



M 522

DEPARTMENT OF COMMUNITY SERVICES
LAND USE PLANNING DIVISION
1600 SE 190TH AVENUE
PORTLAND OREGON 97233

RETURN SERVICE REQUESTED



NOTICE OF DECISION

Case File: T2-2020-13185 / EP-2020-13186

Permit: Significant Environmental Concern for Water Resources (SEC-wr),
Lot of Record Verification, and
Road Rules Variance

Applicants: Marn Heggen, Heggen Architecture

Owners: Marin and Daniyela Palamaryuk

Location: 29619 SE Stone Road, Gresham
Tax Lot 200, Section 19, Township 1 South, Range 4 East, W.M.
Tax Account #R994190890 Property ID #R342188

Base Zone: Multiple Use Agriculture (MUA-20)

Overlays: Significant Environmental Concern of Water Resources (SEC-wr)
Flood Hazard (FH)

Proposal Summary: The applicant requests a Lot of Record verification, a Significant Environmental Concern for Water Resources (SEC-wr) permit, and a Road Rules Variance to authorize the construction of a new single-family dwelling, the conversion of the existing single-family dwelling into an accessory building, a variance to allow for multiple driveway accesses on the subject property, and review of pervious development activities that were not reviewed by the County.

Decision: Approved with Conditions

This decision is final at the close of the appeal period, unless appealed. The deadline for filing an appeal is Tuesday, October 20, 2020 at 4:00 pm.

Issued by: 
Digitally signed by Rithy Khut
DN: cn=Rithy Khut, o=Multnomah
County, ou=Land Use Planning
Division,
email=rithy.khut@multco.us, c=US

By: Rithy Khut, Planner

For: Carol Johnson, AICP, Planning
Director

Date: Tuesday, October 6, 2020

Issued by: 

By: Graham Martin, Transportation
Planning Specialist

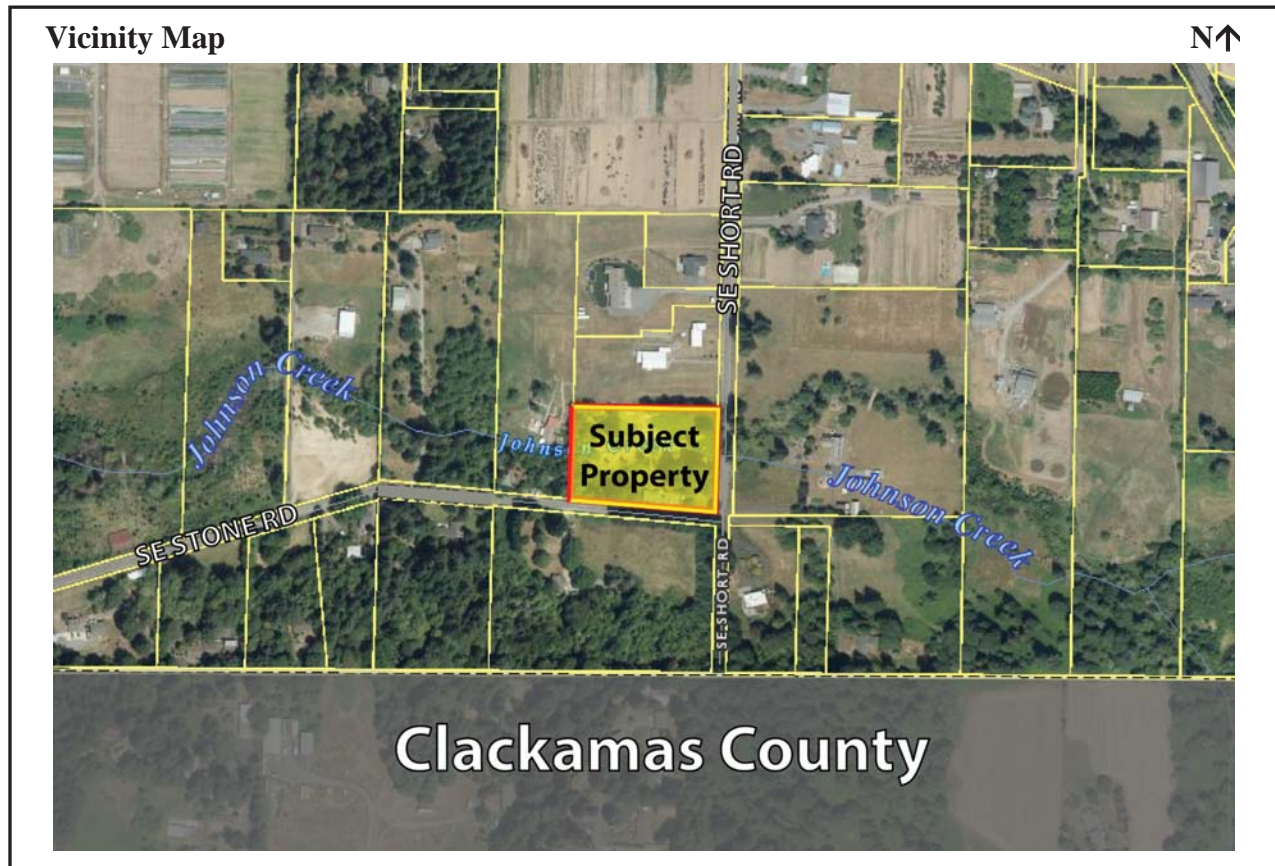
For: Ian Cannon, P.E., Transportation
Director / County Engineer

