD TO MATCH HISTORIC COLOR PROFILE AND DETAILS AS CLOSELY AS POSSIBLE. MANUFACTURER TO BE MARVIN OR EQUIVALENT

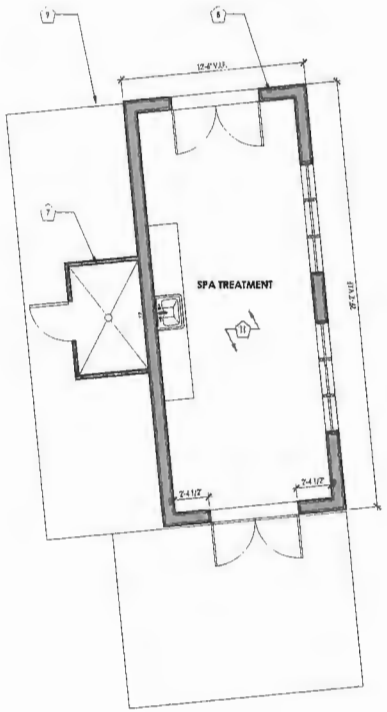
2. ALL HISTORIC MATERIALS REMOVED DURING DEMO TO BE STORED ON SITE BY G.C. TO ALLOW MATCHING OF NEW MATERIALS

3. SEE LANDSCAPE & CIVIL PLANS FOR EXTERIOR SITE WORK

4. ANY ATTIC OPENINGS, SOFFIT VENTS, FOUNDATION LOUVERS OR OTHER VENTILATION OPENINGS SHALL BE SCREENED W/ A NON-COMBUSTIBLE & CORROSION RESISTANT, 1 1/4" MAXIMUM MESH METAL SCREEN

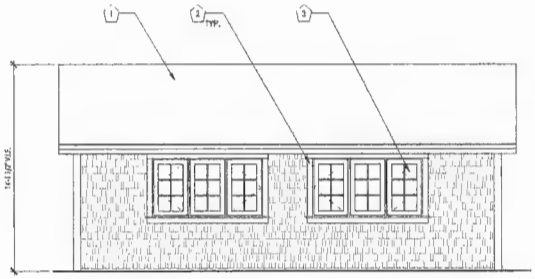
PROPOSED OUTBUILDING KEYNOTES:

1. NEW SAWN CEDAR SHINGLE ROOF TO MATCH (E) ORIGINAL ROOF OF MAIN BLDG
2. MATCH (E) WINDOW TRIM AT ALL NEW WINDOWS
3. NEW ALUMINUM CLAD WOOD WINDOWS TO MATCH MAIN BLDG. DETAILS TO MATCH HISTORIC AS CLOSELY AS POSSIBLE
4. MATCH (E) HISTORIC TRIM
5. NEW ALUMINUM CLAD, WOOD DOORS, DETAILS TO MATCH HISTORIC AS CLOSELY AS POSSIBLE
6. NEW CEDAR SHINGLE SIDING TO MATCH (E) SHINGLES SALVAGED DURING DEMO
7. OUTDOOR SHOWER WITH NATURAL WOOD ENCLOSURE
8. RECONSTRUCTED ACCESSORY BUILDING ON EXISTING FOOTPRINT
9. TERRACE, SEE LANDSCAPE DRAWINGS
10. NEW COPPER GUTTER THROUGHOUT
11. REPAIR OR REPLACE EXISTING SLAB ON GRADE AS NECESSARY
12. EXTERIOR LIGHT FIXTURE, TYP. WHERE INDICATED

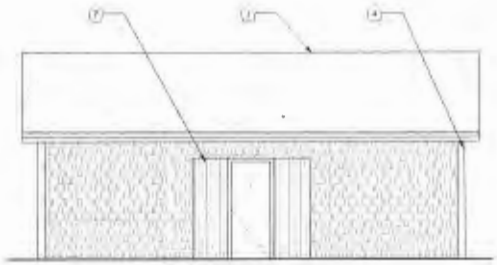


1 FLOOR PLAN - PROPOSED
SCALE: 1/4" = 1'-0"

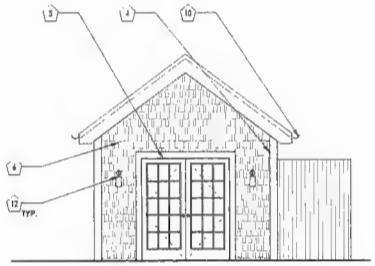
2 WEST ELEVATION - PROPOSED - ACCESSORY BLDG
SCALE: 1/4" = 1'-0"



3 SOUTH ELEVATION - PROPOSED - ACCESSORY BLDG
SCALE: 1/4" = 1'-0"



4 NORTH ELEVATION - PROPOSED - ACCESSORY BLDG
SCALE: 1/4" = 1'-0"



5 EAST ELEVATION - PROPOSED - ACCESSORY BLDG
SCALE: 1/4" = 1'-0"

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HERICA ARCHITECTS
1015 SW MARKET STREET PORTLAND, OR 97201
P 503.248.9466 W HERICA ARCHITECTS.COM

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REV. #:	DATE:	DESCRIPTION

HSF, LLC
VIEW POINT INN & WELLNESS CENTER
40301 E Larch Mountain Rd.
Carbett, OR 97019

ACCESSORY BUILDING

PROJECT NO: 1725
DRAWN BY: JC | CHKD BY: KMD
DATE: 1/19/2018

A3.5

VIEW POINT INN AND WELLNESS CENTER

RENDERED WEST ELEVATION

01.29.18

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VIEW POINT INN AND WELLNESS CENTER

EXISTING VIEW FROM WOMEN'S FORUM

01.29.18

EMERICK ARCHITECTS

VIEW POINT INN AND WELLNESS CENTER

NEW VIEW FROM WOMEN'S FORUM

01.29.18

EMERICK ARCHITECTS

VIEW POINT INN AND WELLNESS CENTER

KEY VIEWING AREAS

01.29.18

EMERICK ARCHITECTS

VIEW POINT INN AND WELLNESS CENTER

HISTORIC PHOTOS- EXTERIOR

01.29.18

WINDOW PATTERN PREDECENT
1972

AERIAL SITE PHOTO
c 1960

NATIONAL REGISTER - EAST
1984

NATIONAL REGISTER - SW CORNER
1984

NATIONAL REGISTER - WEST
1984

NATIONAL REGISTER - NW CORNER
c 1984

EMERICK ARCHITECTS

VIEW POINT INN AND WELLNESS CENTER

HISTORIC PHOTOS- INTERIOR
01.29.18

GREAT HALL
UNKNOWN

ENTRY HALL STAIR
1984

ENCLOSED VERANDA
UNKNOWN

SECOND FLOOR FIREPLACE
1984

GREAT HALL FIREPLACE
1984

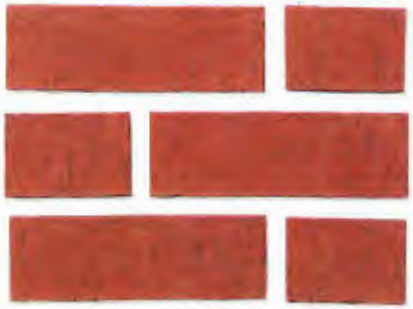
NATIONAL REGISTER - OPEN VERANDA
1984

EMERICK ARCHITECTS

VIEW POINT INN AND WELLNESS CENTER

EXTERIOR MATERIALS

07.19.18



BRICK CHIMNEY
Matching Materials
Columbia Red, Mission Texture

SAWN CEDAR SHINGLE ROOF
Match size + texture of original roof found under existing shakes

STANDING SEAM COPPER ROOF
At New Stair Connection
Pre Patinated for Aged Appearance

CEDAR SHINGLE SIDING + WOOD TRIM
Match existing size - 5 1/4" visible- and texture
Match historic black + white color scheme

ROUGH HEWN WOOD TRIM
Match existing size and texture

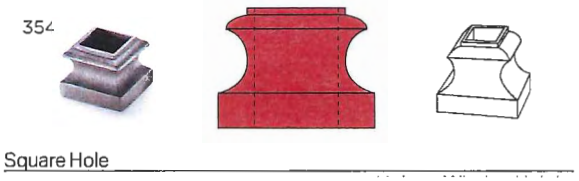
EMERICK ARCHITECTS

VIEW POINT INN AND WELLNESS CENTER

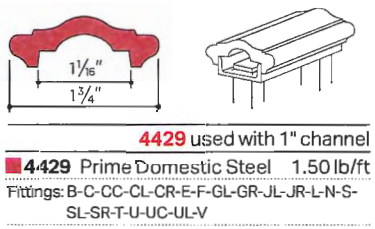
EXTERIOR SPECIFICATI[illegible]

01.15.18

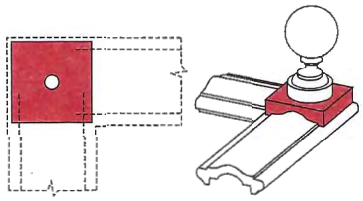
EXTERIOR WALL LANTERN
Hinkley 'Adair'
Aged Zinc finish



EXTERIOR TERRACE POST BASE
Julius Blum 369
Black painted finish



EXTERIOR TERRACE HANDRAIL
Julius Blum 4429
Black painted finish



EXTERIOR TERRACE FINIALS
Julius Blum 3543
Black painted finish

EXTERIOR TERRACE STARTING POST

331L
Forged Steel

EXTERIOR TERRACE SPINDLES

330L
Steel

EMERICK ARCHITECTS

VIEW POINT INN AND WELLNESS CENTER

EXTERIOR LIGHTING
0[illegible].[illegible]9.18

PATHWAY LIGHTING
Bega Bollard
Finish: Graphite
Color Temp: 3000K
LED Bollard
Heights: 7.5" + 14.25"

PARKING AREA LIGHTING
Bega Small Scale Floodlight + 18 [illegible] Steel Pole
Finish: Black
Color Temp: 4000K
LED Floodlight

EMERICK ARCHITECTS

VIEW POINT INN AND WELLNESS CENTER

INTERIOR MATERIALS

01.19.18

EXISTING GREAT ROOM WALL CEILING
Replace existing non-historic wallboard with sand-finished plaster to match historic finish

EXISTING GREAT ROOM FIRWALL PANELLING
Match profile throughout, refer to interior elevation for panel layout

EXISTING FIR NEWELL POST
To be salvaged, repaired, and relocated to new stair location

EXISTING DOOR CASING
Match size and detail for new casings throughout

EMERICK ARCHITECTS

VIEW POINT INN AND WELLNESS CENTER

INTERIOR MATERIALS

01.19.18

EXISTING VERANDA CEILING
Replace with new 3 1/4" tongue and groove boards w/beveled edges to match existing historic ceiling

FLOORING THROUGHOUT
Replace with new 2 1/4" maple flooring to match historic floor

EXISTING GREAT HALL FIREPLACE
Restore existing river rock fireplace and wood mantle

EXISTING SITTING ROOM FIREPLACE
Restore existing painted wood surround and reinstate in Sitting Room

EMERICK ARCHITECTS

Multnomah County

Land Use Planning Division
1600 SE 190th Ave, Ste 116
Portland OR 97233
Ph: 503-988-3043 Fax: 503-988-3389
multco.us/landuse

RECEIVED
JAN 26 2018
BY:

HILLSIDE DEVELOPMENT PERMIT (HDP) APPLICATION:
GEOTECHNICAL RECONNAISSANCE AND STABILITY PRELIMINARY STUDY

Note: Response to each question below must be completed or verified by a Certified Engineering Geologist or Geotechnical Engineer, including a State of Oregon Registration Stamp and Number in the space provided on page four. The HDP form 1 addresses Multnomah County Code Section .5515(A)(3), Hillside Development Permits.

Site Address: 40301 East Larch Mountain Road, Corbett, OR 97019

Legal Description: 1N-5E-30CC, Tax Lot 1500 & 1600

Property Owner's Name: HSF, LLC

Firm Preparing Report: Geotechnical Resources, Inc.