Date: Tuesday, October 6, 2020

Instrument Number for Recording Purposes: #2017-038053

Opportunity to Review the Record: The complete case file, including the Planning Director Decision containing Findings, Conclusions, Conditions of Approval, and all evidence associated with this application is available for review at the Land Use Planning office. Copies of all documents are available at the rate of \$0.30/per page. For further information, contact Rithy Khut, Staff Planner at 503-988-0176 or at rithy.khut@multco.us

Opportunity to Appeal: An appeal requires a \$250.00 fee and must state the specific legal grounds on which it is based. To obtain appeal forms or information on the procedure, contact the Land Use Planning office at 1600 SE 190th Avenue (Phone: 503-988-3043). This decision is not appealable to the Land Use Board of Appeals until all local appeals are exhausted.



Applicable Approval Criteria:

For this application to be approved, the proposal will need to meet applicable approval criteria below:

Multnomah County Code (MCC): Violations, Enforcement and Fines: MCC 39.1515 Code Compliance and Applications

Lot of Record: MCC 39.3005 Lot of Record – Generally, MCC 39.3080 Lot of Record – Multiple Use Agriculture-20 (MUA-20)

Multiple Use Agriculture (MUA-20): MCC 39.4310(A) and (F) Allowed Uses, MCC 39.4325 Dimensional Requirements and Development Standards

Significant Environmental Concern (SEC): MCC 39.5510 Uses; SEC Permit Required, MCC 39.5560 General Requirements for Approval in the West of Sandy River Planning Area Designated as SEC-wr or SEC-h, MCC 39.5580 Nuisance Plant List, Criteria for Approval of SEC-wr Permit – Water Resource

Exterior Lighting: MCC 39.6850 Dark Sky Lighting Standards

Accessory Structures – Condition of Approval: MCC 39.8860 Condition of Approval

Copies of the referenced Multnomah County Code sections can be obtained by contacting our office or by visiting our website at <http://multco.us/landuse/zoning-codes/> under the link **Chapter 39 – Zoning Code**.

Multnomah County Road Rules (MCRR): MCRR 4.000 Access to County Roads: MCRR 4.100 Application for New or Reconfigured Access, MCRR 4.200 Number of Accesses Allowed, MCRR 4.300 Location, MCRR 4.400 Width, MCRR 4.500 Sight Distance,

MCRR 5.000 Transportation Impact: MCRR 5.100 through MCRR 5.300

MCRR 6.000 Improvement Requirements: MCRR 6.100 Site Development

MCRR 11.000 Local Access Roads: MCRR 11.100 Improvement Requirements

MCRR 16.000 Variance from County Standards and Requirements: MCRR 16.200 General Variance Criteria, MCRR 16.225 Access Variance Standards, MCRR 16.250 Local Access Roads Variance Standards

MCRR 18.000 Right-of-Way Use Permits: MCRR 18.250 Access/Encroachment Permit

Copies of the referenced Multnomah County Road Rules sections can be obtained by contacting our office or by visiting our website at <https://multco.us/transportation-planning/plans-and-documents/> under the link **Multnomah County Road Rules**.

Conditions of Approval

The conditions listed are necessary to ensure that approval criteria for this land use permit are satisfied. Where a condition relates to a specific approval criterion, the code citation for that criterion follows in parenthesis. Approval of this land use permit is based on the submitted written narrative(s) and plan(s). No work shall occur under this permit other than that which is specified within these documents. It shall be the responsibility of the property owner(s) to comply with these documents and the limitations of approval described herein.

1. Permit Expiration – This land use permit shall expire as follows:
 - a. Within two (2) years of the date of the final decision when construction has not commenced. [MCC 39.1185(B)]
 - i. For the purposes of 1.a, commencement of construction shall mean actual construction of the foundation or frame of the approved structure.

- ii. For purposes of Condition 1.a, notification of commencement of construction will be given to Multnomah County Land Use Planning Division a minimum of seven (7) days prior to date of commencement. Work may commence once notice is completed. Commencement of construction shall mean actual construction of the foundation or frame of the approved structure.
- b. Within four (4) years of the date of commencement of construction when the structure has not been completed. [MCC 39.1185(B)]
 - i. For the purposes of 1.b., completion of the structure shall mean completion of the exterior surface(s) of the structure and compliance with all conditions of approval in the land use approval.

Note: The property owner may request to extend the timeframe within which this permit is valid, as provided under MCC 39.1195, as applicable. The request for a permit extension must be submitted prior to the expiration of the approval period.