Address: 9750 SW Nimbus Avenue

City: Beaverton **State:** OR **Zip:** 97008

Preparer's Name: Wes Spang, George Freitag

Phone Number: 503-641-3478

GENERAL PROPERTY INFORMATION

1. a. Maximum Slope on Property: 60 degrees Area in which it is located: west property margin
   Average Slope of Property: 10 degrees on remainder of property

   b. Are there any wetlands or streambeds on the property? (Please Circle) Yes (No)
   If yes, please show on topographical survey or sketch.

   c. Volume of soil or earth material disturbed, stored, disposed of or used as fill: 1,093 CY

   d. Total area of proposed ground disturbance:
   22,379 (square feet) 0.50 ac (acres)

Were building plans considered when completing this form? (Please Circle) Yes No

If yes, please note the author and date the plans were prepared.

Emerick Architects 1/9/2018

2. What is the general topography of the property? Please attach a topographic survey or sketch with pertinent notes.

The site consists of two tax lots separated by a public road at elevation of 960.0'. The parking lot of TL1500 will be adjusted from an existing 2.0% slope falling to northeasterly elevation 956.0' to a proposed 3.2% slope with 3:1 catch slopes at north and east boundaries. TL 1600 has a northwesterly fall sloping 2.0% across existing building pad then a variable 5% to 25% slope to top of bluff at 946.0'. The most northwesterly 20.0' to 30.0' of property falls further down from the top of bluff towards the Historic Columbia River Highway and was not surveyed.

3. See attached survey.

(Landslides, slumps, mud flow, creep, ravines, fills, cuts, seeps, springs, ponds, etc.) within the surrounding area for a minimum distance of 100 feet beyond the subject property boundaries? Describe and indicate on attached topographic survey or sketch.

The slope along the western property margin, adjacent to the east side of the Historic Columbia River Highway, is mapped by DOGAMI as the head scarp of the large landslide that is present west of the highway (labelled Washougal_103 by DOGAMI). The head scarp is present along the east side of the highway from E. Larch Mountain Road north to the Vista House. Additional information to be included in geotechnical report.

4. Is any earthwork proposed in connection with site development?

(Please Circle) Yes No

If yes, please indicate depth and extent of cuts/fills; describe fill types.

A variable cut from 3' to 10' will occur within the proposed building outline in order in order to excavate the existing basement to the proposed 4200 sq ft basement, FF to 948.0'. The only substantial fill on site will be gravel for the paths, loading zone and parking lot.

5. In your opinion, will the proposed earthwork cause potential stability problems for the subject and/or adjacent properties?

(Please Circle) Yes No

IF YES, EXPRESS PROBABILITY:

(Please Circle) Very Probable Possibly Possible, but remote

If Very Probable or Possibly, please explain.

6. In your opinion, will the proposed development (structures, foundations, parking area, streets, etc.) create potential stability problems for the subject and/or adjacent properties?

(Please Circle) Yes **No**

IF YES, EXPRESS PROBABILITY:

(Please Circle) Very Probable Possibly Possible, but remote

If Very Probable or Possibly, please explain.

7. In your opinion would the subsurface disposal of sewage effluent on the site (i.e., drain fields) have an adverse affect on stability of the site or adjacent area?

(Please Circle) **Yes** No

IF YES, EXPRESS PROBABILITY:

(Please Circle) Very Probable Possibly **Possible, but remote**

If Very Probable or Possibly, please explain.

This assumes there is minimal increase in effluent flow to existing drain field

8. If answer is Very Probable or Possibly to questions 4 or 5, is it your opinion, on the basis of a visual evaluation, that adequate stability might be achieved by preferred siting of the development, alternative foundation support, earthwork, drainage, etc.?

(Please Circle) **Yes** No

If yes, please explain.

Proposed building is ~ 125 ft from the top of slope present along the western property line. Minimal fill being placed on site.

9. Do you recommend additional geotechnical studies (i.e., mapping, testing pits or borings, stability analysis, etc.) prior to site development?

(Please Circle) Yes No

If yes, please explain.

Geotechnical engineering investigation by GRI

By signing and affixing the required stamp below, the Certifying Engineering Geologist or Geotechnical Engineer certifies that the site is suitable for the proposed development.

Signature Wesley Spang

Date 1/25/2018

Affix Seal Here

REGISTERED PROFESSIONAL ENGINEER 18281 OREGON JAN 16, 1998 WESLEY SPANG

EXPIRATION DATE: 6/30/2018

CERTIFIED OREGON GEORGE A. FREITAG E1380 ENGINEERING GEOLOGIST

Land Use Planning Division
1600 SE 190th Ave, Ste 116
Portland OR 97233
Ph: 503-988-3043 Fax: 503-988-3389
multco.us/landuse

Hillside Development Permit (HDP) Work Sheet

Associated Active Cases:

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BY

Instructions for Applicants:

This questionnaire has been put together to assist you in preparing an application for development within the Hillside Development Overlay. While not required, we encourage you to consult with an Oregon licensed Certified Engineering Geologist or Geotechnical Engineer when completing this form. Information in this worksheet is intended to supplement the Geotechnical Report or Geotechnical Reconnaissance Survey [HDP Form 1]. The responses and supporting documents you provide will be the basis for determining whether or not your application satisfies the Hillside Development criteria.

GENERAL INFORMATION

Project Description: Renovation of fire damaged View Point Inn to become a spa/retreat facility.

Site Address or Legal Description: 40301 E Larch Mtn Rd, Corbett, OR Average Slope of Property (%): 10%

Maximum Slope on Property (%): 33% Proposed Area in which it is located: At North & East catch slopes of parking lot.

Surface area disturbed (square feet and acres)*: 22,379 sf 0.51 ac Volume of excavation/fill (yd^3): 480 cut. 1083 fill (613 cy net)

Completed By: Humber Design Group

Date: 1/19/2018

*Construction activities disturbing between 1 and 5 acres are automatically covered under the Oregon (DEQ) Department of Environmental Quality (NPDES) National Pollutant Discharge Elimination System Stormwater Discharge General Permit No.1200-CN. This relieves many applicants from also having to apply for a DEQ permit. Activities disturbing over 5 acres are not eligible for automatic coverage and are subject to additional permitting requirements by DEQ under the 1200-C program. Please ask the planning office for a copy of the "GENERAL PERMIT NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM STORMWATER DISCHARGE PERMIT" provisions for more information on projects qualifying for automatic coverage.

SUBMITTAL REQUIREMENTS

This worksheet has been put together to assist you in addressing approval criteria. Additional information is required to submit an application. This includes a General Application Form, deeds, site plan, service provider forms and title report. Please reference the Hillside Development Permit Handout for a list of submittal and site plan requirements.

GEOTECHNICAL ANALYSIS

A Hillside Development Permit may be approved by the County only after the applicant provides one of the following. Please check the applicable box.

- ☐ **Topographic information is enclosed showing the proposed development to be on land with average slopes less than 25 percent, and located more than 200 feet from a known landslide, and that no cuts or fills in excess of 6 feet in height are planned. High groundwater conditions shall be assumed unless documentation is available, demonstrating otherwise; or**

- ☐ **A geotechnical report prepared by a Certified Engineering Geologist or Geotechnical Engineer is attached certifying that the site is suitable for the proposed development. The report includes any specific investigations required by the County and recommendations for any further work or changes in proposed work which may be necessary to ensure reasonable safety from earth movement hazards; or**

☒ **An HDP Form– 1 completed, signed and certified by a Certified Engineering Geologist or Geotechnical Engineer with his/her stamp and signature affixed has been prepared indicating that the site is suitable for the proposed development.**

NOTE: If the HDP Form– 1 indicates a need for further investigation, or if the Director requires further study based upon in-formation contained in the HDP Form– 1, a geotechnical report as specified by the Director shall be prepared and submitted.

HDP APPROVAL STANDARDS

County approval of development plans must be based upon findings that the proposal adequately addresses the standards listed below. Some of the standards can be satisfied by checking the corresponding box. By checking a box, you are confirming that the statement applies to your project.

1. **Fill materials, compaction methods and density specifications shall be indicated. Fill areas intended to support structures shall be identified on the plan.**

   ☒ The fill materials, compaction methods and density specifications are included on the site plan or are described below. Fill areas intended to support structures are identified on the plan.

   ☐ There is no fill included in the proposed project.

   Structural fill should consist of imported granular material or approved on site native soil. Fill should be compacted to at least 95% of the maximum dry density as determined by ASTM D-698 or until well keyed. Fine grained fill soils should be compacted with a sheepsfoot while granular fill should be compacted with a vibratory roller or vibratory plate compactors.

2. **Cut and fill slopes shall not be steeper than 3(H):1(V) (i.e. 33%) unless a geological and/or engineering analysis certifies that the steep slopes are safe and erosion control measures are specified.**

   ☐ Cut or fill slopes steeper than 33% have been certified as safe in the attached geological and/or engineering analysis. Appropriate erosion control measures are also specified in the analysis.

   ☒ There are no cut or fill slopes steeper than 33%.

3. **Cuts and fills will not endanger or disturb adjoining property.**

   ☒ A Geotechnical Reconnaissance (HDP Form 1) or geotechnical report has been prepared confirming that cut or fills will not endanger or disturb adjoining property.

   ☐ Cuts and fills will not endanger or disturb adjoining property for the following reasons:

   Note: This issue is specifically addressed in the HDP Form 1 and you can rely upon the response by the Certified Engineering Geologist or Geotechnical Engineer that completed the form. A geotechnical report may or may not address the issue. If you need to prepare a response, please make sure to address any earthwork that is to occur close to a property line or storm run-off that will discharge off the property.

4. **The proposed drainage system will have adequate capacity to bypass through the development the existing upstream flow from a storm of 10-year design frequency;**

   ☐ A County Stormwater Certificate completed by an Oregon Registered Professional Engineer demonstrates that this standard has been satisfied *(Note: A Certificate must be submitted for projects involving more than 500 square feet of impervious surfaces).*

☒ There is no existing upstream flow of run-off.

5. **Fills shall not encroach on natural watercourses or constructed channels unless measures are approved which will adequately handle the displaced stream flow for a storm of 10-year design frequency;**

☐ Fill will encroach on a natural watercourse or constructed channel as shown on the site plan. As illustrated on the plan, and confirmed with the enclosed Stormwater Certificate, adequate measures will be put in place to handle the stream flow for a storm of 10-year design frequency. (*Note: A separate Flood Hazard Permit is required).*

☒ A site plan has been provided demonstrating that fill work will not encroach on natural watercourses or constructed channels.

6. **On sites within the Tualatin River Drainage Basin, specific stormwater and erosion control standards apply. The Basin includes unincorporated rural areas west of Skyline Boulevard.**

☒ The development site is outside of the Tualatin River Drainage Basin (skip to standard #7).

☐ The site is within the Tualatin River Drainage Basin and:

- Measures for controlling erosion and stormwater have been designed to perform as prescribed by the currently adopted edition of the City of Portland Erosion and Sediment Control and Stormwater Management Manuals; and
- The stormwater system has been designed to manage runoff onsite to the maximum extent possible; and
- Land-disturbing activities are at least a 100-foot from the top of the bank of a stream or ordinary high watermark (line of vegetation) of a water body, or a mitigation plan consistent with OAR 340 is enclosed for alterations within the buffer area.

(Note: For the mitigation plan, the County utilizes vegetated corridor provisions contained in Clean Water Services Design and Construction Standards manual. A copy of the manual is available on their website at http://www.cleanwaterservices.org. On slopes less than 25 percent, land disturbing activities can be approved to within 50 feet of a water body provided at least 80 percent of the intervening area is planted with native trees, shrubs, and groundcover that will achieve at least 50% canopy coverage at maturity. Mitigation must occur at a minimum 1:1 ratio to disturbed areas. If your site does not fall within these parameters, other options may exist which you can discuss with our staff.)

7. **Stripping of vegetation, grading, or other soil disturbance shall be done in a manner which will minimize soil erosion, stabilize the soil as quickly as practicable, and expose the smallest practical area at any one time during construction. Please explain how the proposed development meets this standard.**

With the small size of project and its specific construction areas it is anticipated that they will be exposed, stabilized, constructed and/or landscaped as individual treatments which will meet this standard using typical erosion and sediment control measures as dictated in C1.0 & C3.0

8. **Development Plans shall minimize cut or fill operations and ensure conformity with topography so as to create the least erosion potential and adequately accommodate the volume and velocity of surface runoff. Please explain how the proposed development meets this standard.**

The design submitted shows a relatively unchanged topography. The added paths will remain very close to existing grades in most cases and will have 3" of earth excavation for 3" of gravel path material. The existing Columbia Avenue and private parking lot will have minimal excavation to clear scrub and approximately 6" to 12" of gravel placed for auto access. The majority of cut is found within the building footprint in order to create a full basement. Refer to sheet C1.0.

9. **Temporary vegetation and/or mulching shall be used to protect exposed critical areas during development.** *(Note: Critical areas are typically soils that if exposed are likely to erode into drainageways or onto roads or nearby properties.)*

☐ The attached erosion control plan includes the use of temporary vegetation and/or mulch to protect exposed soils.

☒ There will be no exposed critical areas. Please explain

The design submitted shows a relatively unchanged topography. Any area that soil that becomes exposed will either be within the hole of proposed basement excavation or on site being minimally excavated to receive new improved gravel surfacing. Refer to sheet C1.0 & C3.0.

10. **Whenever feasible, natural vegetation shall be retained, protected, and supplemented. Please explain how the proposed development meets this standard.**

The proposed design seeks to retain as much of the existing vegetation as practicable. As indicated on sheet L0.01, only a select number of plantings are to be removed, while the majority of existing trees and screenings are to remain and be protected. New screen plantings will be added to supplement existing vegetation and any lawn areas to remain will be newly seeded. Refer to sheet L0.01 and L2.01.

Also, check one of the following:

☒ The site plan provided shows that a 100-foot undisturbed buffer of natural vegetation will be retained from the top of the bank of a stream, or from the ordinary high watermark (line of vegetation) of a water body, or wetland; or

☐ Development will encroach within the 100 foot buffer. A mitigation plan is enclosed utilizing erosion control and stormwater measures prescribed by the currently adopted edition of the City of Portland Erosion and Sediment Control and Stormwater Management Manuals. The plan further meets surface water quality equivalent to those established for the Tualatin River Drainage Basin in OAR 340. *(Note: See note under item #6 regarding mitigation plan requirements).*

11. **Permanent plantings and any required structural erosion control and drainage measures will be installed as soon as practical. Please explain how the proposed development meets this standard.**

Contractor to install all erosion control measures as noted prior to breaking ground. Proposed grading and utility plan does not require any drainage/erosion control measures as designed. There are no existing or proposed concentrated flows to manage as such. Permanent plantings are scheduled to be installed as part of the general construction contract, and therefore shall be in place prior to overall completion of project construction.

12. **Provisions shall be made to effectively accommodate increased runoff caused by altered soil and surface conditions during and after development. The rate of surface water runoff shall be structurally retarded where necessary. Please explain how the proposed development meets this standard.**

Both during and following construction the runoff shall be decreased with the addition of gravel at surface in back yard and loading zone where there were none previously. The road and parking lot should also experience a decrease in run off with an increased gravel section. Refer to sheet C1.0 & C3.0.

13. **Sediment in the runoff water shall be trapped by use of debris basins, silt traps, or other measures until the disturbed area is stabilized.**

☐ The site plan provided includes debris basins, silt traps, or other measures (specify:_____) which will be installed and maintained until the disturbed areas are stabilized.

☒ The development will not generate sediment laden run-off to warrant the installation of these measures. Please explain: _____

The site will be wrapped in erosion control measures such as sediment fencing and silt trap for the single existing area drain. The majority of site is and will remain gravel or lawn and thus infiltrates directly, creating no run off to become sediment laden. Refer to sheet C1.0 & C3.0.

14. **Provisions shall be made to prevent surface water from damaging the cut face of excavations or the sloping surface of fills by installation of temporary or permanent drainage across or above such areas, or by other suitable stabilization measures such as mulching or seeding. Please explain how the proposed development meets this standard.**

While there are no existing drainage ditches to line or seed, all cut/fill slopes outside of building envelope shall be grassed and or landscaped as soon as practical to protected from erosion as directed on sheet C1.0 & C3.0.

15. **All drainage provisions shall be designed to adequately carry existing and potential surface runoff to suitable drainageways such as storm drains, natural watercourses, drainage swales, or an approved drywell system.**

☒ Drainage improvements shown on the site plan have been designed to carry existing and potential surface runoff to the following drainageway: Subsurface infiltration

☐ No drainage improvements are associated with the development.

16. **Drainage swales used to divert surface water shall be vegetated or protected to minimize erosion.**

☐ Drainage swales are being used and will be protected to minimize potential erosion. Method of protection:

_____

☒ No drainage swales will be installed.

17. **Erosion and sediment control devices shall be employed where necessary to prevent polluting discharges from occurring. These may include, but are not limited to:**

- **Energy absorbing devices to reduce runoff water velocity;**
- **Sedimentation controls such as sediment or debris basins. Any trapped materials shall be removed to an approved disposal site on an approved schedule;**
- **Dispersal of water runoff from developed areas over large undisturbed areas.**

☐ Erosion control devices of this type are being employed to prevent pollution discharges as shown on the site plan.

☒ *No devices are needed to prevent pollution discharges from occurring. Please explain:* _____

The existing and proposed storm water for th site shall infiltrate through either pervious surfaces or infiltration devices. The existing roof drains to an existing soakage trench and the proposed roof drains connect to a new drywell.

18. **Disposed spoil material or stock-piled topsoil shall be prevented from eroding into streams or drainageways by applying mulch or other protective covering; or by location at a sufficient distance from streams or drainageways; or by other sediment reduction measures.**

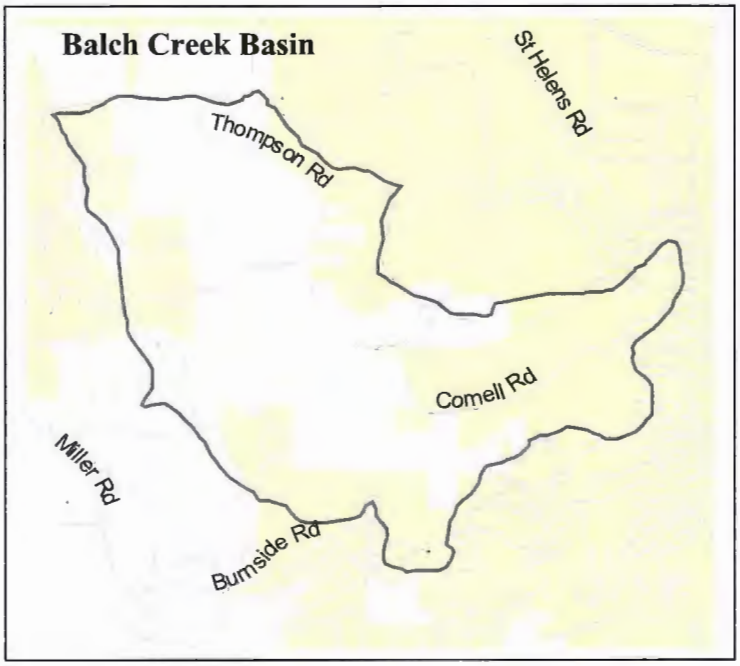
- [x] As noted on the plan, stockpiled spoils or topsoil will be covered and are located such that they will not erode into nearby streams or drainages.
- [ ] Spoil material or topsoil will be removed as it is excavated and will not be stored on-site.

19. **Such non-erosion pollution associated with construction such as pesticides, fertilizers, petrochemicals, solid wastes, construction chemicals, or wastewaters shall be prevented from leaving the construction site through proper handling, disposal, continuous site monitoring and clean-up activities. Please explain how the proposed development will meet this standard.**

A site specific Storm Water Pollution Prevention Plan will be created prior to the start of construction. The SWPPP plan will outline the site perimeter silt containment, disposal practices and monitoring schedule. All construction waste will be disposed of in a dumpster or hauled off the site in a truck. A Spill Prevention & Control Plan will be in place to manage any onsite contamination.

20. **On sites within the Balch Creek Drainage Basin, land disturbing activities are limited to the period between May first and October first of any year. All permanent vegetation or a winter cover crop shall be seeded or planted by October first of the same year the development was begun; all soil not covered by buildings or other impervious surfaces must be completely vegetated by December first of the same year the development was begun. The following is a map depicting the boundaries of the Balch Creek Drainage basin.**

- [ ] The property resides within the Balch Creek Drainage basin. This application has been tailored with the understanding that land disturbing work will be limited to the period between May 1st and October 1st and that cover crops must be established within this timeframe.
- [x] The property is not located within the Balch Creek Drainage Basin.



Stormwater Management Facilities

Private Stormwater Report

Viewpoint Inn

HDG Job #: EMA022

Prepared For: HSF LLC

PO Box 70
Corbett, OR 97019

RECEIVED
JAN 26 2018
BY:

Prepared By:

Humber Design Group, Inc.

117 SE Taylor St. Suite 001
Portland, OR 97214
(P) 503 946 6690

'I hereby certify that this Stormwater Management Report for the Viewpoint Inn project has been prepared by me or under my supervision and meets minimum standards of and normal standards of engineering practice.

I hereby acknowledge and agree that the jurisdiction does not and will not assume liability for the sufficiency, suitability, or performance of drainage facilities designed by me.'