2. Prior to land use sign-off for building plan check, the property owners or their representative(s) shall:
 - a. Record pages 1 through 9, Exhibit A.3 (A2.1, A2.2, A3.1, and A3.2) of this Notice of Decision and the following revised exhibits as required by Condition of Approval 2.g (Exhibit A.5, Exhibit A.17 – A1.1, and the Exhibit A.19 – L101) with the Division of Assessment, Recording, and Taxation (“County Recorder”). The Exhibits shall be reduced to a size of 8.5” by 11” (“Letter” size) for recording. The Notice of Decision shall run with the land. Proof of recording shall be made prior to the issuance of any permits and shall be filed with the Land Use Planning Division. Recording shall be at the applicant’s expense. [MCC 39.1175 and MCC 39.5800(F)(2)(g)]
 - b. Record a covenant with the Division of Assessment, Recording, and Taxation (“County Recorder”) that states the property owner recognizes and accepts that farm activities including tilling, spraying, harvesting, and farm management activities during irregular times occur on adjacent property and in the general area. [MCC 39.4325(H)]
 - c. Record a covenant with Division of Assessment, Recording, and Taxation (“County Records”) that states that the owner understands and agrees that accessory structure cannot be occupied as a dwelling or for any other form of permanent or temporary residential use. [MCC 39.4310(F)(5) and MCC 39.8860]
 - d. Obtain an Type 1 Erosion and Sediment Control Permit [MCC 39.1515 and MCC 39.5800(E)(6)]
 - e. Obtain a Type 1 Flood Development permit [MCC 39.1515]
 - f. Apply for driveway permits for the proposed access/driveway onto SE Short Rd and the existing driveway onto SE Stone Rd. As part of the driveway permit applications, the applicant shall provide:
 - i. A site plan showing both driveways, location of gates, roadway, and parcel lines, and provide annotation of the plans with the width of the driveways and accesses. [MCRR 18.250]
 - g. Submit an updated Site Plan, Mitigation Plan (“Landscaping Plan”), and Natural Resource Assessment Report and Mitigation Plan (“Report”):

- i. The Site Plan and Landscape Plan shall show:
 1. The removal of the landscaped bark chip paths and the picnic/fire pit area that encroaches within 100 feet of the Water Resource area. [MCC 39.5800(C)(2), MCC 39.5800(C)(3), and MCC 39.5800(E)(1)]
 2. The relocation of the proposed chicken coop to the lawn area adjacent to the single-family dwelling. [MCC 39.5800(C)(2) and MCC 39.5800(C)(3)]
 3. The removal of the fence labeled as #21 up to the parking area. The portion of the fence that borders the parking area may remain. [MCC 39.1515, MCC 39.4310(F)(2) , and MCC 39.4310(F)(3)]
 4. The removal of the bridge across Johnson Creek labeled as #25. [MCC 39.1515, MCC 39.4310(F)(2), and MCC 39.4310(F)(3)]
 - ii. The Natural Resource Assessment Report and Mitigation Plan (“Report”) shall be revised to account for the additional mitigation that is required. The plant list within the Report shall reflect 32,391 square feet of plantings. [MCC 39.5800(C)(5), MCC 39.5800(E)(2), MCC 39.5800(E)(4), MCC 39.5800(F)(2)]
 - iii. The Landscape Plan shall be updated to describe species and type of trees, shrubs, forbs, and seeds to be planted in the various planting areas. The plant list shall reflect the plantings required in the Report. The Landscape Plan shall be reviewed by Julie Harper, M.S., Fish and Wildlife Biologist, Blue Leaf Environmental or someone of similar educational and vocational training to ensure that the Landscape Plan matches the requirements of the revised Report in Condition of Approval 2.g.ii. [MCC 39.5800(C)(5), MCC 39.5800(E)(2), MCC 39.5800(E)(4), MCC 39.5800(F)(2)]
3. At the time of land use sign-off for building plan check, the property owner or their representative shall:
- a. Provide a post-mitigation report. The report shall be prepared and signed by Julie Harper, M.S., Fish and Wildlife Biologist, Blue Leaf Environmental or someone of similar educational and vocational training. The report shall be provided to Multnomah County Land Use Planning within 90 days of completion of the restoration work as outlined in updated Report required under Condition of Approval 2.g.ii. The post-construction report shall confirm the Natural Resource Assessment Report and Mitigation Plan has been completed in compliance with approved designs. Any variation from approved designs or conditions of approval shall be clearly indicated. The post-construction report shall include:
 - i. Dated pre- and post-construction photos taken of the Mitigation Planting Area. The photos should clearly show the site conditions before and after construction.
 - ii. A narrative that describes any deviation from the approved plans. [MCC 39.5800(C)(4), MCC 39.5800(C)(5), MCC 39.5800(E)(2), MCC 39.5800(E)(3), MCC 39.5800(F)(2)(f)]
 - b. Contact Multnomah County Land Use Planning Division - Code Compliance Program and/or Rithy Khut, Land Use Planner to schedule a site inspection. At the time of scheduling, photos shall be provided to the County confirming that the following items on Exhibit A.17 – A1.1 have been removed or altered:

- i. The bridge across Johnson Creek labeled as #25 has been removed from the subject property. [MCC 39.1515, MCC 39.4310(F)(2), and MCC 39.4310(F)(3)]
 - ii. The chicken coop labeled as #22 has been removed from the subject property. [MCC 39.1515, MCC 39.4310(F)(2), and MCC 39.4310(F)(3)]
 - iii. The existing single-family dwelling labeled as #17 has had the following items removed from the building: Cooking facilities, a toilet or toilets, bathing facilities such as a shower or bathing tub, a closet or closets built into a wall. One sink may be allowed to remain [MCC 39.1515, MCC 39.4310(F)(2)]
 - iv. The fence labeled as #21 up to the parking area has been removed from the subject property. The portion of the fence that borders the parking area may remain. [MCC 39.1515, MCC 39.4310(F)(2) , and MCC 39.4310(F)(3)]
- c. Provide building plans showing the floor plan of the accessory structures (existing single-family dwelling and garage labeled as #17 and chicken coop labeled as #32 on Exhibit A.17 – A1.1). [MCC 39.4310(F)(2)]
 - i. For the purposes of Condition 3.c, the plans for existing single-family dwelling labeled as #17 on Exhibit A.17 – A1.1 will show that the accessory building does not contain: (a) More than one story; (b) Cooking Facilities; (c) A toilet or toilets; (d) Bathing facilities such as a shower or bathing tub; or (f) A closet or closets built into a wall. One sink may be shown. [MCC 39.4310(F)(3) and (4)]
- d. Submit a building plan including cut sheets and specifications showing all exterior lighting on the subject property. The exterior lighting shall be placed in a location so that it does not shine directly into undeveloped water resource or habitat areas. No outdoor lighting fixtures shall be permitted within 100 feet of Johnson Creek. All exterior lighting shall be a fixture type that is fully shielded with opaque materials and directed downwards.
 - i. “Fully shielded” means no light is emitted above the horizontal plane located at the lowest point of the fixture’s shielding.
 - ii. Shielding must be permanently attached.
 - iii. The exterior lighting shall be contained within the boundaries of the subject property on which it is located. [MCC 39.4325(J), MCC 39.5560(B), and MCC 39.6850]
- 4. Prior to and during construction, the property owner or their representative(s) shall ensure that:
 - a. Areas of erosion or potential erosion shall be protected from loss by appropriate means. Appropriate means shall be based on current Best Management Practices. [MCC 39.5560(A)]
 - b. The revised Natural Resources Assessment Report and Mitigation Plan (“Report”) prepared by an Julie Harper, M.S., Fish and Wildlife Biologist, Blue Leaf Environmental and revised Mitigation Plan (“Landscape Plan”) created by Studio Wild is implemented. The revised report outlines the minimum restoration requirements and schedule, which must be met. [MCC 39.5800(C)(4), MCC 39.5800(C)(5), MCC 39.5800(E)(2), MCC 39.5800(E)(3), MCC 39.5800(F)(2)(f)]
 - c. The Water Resource Area shall be flagged, fenced or otherwise marked and shall remain undisturbed except as otherwise allowed by the Report and Landscape Plan.

Such markings shall be maintained until construction is complete. [MCC 39.5800(E)(7)]

- d. Existing vegetation shall be protected and left in place. Trees in the Water Resource Area shall not be used as anchors for stabilizing construction equipment. [MCC 39.5800(E)(5)]
- e. The Douglas Fir to the south of the Short Rd driveway access will be removed as per the applicant's submission. [MCRR 4.500]
- f. The access on SE Stone Road is reduce the width of 20 feet, in accordance with Exhibit A.17 – A1.1, to meet County standards. [MCRR 4.400]
- g. The access onto SE Short Rd will be reconfigured to 22.4 feet, in accordance with Exhibit A.17 – A1.1, to meet County standards. [MCRR 4.400]

5. As an on-going condition, the property owner shall:

- a. Ensure that the accessory structures (existing single-family dwelling and garage labeled as #17 and chicken coop labeled as #32 on Exhibit A.17 – A1.1) shall not be used, whether temporarily or permanently, as a primary dwelling, accessory dwelling unit, apartment, guesthouse, housing rental unit, sleeping quarters or any other residential use. [MCC 39.4310(F)(2)]
- b. Ensure that the within the existing single-family dwelling labeled as #17 on Exhibit A.17 – A1.1, a mattress, bed, Murphy bed, cot, or any other similar item designed to aid in sleep as a primary purpose is disassembled for storage. [MCC 39.4310(F)(4)]
- c. Ensure that outdoor lighting shall be of a fixture type and shall be placed in a location so that it does not shine directly into undeveloped water resource or habitat areas. No outdoor lighting fixtures shall be permitted within 100 feet of Johnson Creek. All exterior lighting shall be a fixture type that is fully shielded with opaque materials and directed downwards. [MCC 39.5560(B)]
- d. Ensure that no structures, temporary or permanent, are located in the 100-year floodplain on the north side of Johnson Creek. [MCC 39.5800(E)]
- e. Ensure that nuisance plants in MCC 39.5580 Table 1 below, in addition to the nuisance plants defined in MCC 39.2000, shall not be used as landscape plantings on the subject property. [MCC 39.5560(C), MCC 39.5580]

Table 1 - Nuisance Plant List:

Common Name	<i>Scientific Name</i>
Lesser celandine	<i>Chelidonium majus</i>
Canada Thistle	<i>Cirsium arvense</i>
Common Thistle	<i>Cirsium vulgare</i>
Western Clematis	<i>Clematis ligusticifolia</i>
Traveler' s Joy	<i>Clematis vitalba</i>
Poison hemlock	<i>Conium maculatum</i>
Field Morning-glory	<i>Convolvulus arvensis</i>
Night-blooming Morning-glory	<i>Convolvulus nyctagineus</i>
Lady's nightcap	<i>Convolvulus sepium</i>
Pampas grass	<i>Cortaderia selloana</i>