REGISTERED PROFESSIONAL ENGINEER
76,071
OREGON
JULY 12, 2005
MARTHA WILLIAMSON

EXPIRES 6-30-2018

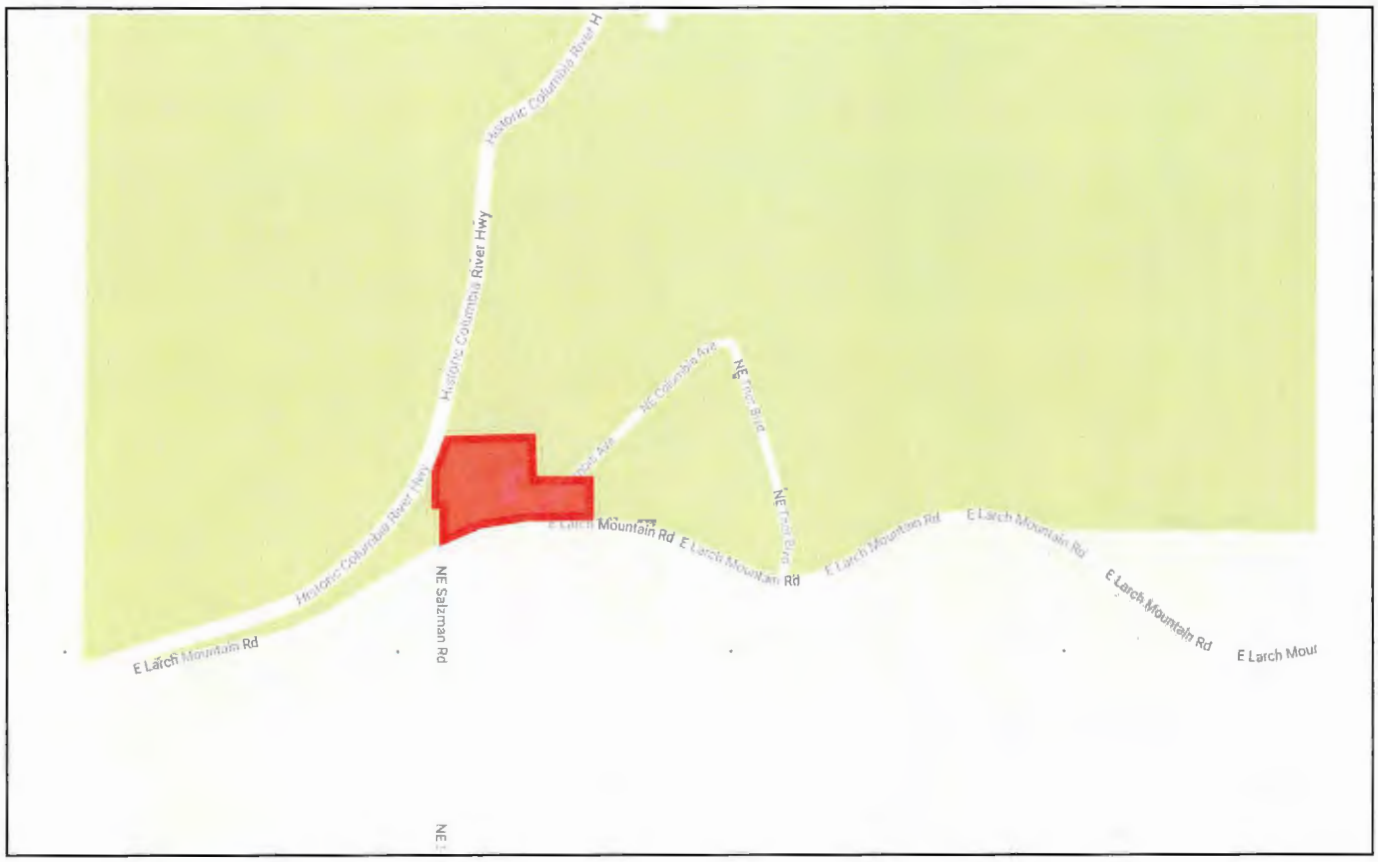
Date: January 18, 2018

Table of Contents

Project Overview and Description

Location of Project	40301 E Larch Mountain Rd, Corbett, OR 97019
Site Area/Acreage	1.21 ac
Nearest Cross Street	NE Columbia Ave, E Larch Mountain Rd
Existing Conditions	Site is currently occupied by decrepit building and poorly maintained gravel driveway and parking areas.
Proposed Development	Proposed development includes renovations and additions to existing historical building.
R#	R287200, R287215
Tax Map	1N 5E 30CC
Tax Lot	1500, 1600

Vicinity Map



Site Location

Methodology

Existing Drainage

Runoff from existing building is collected and directs to existing soakage trench at the north of the site. The remainder of the site, which is undeveloped and pervious drains steeply to the northwest.

Infiltration Results

Infiltration testing by Geotechnical Resources, Inc. on January 2, 2018 found rates of 3.5 inches per hour at 13.5 feet bgs in the northern portion of the parking lot, and 4 inches per hour at 14 ft bgs in the yard southwest of the house.

PRIVATE Proposed Stormwater Management Techniques

Stormwater runoff from existing building will continue to be managed via soakage trench. Runoff from accessory building at the northeast of the site and new impervious area created by proposed expansion will be collected via roof drains and piped to a drywell to the north of the expanded building.

Analysis

Computational Method Used HydroCAD models of a SBUH Type 1A Storm were used to calculate the stormwater management facility sizes for the catchment areas. See attached calculations. Below is a summary of the results.

Hydrologic Soil Group C

Hydrologic Soil Types Mershon silt loam

Table 1 – Curve Numbers

Post-Developed Impervious CN	98

Table 2 – Design Storms

WQ Storm	0.83 inches
2-year	2.40 inches
10-year	3.40 inches
25-year	3.90 inches
100-year	4.40 inches

Table 3 – Time of Concentration

Predeveloped TOC	5 min
Post-Developed TOC	5 min

Table 4 – Catchment Areas and Facility Table

Catchment/ Facility ID	Source (roof, road, etc.)	Treatment Area (sf)	Ownership (private/ public)	Facility Type/ Function	Facility Size
A	Roof	2,000 sf	Private	Drywell	48" dia x 10' h

Engineering Conclusions

The preceding methodologies and calculations presented indicate compliance with the current jurisdictional stormwater management codes and requirements. A summarized breakdown is presented below:

Water Quality	The proposed development will meet the provisions for water quality per the 2016 Portland Stormwater Management Manual.
Water Quantity	The proposed development will meet the provisions for water quantity per the 2016 Portland Stormwater Management Manual.
Downstream / Upstream Impacts	There are no upstream or downstream impacts created by this proposed development.
100 year storm	The 100 year storm will be safely conveyed away from structures.

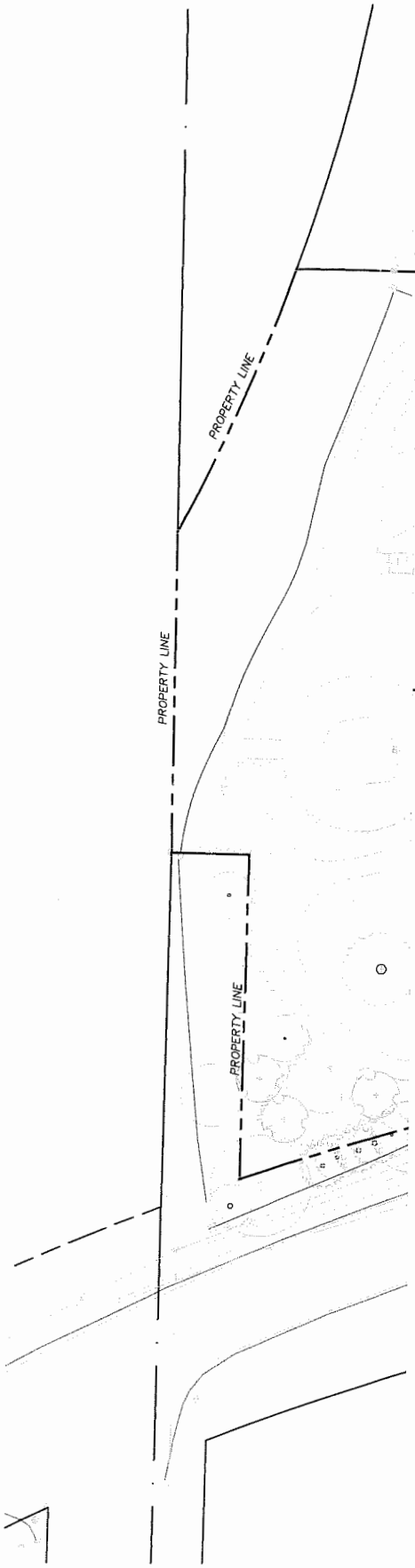
Appendix A

Stormwater Facility Details / Exhibits

Utility Plan

Catchment Map

Drywell Detail



ND FIRE PROTECTION WORK IN THE PUBLIC RIGHT
ATER DISTRICT AT OWNER'S EXPENSE.
OORDINATE WITH CORBETT WATER DISTRICT
(503)695-2284.

CATE EXISTING SEPTIC FACILITIES PRIOR TO
TY LOCATION.

RAIN AROUND PERIMETER OF ALL STRUCTURES.

STING WATER SERVICE AT MAIN.

CATCH BASIN, OVERFLOW DRAIN

ENT CONNECTION

PROPOSED	DESCRIPTION
	PROPERTY LINE
	SETBACK LINE
	BLDG OVERHANG
	SAWCUT LINE
	EDGE OF PAVEMENT
	CURB, WHEEL STOPS
	STORM PIPE
	CATCH BASIN
	DRYWELL
	FLOW LINE
	SANITARY LINE
	SANITARY CLEANOUT
	SANITARY DRAIN FIELD
	WATER LINE
	WATER METER VAULT
	WATER VALVE
	CONCRETE
	A.C. PAVEMENT
	GRAVEL
	STONE WALKWAY
	STONE WALL
	FENCE
	TREE
	MAIL BOX
	GRAVEL
	BUILDING
	PAVEMENT
	CONCRETE
	WOOD DECKING
	STONE WALL

NOTE: INFORMATION IN THESE DOCUMENTS IS NOT APPROVED FOR CONSTRUCTION UNTIL A BUILDING PERMIT HAS BEEN ISSUED.

EMERICK ARCHITECTS
321 SOUTHWEST FOURTH AVE SUITE 200 PORTLAND OR 97204
P 503.235.9400 W EMERICKARCHITECTS.COM

Humber Design Group, Inc.
Portland, OR • 503.946.6690 • hdgpdx.com

REV. #: DATE: DESCRIPTION

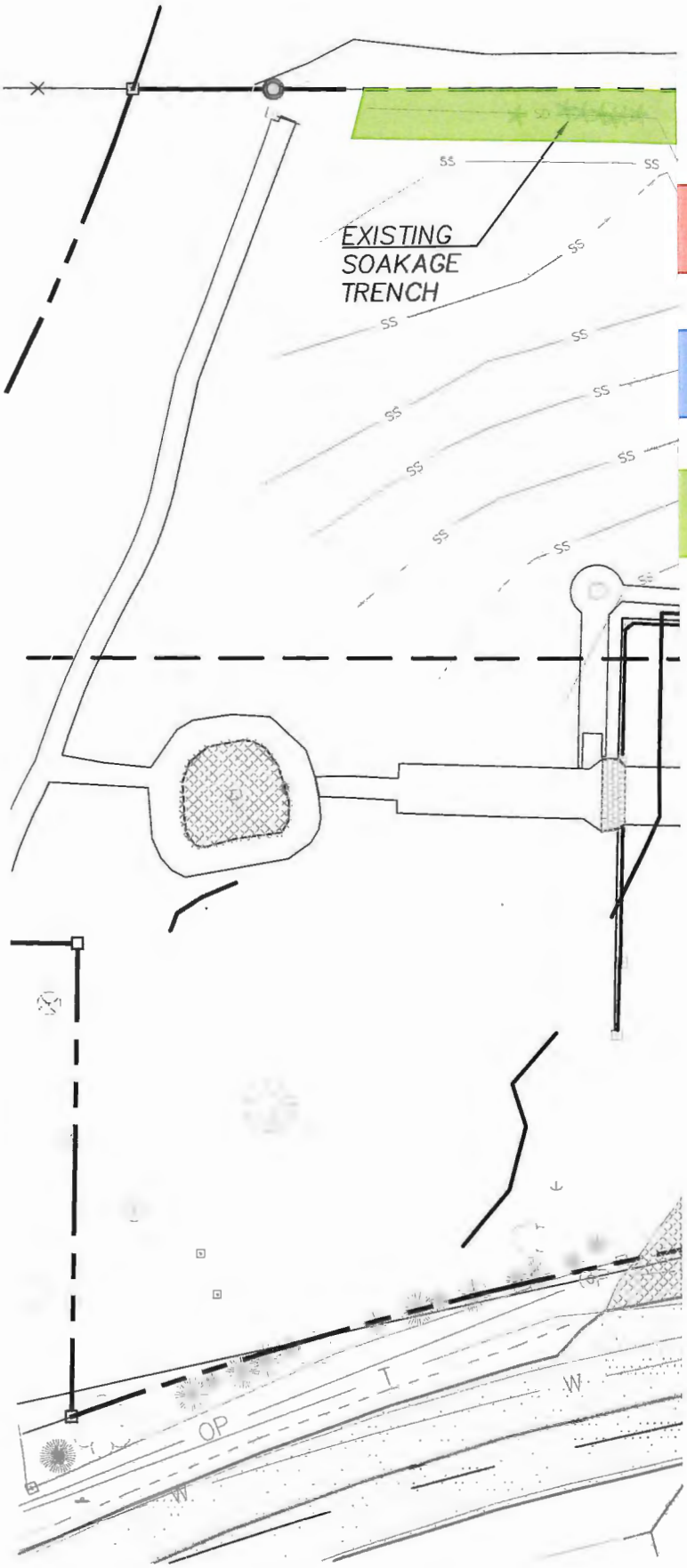
HSF, LLC
VIEW POINT INN & WELLNESS CENTER
40301 E Larch Mountain Rd.,
Corbett, OR 97019

UTILITY PLAN

PROJECT NO: 1723
DRWN BY: JMF CHK'D BY: MSW
DATE: 01.19.18

C2.0

LAND USE SUBMITTAL



LEGEND

Proposed Catchment A
2,000 sf (to drywell)

Existing Catchment
(historic building)

Existing Soakage Trench

GRAPHIC SCALE

0 30 60

1 inch = 30 ft.