Common Name	Scientific Name
Hawthorn, except native species	<i>Crataegus sp. except C. douglasii</i>
Scotch broom	<i>Cytisus scoparius</i>
Queen Anne's Lace	<i>Daucus carota</i>
South American Waterweed	<i>Elodea densa</i>
Common Horsetail	<i>Equisetum arvense</i>
Giant Horsetail	<i>Equisetum telmateia</i>
Cranesbill	<i>Erodium cicutarium</i>
Roberts Geranium, Herb Robert	<i>Geranium robertianum</i>
English Ivy	<i>Hedera helix</i>
St. John's Wort	<i>Hypericum perforatum</i>
English Holly	<i>Ilex aquafolium</i>
Golden Chain Tree	<i>Laburnum watereri</i>
Duckweed, Water Lentil	<i>Lemna minor</i>
Fall Dandelion	<i>Leontodon autumnalis</i>
Purple Loosestrife	<i>Lythrum salicaria</i>
Eurasian Watermilfoil	<i>Myriophyllum spicatum</i>
Reed Canary grass	<i>Phalaris arundinacea</i>
Annual Bluegrass	<i>Poa annua</i>
Swamp Smartweed	<i>Polygonum coccineum</i>
Climbing Bindweed, Wild buckwheat	<i>Polygonum convolvulus</i>
Giant Knotweed	<i>Polygonum sachalinense</i>
English, Portuguese Laurel	<i>Prunus laurocerasus</i>
Poison Oak	<i>Rhus diversiloba</i>
Himalayan Blackberry	<i>Rubus discolor</i>
Evergreen Blackberry	<i>Rubus laciniatus</i>
Tansy Ragwort	<i>Senecio jacobaea</i>
Blue Bindweed	<i>Solanum dulcamara</i>
Garden Nightshade	<i>Solanum nigrum</i>
Hairy Nightshade	<i>Solanum sarrachoides</i>
Common Dandelion	<i>Taraxacum officinale</i>
Common Bladderwort	<i>Utricularia vulgaris</i>
Stinging Nettle	<i>Urtica dioica</i>
Periwinkle (large leaf)	<i>Vinca major</i>
Periwinkle (small leaf)	<i>Vinca minor</i>
Spiny Cocklebur	<i>Xanthium spinosum</i>
Bamboo sp.	<i>various genera</i>

- f. Maintain the vegetation to minimize impact on sight distance for the proposed driveway on SE Short Rd. [MRCC 16.225]
- g. Ensure that the SE Stone Rd access/driveway is only to be used on an as-needed basis and will remain gated when not in use. [MCRR 4.500]

Note: Once this decision is final, application for building permits may be made with the City of Gresham. When ready to have building permits signed off by land use planning, the applicant shall complete the following steps:

1. Read your land use decision, the conditions of approval and modify your plans, if necessary, to meet any condition that states, “Prior to land use sign-off for building plan check...” Be ready to demonstrate compliance with the conditions.
2. Contact Right-of-Way Permits at row.permits@multco.us to review your plans, obtain your access permit, and satisfy any other requirements. You may schedule an appointment at <https://multco.us/transportation-planning/webform/right-way-appointment-request/> or leave a message at 503-988-3582. Failure to make an appointment with County Right-of-Way will result in delaying your building plan review and obtaining building permits.
3. Contact the City of Portland, Bureau of Development Services, On-site Sanitation at 503-823-6892 or e-mail septic@portlandoregon.gov for information on how to complete the Septic Evaluation or Permit process for the proposed development. All existing and/or proposed septic system components (including septic tank and drainfield) must be accurately shown on the site plan.
4. Contact Rithy Khut, Planner, at 503-988-0176 or rithy.khut@multco.us, **for an appointment** for review of the conditions of approval and to sign the building permit plans. Please ensure that any items required under, “At the time of land use sign-off for building plan check...” are ready for land use planning review. Land Use Planning must sign off on the plans and authorize the building permit before you can go to the Building Department.

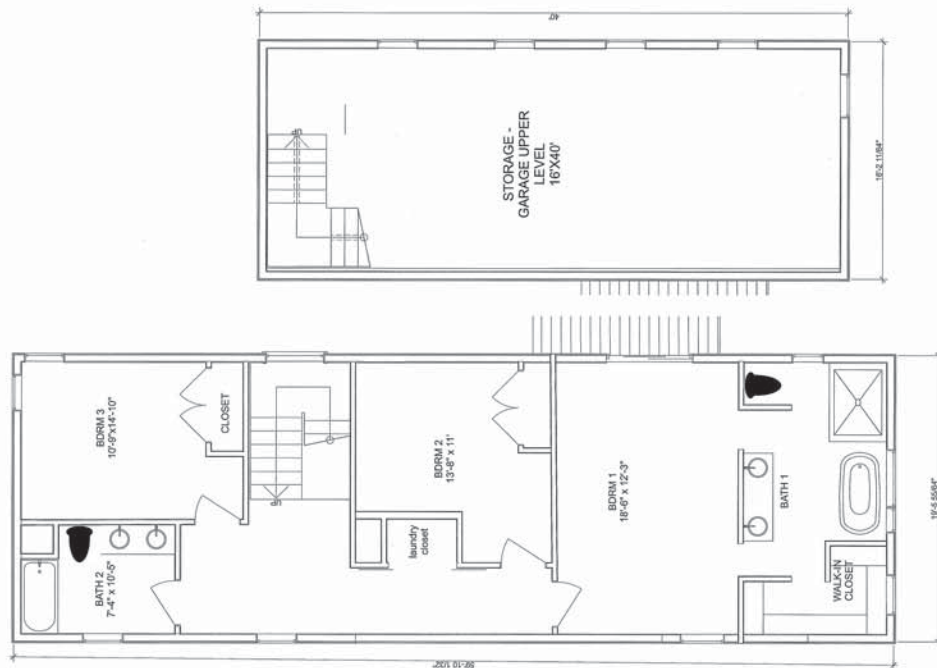
The above must be completed before the applicant can obtain building permits from the City of Gresham. Three (3) sets each of the site plan and building plans are needed for building permit sign off. At the time of building permit review, Land Use Planning may collect additional fees, including an erosion control inspection fee, if applicable.

Notice to Mortgagee, Lien Holder, Vendor, or Seller:

ORS Chapter 215 requires that if you receive this notice it must be promptly forwarded to the purchaser.

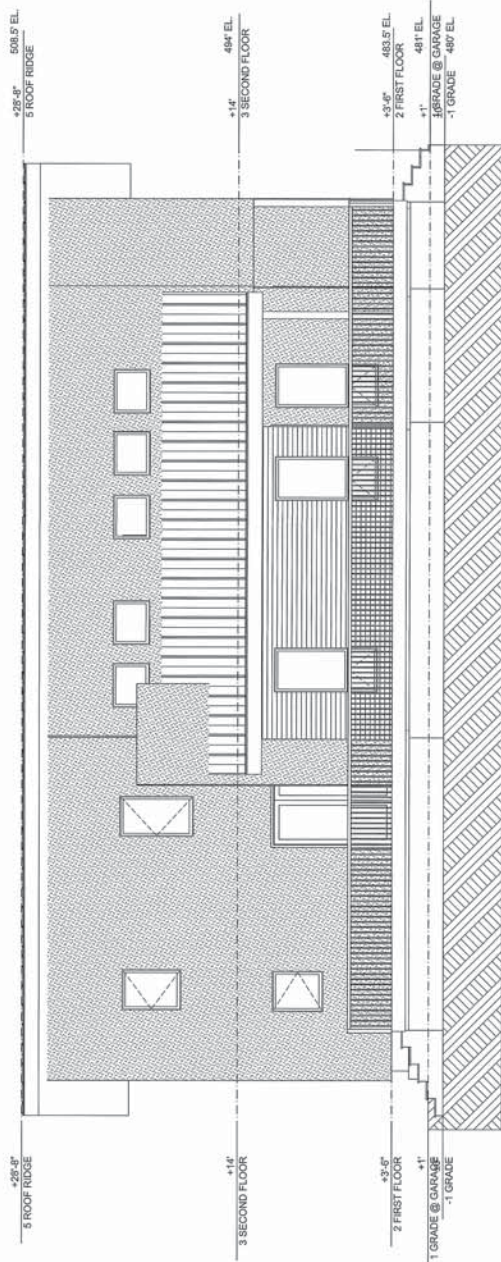


1 PLAN - FIRST FLOOR
SCALE: 1/4" = 1'-0"

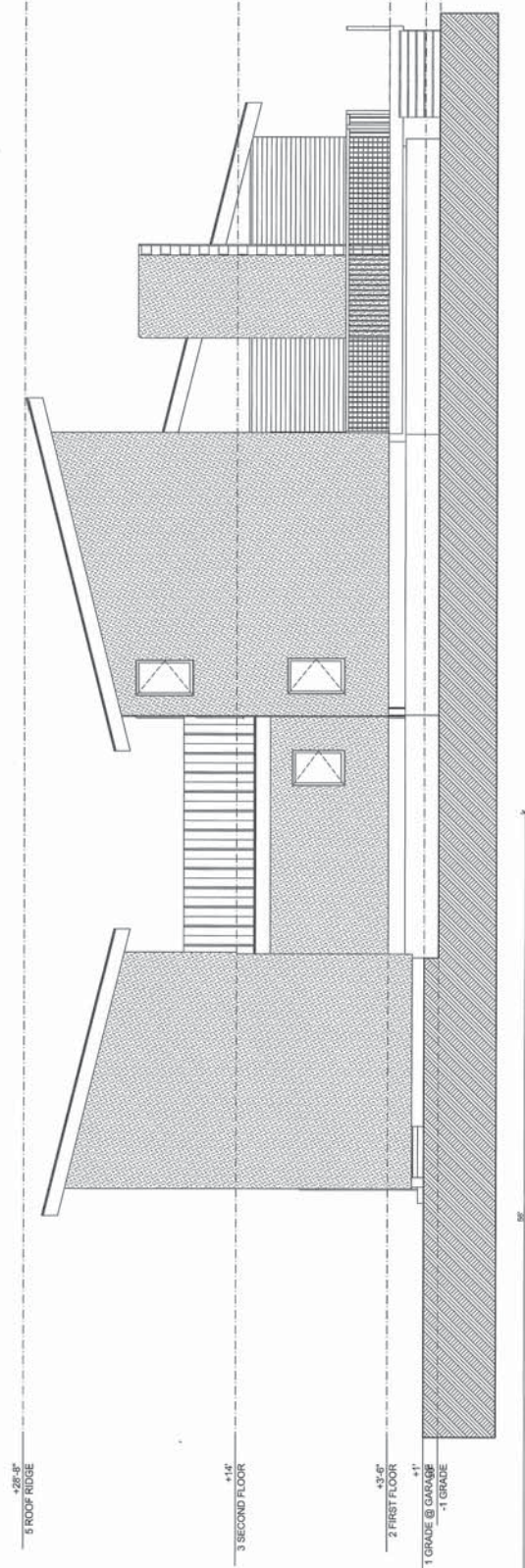


1 ROOF
SCALE 1/4" = 1'-0"

2 PLAN - SECOND FLOOR & GARAGE LOFT STORAGE
SCALE 1/8" = 1'-0"



1 WEST ELEVATION



2 NORTH ELEVATION



LAND USE REVIEW
NOT FOR
CONSTRUCTION

MH
Mark H. Hession
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PALAMARYUK
29019 SE STONE RD
GRESHAM, OR 97080