)TES

BOLT DOWN – THE CAPACITY TO DISPOSE OF
MANHOLE RIM RATES SPECIFIED BY THE ENGINEER.

' THE CONTRACTOR, AS DIRECTED
J OF ENVIRONMENTAL SERVICES
:CIAL INSPECTOR THROUGH THE

:TER CONSTRUCTION OF THE DRYWELL
ROCK AND PERIMETER BACKFILL) BUT
)F THE TOP SLAB AND FINISH
12

OF BUILDINGS INSPECTOR OR
R 24 HOURS PRIOR TO BEGINNING

MIRAFI 140 FILTER FABRIC TO LINE WALLS OF PIT

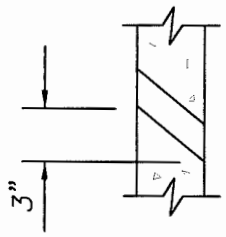
:OR THE PROVISION OF ALL DRYWELL
BUT NOT LIMITED TO FLOW METER
UTE), PIPING, AND TRAFFIC CONTROL.

REINFORCED PRE-CAST CONC. SECTIONS AND LID. CONFORM TO ASTM C478

)ED TO TEST DRYWELLS, AS
EDIMENT MAY RESULT IN FAILURE OF

AN INITIAL RATE OF 100 GPM. EVERY
ER ELEVATION. MEASURE HEIGHT
TER SURFACE. WHEN WATER
A CONSTANT ELEVATION, INCREASE
RECORD ELEVATIONS. CONTINUE TO
GPM ONCE THE WATER SURFACE
' IS EXCEEDED OR DRYWELL
EVER IS GREATER. MAXIMUM DRYWELL
OR THE STABLE CONDITION SET PRIOR
VAS EXCEEDED.

3/4" TO 2-1/2" WASHED, CRUSHED STONE OR GRAVEL



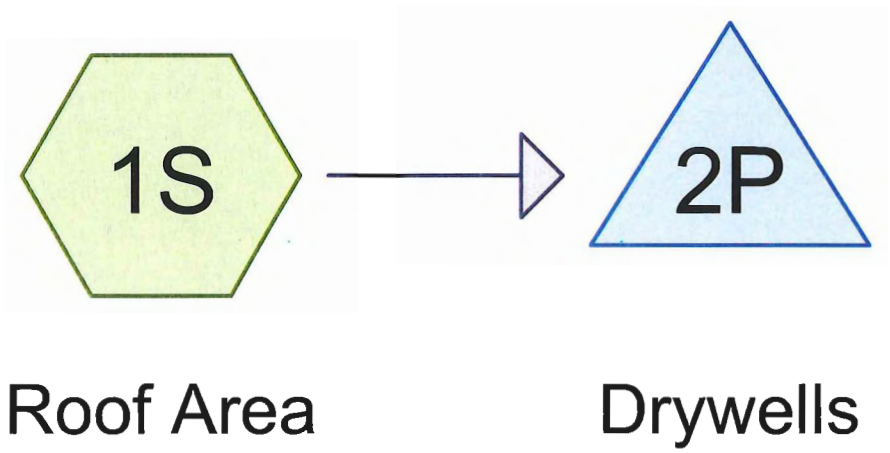
DRYWELL

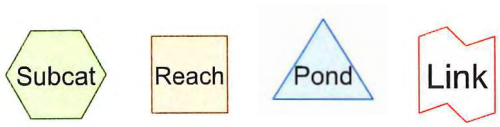
NTS

Appendix B

Support Calculations

HydroCad Report





Routing Diagram for View Point Inn
Prepared by Hewlett-Packard Company, Printed 1/18/2018
HydroCAD® 10.00-15 s/n 09142 © 2015 HydroCAD Software Solutions LLC

Area Listing (all nodes)

Area (sq-ft)	CN	Description (subcatchment-numbers)
2,000	98	(1S)
2,000	**98**	**TOTAL AREA**

Time span=0.00-30.00 hrs, dt=0.05 hrs, 601 points
Runoff by SBUH method, Split Pervious/Imperv.
Reach routing by Stor-Ind+Trans method - Pond routing by Stor-Ind method

Subcatchment 1S: Roof Area Runoff Area=2,000 sf 100.00% Impervious Runoff Depth=3.17"
Tc=5.0 min CN=0/98 Runoff=0.04 cfs 528 cf

Pond 2P: Drywells Peak Elev=107.20' Storage=146 cf Inflow=0.04 cfs 528 cf
Outflow=0.01 cfs 528 cf

Total Runoff Area = 2,000 sf Runoff Volume = 528 cf Average Runoff Depth = 3.17"
0.00% Pervious = 0 sf 100.00% Impervious = 2,000 sf

Summary for Pond 2P: Drywells

Inflow Area =	2,000 sf,100.00% Impervious,	Inflow Depth =	3.17"	for	10yr event
Inflow =	0.04 cfs @	7.90 hrs,	Volume=	528 cf	
Outflow =	0.01 cfs @	9.40 hrs,	Volume=	528 cf,	Atten= 75%, Lag= 90.5 min
Discarded =	0.01 cfs @	9.40 hrs,	Volume=	528 cf	

Routing by Stor-Ind method, Time Span= 0.00-30.00 hrs, dt= 0.05 hrs / 2
Peak Elev= 107.20' @ 9.40 hrs Surf.Area= 38 sf Storage= 146 cf

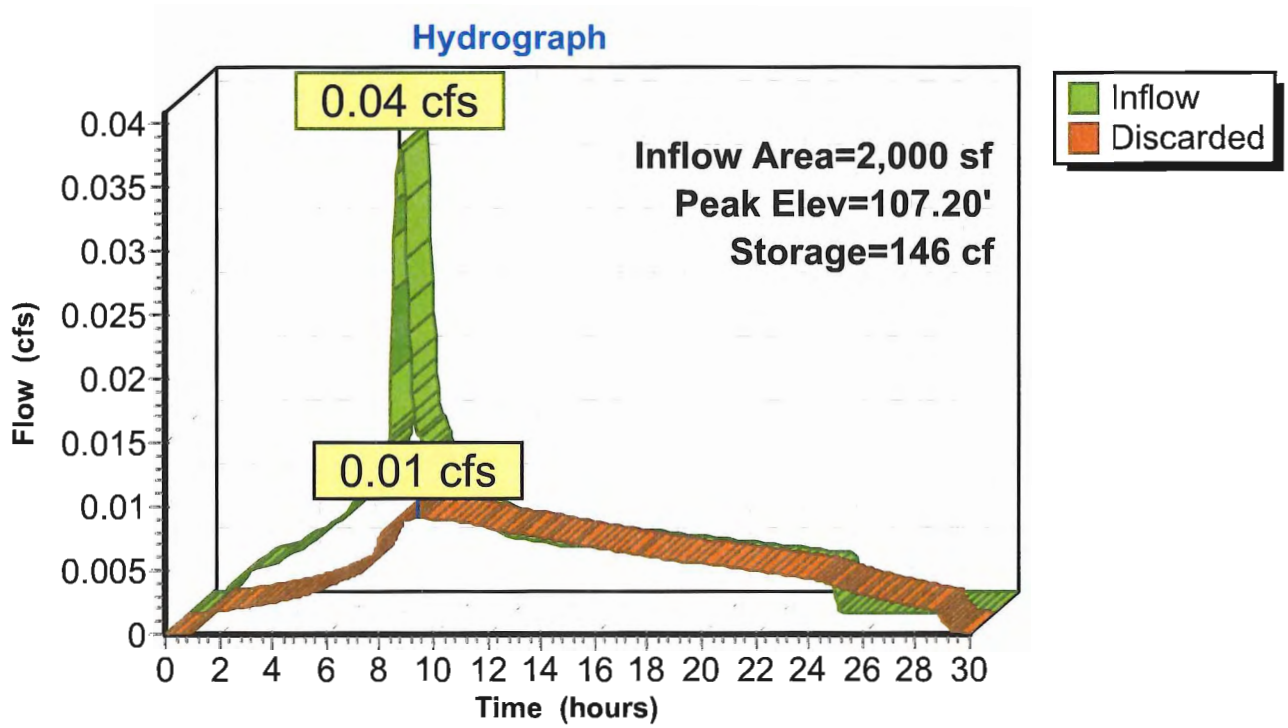
Plug-Flow detention time= 220.3 min calculated for 527 cf (100% of inflow)
Center-of-Mass det. time= 220.4 min (885.2 - 664.8)

Volume	Invert	Avail.Storage	Storage Description
#1	100.00'	126 cf	**4.00'D x 10.00'H Vertical Cone/Cylinder** Inside #2
#2	100.00'	78 cf	**7.00'D x 10.00'H Vertical Cone/Cylinder**
			385 cf Overall - 126 cf Embedded = 259 cf x 30.0% Voids
		203 cf	Total Available Storage

Device	Routing	Invert	Outlet Devices
#1	Discarded	100.00'	**2.000 in/hr Exfiltration over Wetted area**

Discarded OutFlow Max=0.01 cfs @ 9.40 hrs HW=107.20' (Free Discharge)
└**1=Exfiltration** (Exfiltration Controls 0.01 cfs)

Pond 2P: Drywells



Multnomah County
Land Use Planning Division
1600 SE 190th Ave, Ste 116
Portland OR 97233
Ph: 503-988-3043 Fax: 503-988-3389
multco.us/landuse

FIRE SERVICE AGENCY REVIEW

TO THE APPLICANT: Take this form to the Structural Fire Service Provider* that serves your property along with the following:

- ☒ A site plan drawn to scale showing the subject property, its improvements, location of fire hydrants and driveway information;
- ☒ A floor plan of the proposed development; and
- NA A fire flow report from your water purveyor (if applicable) [Not applicable for Properties served by MCRFD#14 customers]
- ☐ After the fire official signs this form, include it with your application material. See Fire Code Application Guide for fire-related access standards and fire flow information.

*If your property is not served by a structural fire service provider, your project is to be reviewed by the appropriate building official serving your property.

RECEIVED JAN 26 2018

Address of Site: 40301 E. Larch Mountain Road, Corbett, OR 97019

Map & Tax Lot: 1N-5E-30CC - Tax Lot 1600 & 1500 'R' number R832300010 & R832301940

Description of Proposed Use: Spa retreat center with overnight accommodations

Total Square Footage of Building (including roof projections, eaves & attached structures): Roof Footprint: 5 175 Bldg Total (all flrs.): 11,525

Applicant Name: Keith Daily - Emerick Architects Phone: 503-235-9400

Mailing Address: 321 SW Fourth Avenue #200

City: Portland State: OR Zip Code: 97204 Email: keith@emerick-architects.com

STRUCTURAL FIRE SERVICE AGENCY REVIEW

Fire Agency completing this form: Corbett Fire Dist. 14 Date of Review 1/23/18

- ☒ The subject property is located within our service boundaries or is under contract.
- ☐ The subject property is outside of our service boundaries and will not be providing fire protection services via contract. (Additional review is not needed.)

**** Access Review by Structural Fire Service Agency Providing Service ****

- ☒ The proposed development is in compliance with the fire apparatus access standards of the Oregon Fire Code standards as implemented by our agency.
- ☐ The following access improvements must be completed prior to issuance of the building permit and be re-inspected by our agency before flammable materials are placed on the property.

_____

_____

_____

- ☐ The proposed development is **not** in compliance with the adopted Fire Service Agency's access standards. The proposed building/structure is required to have a fire sprinkler system installed in compliance with Section 903.1.3 (NFPA 13D) of the Oregon Fire Code.