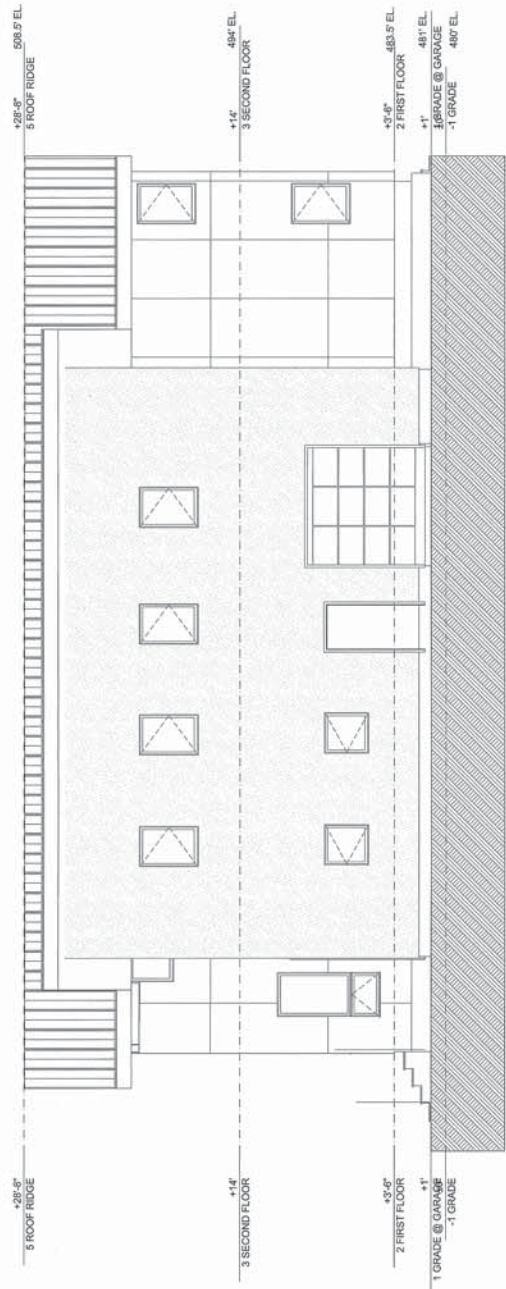
ISSUES	
NO.	DESCRIPTION
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2	ISSUE 2
3	ISSUE 3
4	ISSUE 4
5	ISSUE 5
6	ISSUE 6
7	ISSUE 7
8	ISSUE 8
9	ISSUE 9
10	ISSUE 10
11	ISSUE 11
12	ISSUE 12
13	ISSUE 13
14	ISSUE 14
15	ISSUE 15
16	ISSUE 16
17	ISSUE 17
18	ISSUE 18
19	ISSUE 19
20	ISSUE 20

**LAND USE
REVIEW**

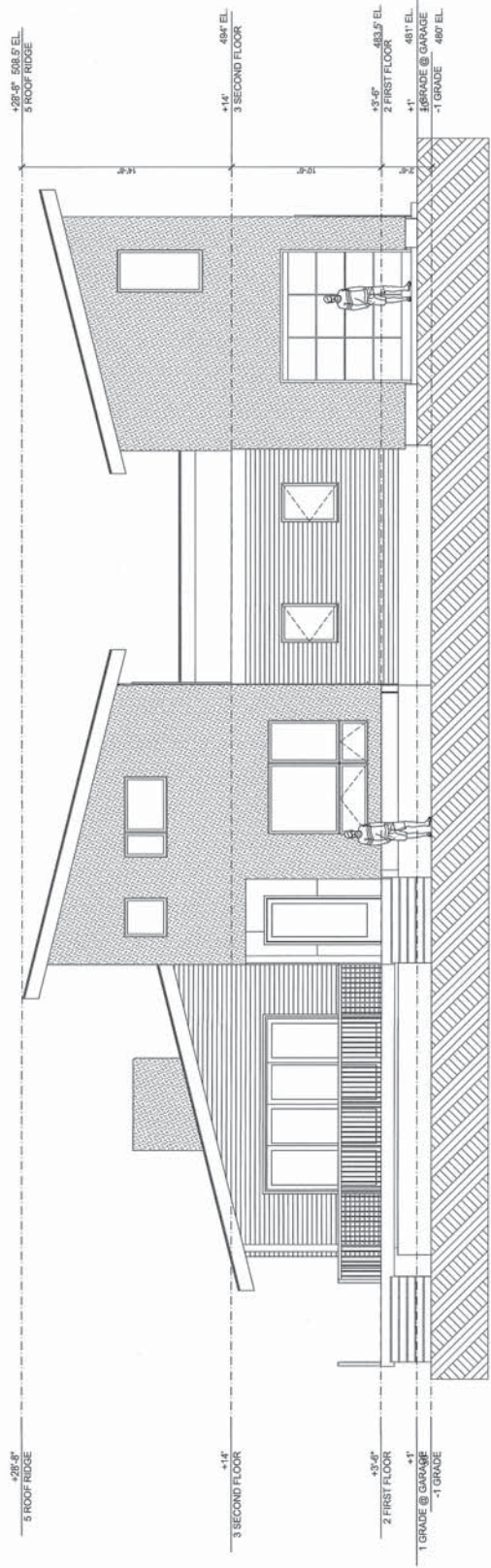
SHEET TITLE
ELEVATIONS
(CONT)

PRINTED: 09/01/19
ISSUED: "ISSUE 04/19"
DRAWN: MARK H. HESSON
CHECKED: MHH
JOB: PALAMARYUK
PROJECT: 1903010000
DATE: 09/01/19
FILE: 2019-04-19_Palmaryuk.dwg

A3.2



1 EAST ELEVATION
SCALE: 1/4" = 1'-0"



2 SOUTH ELEVATION
SCALE: 1/4" = 1'-0"

MAPTAX LOT	INFO1	NAME	ADDRESS/IO ADDRESS	CITYSTATEZIP/ADDRESSEE
R994191610		AARNIO JANET S	8422 SE SHORT RD	GRESHAM OR 97080
R994191660		AARNIO JANET S	8422 SE SHORT RD	GRESHAM OR 97080
R994191410		ALLEN MECHELLE N AND MOYER JOANNA M	29243 SE STONE RD	GRESHAM OR 97080
R994190910		BROWN CATHERIN T TR AND BROWN DENNIS L TR	PO BOX 1090	BORING OR 97009
R994191630		CHILDRESS ANTHONY R AND CHILDRESS KATHLEEN S	29399 SE STONE RD	GRESHAM OR 97080
R994191720		DAVID A SWITZER REV LIV TR	7840 SE SHORT RD	GRESHAM OR 97080
R994191100		DEVENEY CLIFFORD W TR AND DEVENEY KAREN E S TR	6732 SE 29TH AVE	PORTLAND OR 97202
R542650040		FISHER BRADLEY P	29262 SE STONE RD	GRESHAM OR 97080
R994191940		HOLMLUND HEIDI L	8024 SE SHORT RD	GRESHAM OR 97080
R197100350		INGRAM DENNIS M AND INGRAM CHERYL J	29334 SE ORIENT DR	GRESHAM OR 97080
R994191010		LAURIA MICHAEL AND GRAVES ANNE	29425 SE STONE RD	GRESHAM OR 97080
R649610130		LESPERANCE RONALD D	8115 SE SHORT RD	GRESHAM OR 97080
R649610140		LESPERANCE RONALD D	8115 SE SHORT RD	GRESHAM OR 97080
R649610150		LESPERANCE RONALD D	8105 SE SHORT RD	GRESHAM OR 97080
R542650080		NORMAND DALE R AND NORMAND BECKY L	PO BOX 1297	BORING OR 97009
R994191210		NYHOF GORDON L TR	8380 SE SHORT RD	GRESHAM OR 97080
R994190890		PALAMARYUK MARIN AND PALAMARYUK DANIELA	29619 SE STONE RD	GRESHAM OR 97080
R994190170		WAGGONER RONALD T AND WAGGONER LINDA L	29408 SE STONE RD	GRESHAM OR 97080
R994190180		WEBBER ANDREW C AND FUGERE DIONE	31109 SE DIVISION DR	TROUTDALE OR 97060
R994191790		YASUI RYAN	8201 SE TETON DR	GRESHAM OR 97080
R994191930		YOSHINAGA DERRICK H AND YOSHINAGA ALISON A	8406 SE SHORT RD	GRESHAM OR 97080
14E30 00200		DOBBINS JERRY D	19000 NE 42ND AVE	RIDGEFIELD WA 98642
14E30 00300		DOBBINS JERRY D	19000 NE 42ND AVE	RIDGEFIELD WA 98642
14E30AB01300		LEACH JOHN C AND JENNIFER J	8520 SE HITE CT	BORING OR 97009
14E30AB01400		HILL DAVID S AND JUDITH R	8560 SE HITE CT	BORING OR 97009
14E30AB01500		COLLINS VICTOR E AND ANNETTE L	8610 SE HITE CT	BORING OR 97009
14E30AB01800		COWAN GREGORY J	8635 SE HITE CT	BORING OR 97009
14E30AB01900		CLARK ELLA RUTH AND STEPHEN JOHN	8645 SE HITE CT	BORING OR 97009
14E30AB02000		BAKER CHRISTIAN E	8565 SE HITE CT	BORING OR 97009
14E30AB02100		BAKER CHRISTIAN E	8565 SE HITE CT	BORING OR 97009
14E30AB02101		COWAN GREGORY JAMES	PO BOX 1410	BORING OR 97009
	LAND USE CONTACT	JOHNSON CREEK WATERSHED COUNCIL	4033 SE WOODSTOCK BLVD	PORTLAND OR 97202
	ANDREW BROWN	EMSWCD	5211 N WILLIAMS AVE	PORTLAND OR 97217