Fire Official: Please sign or stamp the presented site plan & floor plan and attach it to this form.

Fire Chief

Signature & Title of Fire Official

1-23-18

See Other Side

STRUCTURAL FIRE SERVICE AGENCY REVIEW, cont.

** Fire Flow by Structural Fire Service Agency Providing Service **

The structure, building or addition is exempt from the fire flow standards of the OFC B-105.2.

- ☐ The proposed non-commercial structure **is less** than **3,600 sq. ft.** (including the horizontal projections of the roof) and there **is** 1,000 gallons per minute of fire-flow available at 20 psi from public water lines. No mitigation measures are necessary.
- ☐ The proposed non-commercial structure **is more** than **3,600 sq. ft.** (including the horizontal projections of the roof) and the fire-flow & flow duration at 20 psi is available from public water lines or private well and is in compliance with minimums specified in Appendix B, Table B105.1 of the Oregon Fire Code. No mitigation measures are necessary.
- ☐ The existing fire-flow & flow duration available from public water lines or private well is not adequate to serve the proposed non-commercial structure in compliance with Appendix B of the Oregon Fire Code. The following mitigation measures are necessary* and must be installed prior to occupancy or use of the structure.
  - ☐ A monitored fire alarm must be installed.
  - ☐ Class A or non-combustible roof materials must be installed.
  - ☐ Defensible space of 30 feet around the structure/building/addition.
  - ☐ A defensible space of 100 feet around the structure/building/addition due to slopes greater than 20%.
  - ☐ A fire sprinkler system meeting Section 903.1.3 (NFPA13D) of the Oregon Fire Code shall be installed.
  - ☐ Other _____

_____

* The above required structural features are required by the Oregon Fire Code and shall be shown clearly on all building plans.

Commercial/Industrial Buildings & Uses.

- ☒ The minimum fire flow and flow duration is available from public water lines or private well as specified in Appendix B, Table B105.1. No mitigation measures are required.
- ☐ The minimum fire flow & flow duration is not available from public water lines or private well as specified in Appendix B, Table B105.1. The following mitigation measures are required:

NFPA 13 system to be installed - nearby fire hydrant meets 1500 gpm requiremenper 2014 OFC B105

1-23-18 Fire Chief

Signature & Title of Fire Official

To the Fire Official:

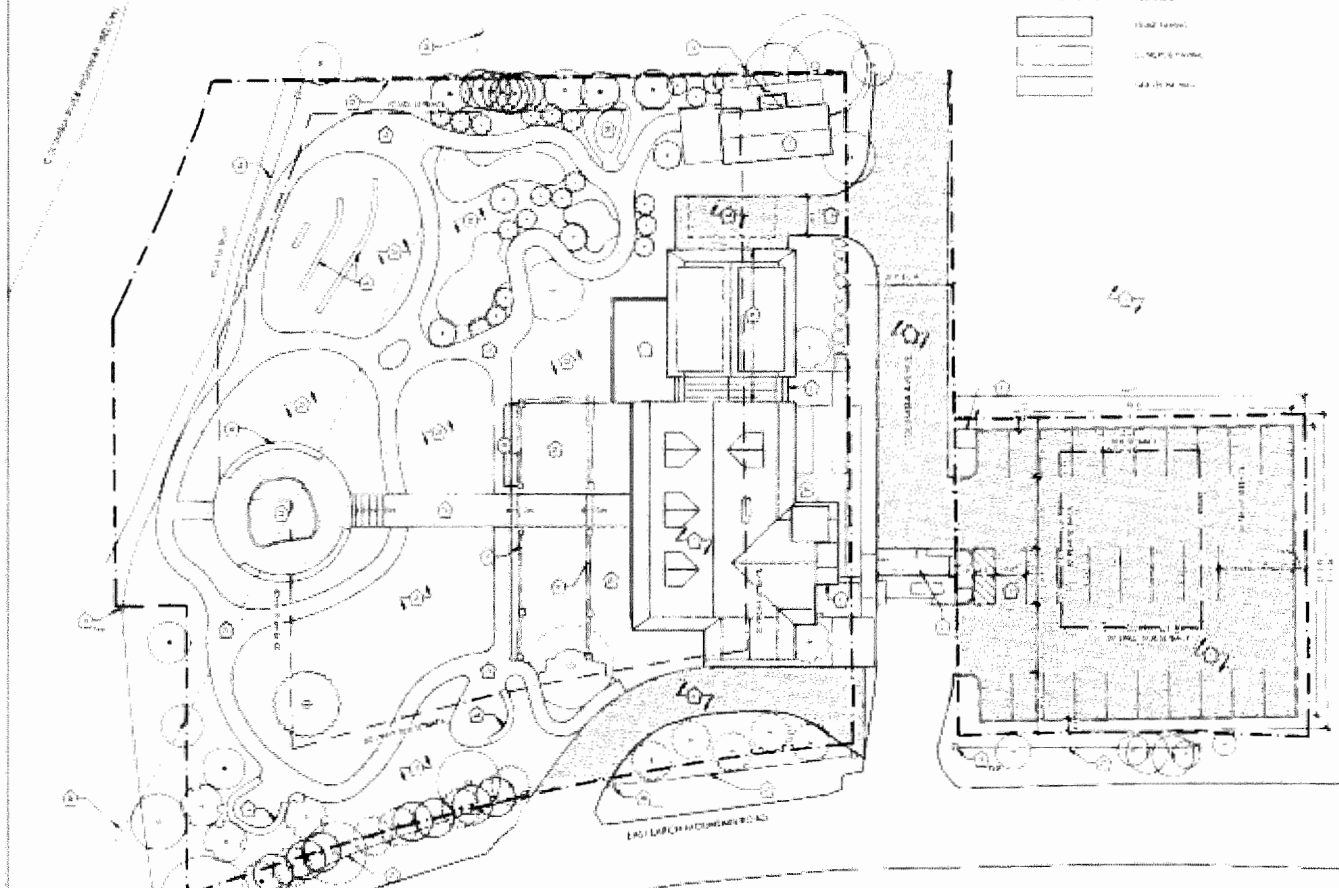
- ☐ Land Use Planning has determined that the proposed building will qualify as an Exempt Farm Structure and the property owner has indicated that the building will be used solely for farm purposes and they intend on using the provision under ORS 455.315 and will not be obtaining a building permit for its construction.

_____

Multnomah County Land Use Planning

PROPOSED SITE PLAN LEGEND:

PROPOSED SITE PLAN KEYNOTES:



1 Site Plan

Approved Fire Dist 14
1-23-18

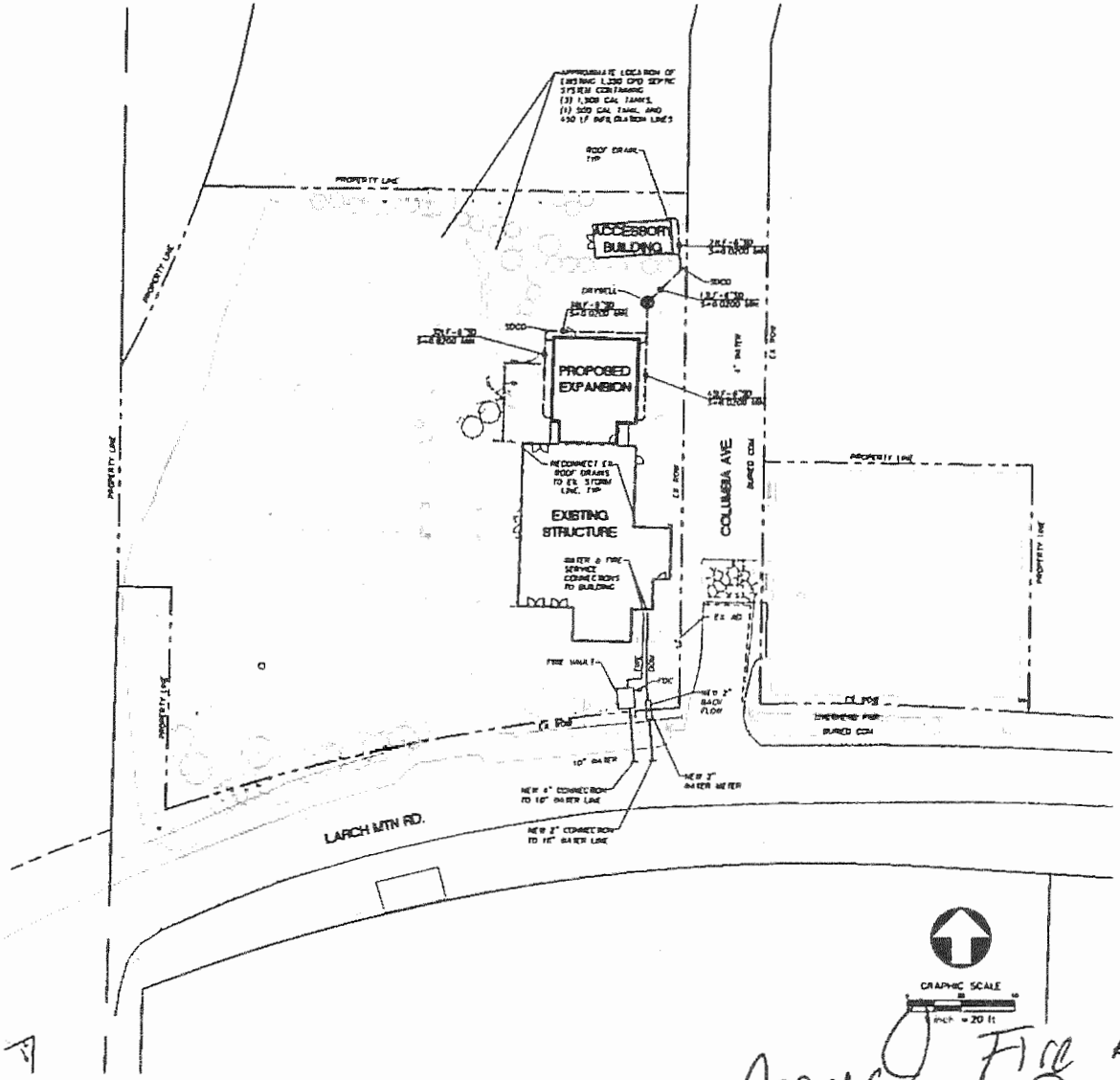
REVIEW SET

NOT FOR CONSTRUCTION

HSF, LLC
VIEW POINT INN & WELLNESS CENTER
45301 E Loch Mountain Rd.
Conifer, CO 80736

SITE PLAN

A0.1



UTILITY NOTES

1. ALL DOMESTIC WATER AND FIRE PROTECTION WORK IN THE PUBLIC RIGHT OF WAY BY CORBETT WATER DISTRICT AT OWNER'S EXPENSE. CONTRACTOR SHALL COORDINATE WITH CORBETT WATER DISTRICT MANAGER, JEFF BURTO (503)695-2294.
2. CONTRACTOR SHALL LOCATE EXISTING SEPTIC FACILITIES PRIOR TO CONSTRUCTION TO VERIFY LOCATION.
3. INSTALL FOUNDATION DRAIN AROUND PERIMETER OF ALL STRUCTURES.
4. CAP AND ABANDON EXISTING WATER SERVICE AT MAIN.

UTILITY LEGEND

- AREA DRAIN, CATCH BASIN, OVERFLOW DRAIN
- CLEANOUT
- FIRE DEPARTMENT CONNECTION
- FIRE HYDRANT
- WATER VAULT
- DRYWELL

LEGEND

EXISTING	PROPOSED	DESCRIPTION
		PROPERTY LINE
		SETBACK LINE
		EAVE OVERHANG
		SAWCUT LINE
		EDGE OF PAVEMENT
		CURB, WHEEL STOPS
		STORM PIPE
		CATCH BASIN
		DRYWELL
		FLOW LINE
		SANITARY LINE
		SANITARY CLEANOUT
		SANITARY DRAIN FIELD
		WATER LINE
		WATER METER VAULT
		WATER VALVE
		CONCRETE
		A.C. PAVEMENT
		GRAVEL
		STONE WALKWAY
		STONE WALL
		FENCE
		BIKE
		MAIL BOX
		DELIVERY
		BUILDING
		PAVEMENT
		CONCRETE
		WOOD BENCHES
		STONE WALL

Approved Fire Dist 14
1-23-18

Humphrey Design Group, Inc.

HSF, LLC
VIEW POINT INN & WELLNESS CENTER
40301 E Larch Mountain Rd.
Corbett, OR 97019

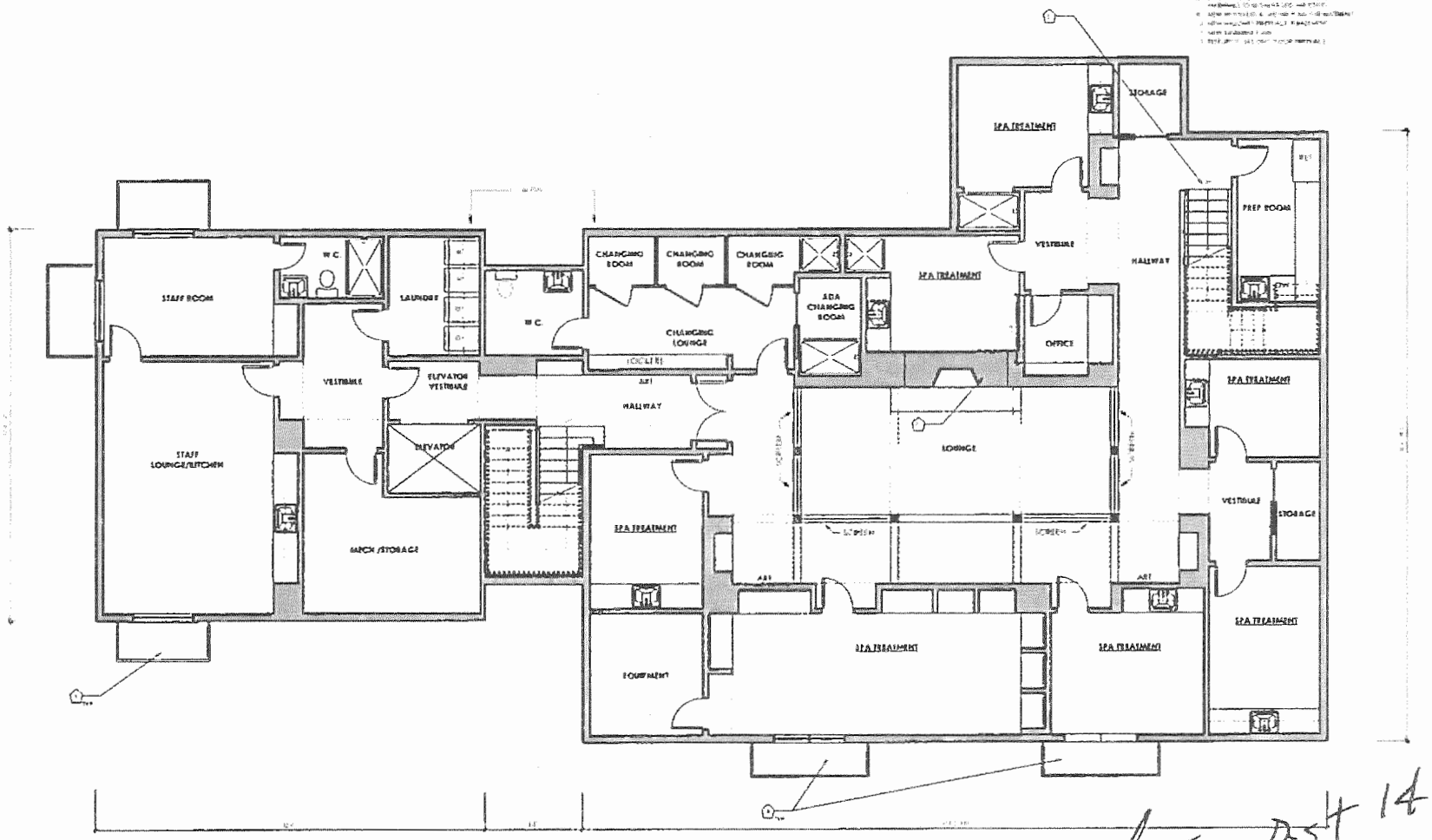
UTILITY PLAN

C2.0

PLAN LEGEND:

PROPOSED PLAN NOTES:

PROPOSED PLAN KEYNOTES:



1 Basement Plan

Approved Ex Dist 14 1-23-18

REVIEW SET

NOT FOR CONSTRUCTION

HSF, LLC
VIEW POINT INN & WELLNESS CENTER
40301 E Larch Mountain Rd
Corbett, OR 97019

FLOOR PLANS - PROPOSED

A2.1

PLAN LEGEND:

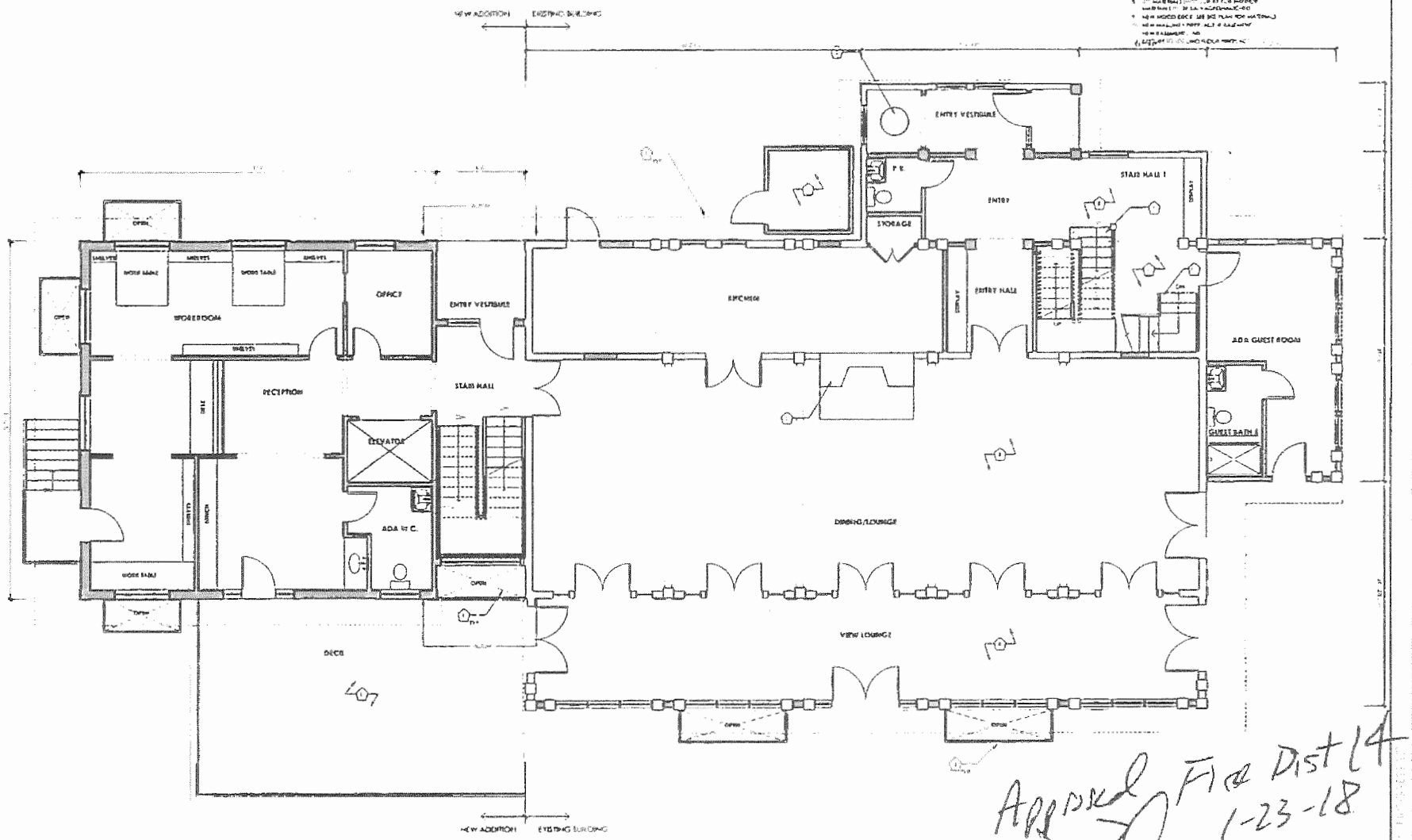
EXISTING WALL

NEW WALL

ITEM ABOVE

PROPOSED PLAN NOTES:

PROPOSED PLAN KEYNOTES:



1 1st Floor Plan

Approved Fire Dist 14 1-23-18

CONSULTANT

SPACE

REVIEW SET

NOT FOR CONSTRUCTION

HSF, LLC

VIEW POINT INN & WELLNESS CENTER

40301 E Larch Mountain Rd.
Corbett, OR 97019

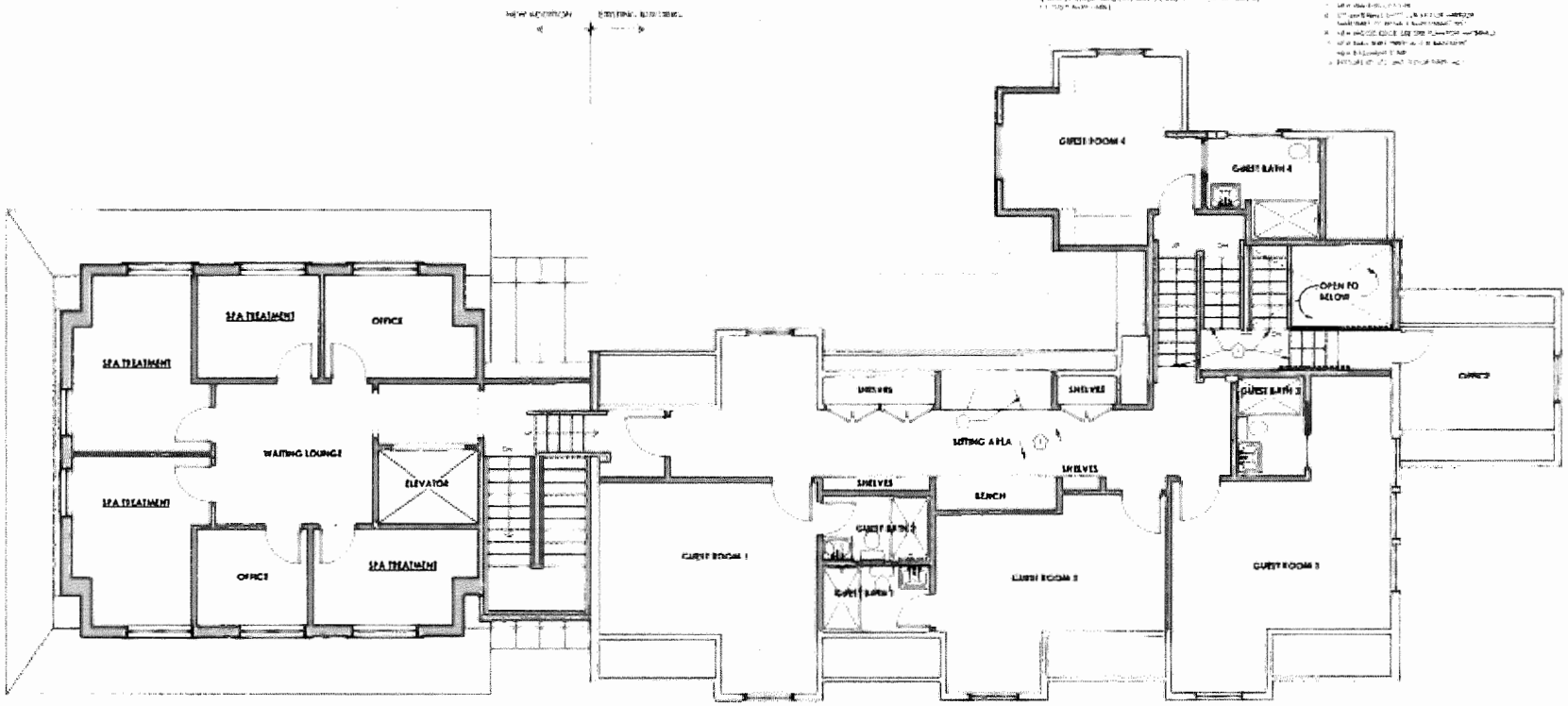
FLOOR PLANS - PROPOSED

A2.2

PLAN LEGEND:

PROPOSED PLAN NOTES:

PROPOSED PLAN KEYNOTES:



1 Second Floor Plan

Approved Fire Dist 14 1-23-18

REVIEW SET

NOT FOR CONSTRUCTION

HSF, LLC
VIEW POINT INN & WELLNESS CENTER
40301 E Larch Mountain Rd.
Corbett, OR 97019

FLOOR PLANS PROPOSED

A2.3

MULTNOMAH COUNTY
LAND USE & TRANSPORTATION PROGRAM
1600 S.E. 190TH AVENUE
PORTLAND OR 97233
503-988-3043 FAX 503-988-3389
www.co.multnomah.or.us/dbcs/LUT/land_use

CERTIFICATION OF WATER SERVICE

Take this form to the Water District that serves the property.

Address of Site 40301 E Larch Mtn Rd, Corbett, OR
Map & Tax Lot Number
1N 5E 30CC, #1500 & 1600

RECEIVED JAN 26 2018 BY

If Residential Use, Total Number of Units

Applicant's Name Jenai Fitzpatrick of Humber Design Group, Inc.
Mailing Address 117 SE Taylor Street, Suite 001 City Portland
State OR Zip Code 97214

-TO THE APPLICANT-

Approval of most land uses involving a new or expanded use or involving creation of a new parcel requires a determination that the water system is adequate.
If you propose to use a public water system, deliver this form to the appropriate water district prior to making any land use application. After the water district fills in the following section and returns it to you, include this form with your application.
If you will be using a private water system, complete the bottom section of this form.

-TO BE COMPLETED BY A DISTRICT OFFICAL AND RETURNED TO THE APPLICANT-

The District will provide service from a 10 inch line located south side of larch mt rd

The proposed use should be required to make the following water system improvements:
None There is an existing 1" service to the property

Name of District Corbett Water District Name of Official Jeff Busto Jeff Busto

Date 01/10/2018 Office held by Official District Manager

-TO BE COMPLETED BY THE APPLICANT IF A PRIVATE WATER SYSTEM WILL BE USED-

If you propose to use a private water system, a determination that the system is adequate must be made to satisfy Comprehensive Plan Policy 37. There are two different times that determination can be made:
(1) In the initial review of your proposal if the on-site well or other form of private system is existing at the time of the land use application, OR
(2) After the initial review but before issuance of a building permit when documentation is provided to the Planning Director that a water system is in place. At that time public notification will again be given which may result in a new public hearing.

Describe Water Source, Including Location

Describe Supply of Water Available (i.e., Gallons Per Minute)

Multnomah County

Land Use Planning Division
1600 SE 190th Ave, Ste 116
Portland OR 97233
Ph: 503-988-3043 Fax: 503-988-3389
multco.us/landuse

POLICE / SHERIFF SERVICES REVIEW

Take this form to the Police/Sheriff Services that serve the property.

Address of Site: 40301 E. Larch Mountain Road, Corbett, OR 97019

Tax Roll Description of Property: 1N-5E-30CC, Tax Lots 1600 & 1500 (R832300010 & R832301940)

Description of Proposed Use: Wellness retreat center with spa facilities and five guest rooms for overnight accommodations.

RECEIVED JAN 26 2018 BY:

If Residential Use, Total Number of Dwelling Units: _____

-TO THE APPLICANT-

Approval of most land uses involving a new or expanded use, or involving the creation of a new parcel requires verification from the local police / sheriff services provider that there will be adequate police protection. Complete the applicable sections of this form and take it to the police or sheriff department serving the property. Include the completed form with your application.

Applicant Name: Keith Daily Phone: 503-235-9400

Mailing Address: 321 SW Fourth Avenue, #200

City: Portland State: OR Zip Code: 97204

E:mail: keith@emerick-architects.com

- TO BE COMPLETED BY A LOCAL POLICE / SHERIFF OFFICIAL -

☒ The level of police/sheriff service available to serve the proposed project is ADEQUATE.

Comment (Optional): _____

☐ The level of police/sheriff service available to serve the proposed project is NOT ADEQUATE.

Please indicate why: _____

Date: 1/24/18

Multnomah County Sheriff
Name of Police/Sheriff Services Provider

Monte Reiser
Name of Official

Commander
Office Held by Official

RETURN THIS FORM TO THE APPLICANT

Multnomah County
Transportation Division
1600 SE 190th Ave
Portland OR 97233
Ph: 503-988-5050 Fax: 503-988-3389
multco.us/transportation-planning

TRANSPORTATION PLANNING REVIEW

TO THE APPLICANT

Multnomah County Road Rules govern the administration of roads under the jurisdiction of Multnomah County. These rules provide the link between the County Code provisions of MCC 29.500, *et seq.* and the Design and Construction Manual adopted under the provisions of these rules pursuant to MCC 29.571.

Submit this form to the County Transportation Planning Specialist along with a site plan of the development that also shows driveway information. After the Transportation Planning Specialist signs this form and attaches a draft memorandum and/or findings, include it with your application, along with the signed site plan.

RECEIVED JAN 26 2018

Address of Site: 40301 E Larch Mountain Road, Corbett, OR 97019 "R" #: R832300010 & R832301940

Description of Proposed Use: Spa retreat center with overnight accommodations

Pre-Filing No.: EP-2016-6073 Land Use Case No.: _____

Applicant Name: Keith Daily Phone: 503-235-9400

Address: 321 SW Fourth Avenue, #200 Email: keith@emerick-architects.com

City: Portland State: OR Zip Code: 97204

TRANSPORTATION REVIEW

The County Transportation Planning Specialist will initial the appropriate boxes below to confirm which of the standards of the County Road Rules have been met. This form is to stay with all building plans through the permit review process.

☐ Ok to issue permit. Staff Initials_____ Transportation Impact Fee: Paid ☐ Not Paid ☐

☐ Approved site plan is attached with signature.

☑ Not ok to issue permit. The following conditions need to be met: Land Use application must be submitted, requirements from EP memo must be addressed.

	YES	NO	N/A	Initials
1. **Access exists and is permitted. Access permit #:** _____	See	memo		JB
2. **All conditions of** _____ **(case #) have been met.**		X		JB
3. **The proposal involves a new or reconfigured access onto a road under County jurisdiction:**	X			JB
a) The new or reconfigured access meets the access spacing standards in the Design and Construction Manual.	may need			
b) The proposed driveway width conforms to the dimensions laid out in the Design and Construction Manual.	to be reviewed			
c) The minimum sight distance is equal to the standards in the Design and Construction Manual.	to Port of LV.			appr
4. **The proposal results in a transportation impact as defined by Section 5.300 of the Multnomah County Road Rules:**				
a) Right-of-way and/or easement dedications are necessary to bring the affected, existing, created or planned public streets and other facilities within and abutting the development to the current County standard.	X			JB
b) A pro-rata share of improvements along all of the site's road frontage(s) are required (e.g. street widening, utility cut restoration, curbs and sidewalks, etc.).		tbd		
c) Off-site improvements will be required.				
d) Deed restrictions and/or easements will be required.	X			
5. **A Transportation Impact Study is required:**				JB
a) The proposed scope of the study must be submitted.				
6. **A Variance to the Road Rules or Design and Construction Manual is required.**				
Variance has been submitted. File No:_____				

- trip generation info needed * see memo.

7. Stormwater must be reviewed.

8. See memo attached.

Department of Community Services
Transportation Division
http://multco.us/transportation-planning

Multnomah County

1620 SE 190th Avenue, Portland Oregon 97233-5910 • PH. (503) 988-5050 • Fax (503) 988-3321

TO: Rithy Khut, Planner, Multnomah County

CC: Joanna Valencia, Planning and Development Manager, Multnomah County
Jessica Berry, Senior Transportation Planner, Multnomah County

FROM: Eileen Cunningham, Transportation Planning Specialist, Multnomah County

DATE: November 3, 2016

SUBJECT: EP-2016-6073/PA-2016-6044, Heiner Fruehauf

The comments provided in this memorandum are based on the preliminary project description of the subject project provided in the notice of pre-application conference. While every effort has been made to identify all related standards and issues, additional issues may arise and other standards not listed may become applicable as more information becomes available.

The proposed project is located at 40301 East Larch Mountain Road which is situated on the northwest corner of East Larch Mountain Road and NE Columbia Avenue. The proposed site use includes the remodel of an existing retreat center (View Point Inn) in Columbia River Gorge National Scenic Area.

Transportation Impact
A transportation impact is defined in Multnomah County Road Rules 3.000 as any new construction or alteration which increases the number of trips generated by a site by more than 20 percent, by more than 100 trips per day or by more than 10 trips in the peak hour. A minimum increase of 10 new trips per day is required to find a transportation impact. Construction of a new single-family home on a vacant lot will generate 10 new trips (a single-family home generates 10 trips per day on average) and create a transportation impact.
Applicant will need to provide detailed information about trip generation rates including hours of operation, time of day, deliveries, customers, etc. This will need to be provided as part of the NSA permit application.

Right of Way (ROW) Dedication
East Larch Mountain Road is a Multnomah County Jurisdictional road with a Rural Collector functional class and NE Columbia Avenue is a Local Access road. The County's preferred cross section for a Rural Collector is attached to this memo. The preferred ROW width for a Rural Collector is 60 feet (30 feet from centerline); the existing ROW width is 60 feet. The preferred ROW width for a Local Access Road is 60 feet (30 feet from centerline). The current ROW width is 30 feet (15 feet from centerline). An approved variance from the standard ROW width is on file (2016-236535, case file T3-06-006). The County's preferred cross section for both facilities is attached to this memo.

Deed Restriction

The property owner will need record deed restrictions (provided by County Transportation) with County Records, committing the property owner to participate in future right-of-way improvements costs. This will need to be completed prior to as a condition of Land Use application approval.

A non-remonstrance agreement, or "deed restriction" will require that the property owner to participate in standard rural collector road improvements along the site's frontage that are not completed as a part of the site's required interim improvements.

Contact Pat Hinds at (503) 988-3712 to complete the ROW dedication and deed restriction requirement.

Access requirements

An access permit is on file (No. 65292), permitting the existing horseshoe type driveway configuration which provides access onto East Larch Mountain Road and NE Columbia Avenue. This permit also authorizes the two accesses to a gravel parking lot located on tax lot 1500, 1N5E30CC that will serve the parking needs for patrons and employees of the Viewpoint Inn, located on the east side of NE Columbia Avenue. Permitted access location are highlighted on the site plan attached to permit No. 65292.

In circumstances where there is a transportation impact and no existing driveway permit on file, the County will treat the driveway as a new access. MCRR 18.250 and 4.000 treat any access with a transportation impact as a new access. Prior to submitting the Land Use application, call or email the County's ROW office at 503-988-3582 or row.permits@multco.us and reference EP number EP-2016-6181 in your inquiry.

Storm Water

Any alteration of the storm water discharge onto the right-of-way requires a Discharge Permit. Any alteration of storm water drainage to the existing discharge needs to be reviewed by the County. Increased run-off to incorporated Multnomah County could negatively impact the roadway system. ROW staff will review site plans for any increases in runoff to County assets and may require additional information. The County currently accepts Portland Storm Water Manual methodology.