

1600 SE 190th Avenue, Portland OR 97233-5910 • PH. (503) 988-3043 • Fax (503) 988-3389

NOTICE OF APPEAL

EVERY NOTICE OF APPEAL SHALL INCLUDE:

1. The county's case file number and date the decision to be appealed was rendered.
2. The name, mailing address, and daytime telephone number for each appellant.
3. A statement of how each appellant has an interest in the matter and standing to appeal.
4. A statement describing the specific reason for the appeal which includes the criteria or standard the appeal is addressing.
5. The appropriate appeal fee.

It is the responsibility of the Appellant to complete a Notice of Appeal as set forth in the Multnomah County Code. Failure to complete all of the above may render an appeal invalid. Any additional comments should be included on this form.

APPELLANT INFORMATION (Person or group making appeal)

1. Appellant:

If several individuals are appealing together, list the additional names and addresses on a separate sheet and identify a representative in #2 below. If an organization is appealing, indicate group's name and mailing address here and identify a representative in #2 below.

Name: Palamaryk, Marin/Daniyel, _____
Last First Middle

Address: 29619 SE Stone Rd, Gresham, OR, 97080
Street or P.O. Box City State Zip Code

Telephone: (503) 206 - 1547 (Day) or (_____) _____ - _____

Fax: _____ Email Address: dandmtilepdx@gmail.com

2. Authorized Representative:

Name of representative if different from the appellant indicated above. Groups and organizations must designate one person as their representative/contact person.

Name: _____, _____, _____
Last First Middle

Address: _____, _____, _____, _____
Street or P.O. Box City State Zip Code

Telephone: (_____) _____ - _____ (Day) or (_____) _____ - _____

Fax: _____ Email Address: _____

(over)

EXHIBIT

H.2

DECISION BEING APPEALED

CASE INFORMATION

Decision being appealed (e.g., denial of a NSA Site Review, approval of a SEC permit, etc.):
Conditions of approval SEC-wr permit

Case Number: T2-2020-13185 Date of Issuance of Decision: OCT. 6, 2020

APPEAL INFORMATION

Answer each question as completely and specifically as you can. (Attach separate sheets if needed)

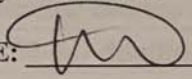
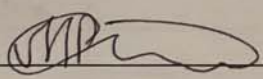
1. What is your interest in this decision? (State your interest in the matter and your standing to appeal)

We are the landowners of this property and currently reside in the existing dwelling on the site. We submitted the SEC-wr permit and received a Notice of Decision which is Approval w/ Conditions. We are appealing 3 conditions: 1. (3.b.iii) The timing of the condition that the existing single-family dwelling labeled as #17 on the site plan is converted to a storage unit by land-use sign-off, 2. (3.b.i.) The timing of the condition that the bridge labeled #25 has been removed by land-use sign-off, 3. (2.g.i.1.) the removal of the bark chip path.

2. What are your objections to the decision? (State the specific grounds for the appeal, i.e. criteria or standard)

Please see attached labeled "Objections to the decision".

Standing to appeal: those who are entitled to appeal a decision include those who are entitled to notice under Multnomah County Code and include: owners of record of property within 750 feet of the subject tract, neighborhood associates, and persons who have identified themselves in writing as interested parties or as to be potentially aggrieved or impacted by the decision.

SIGNATURE:  / 

DATE: 10/19/20

CHECK ONE: ☒ APPELLANT ☐ AUTHORIZED REPRESENTATIVE

Appeals and fees must be received prior to the close of the appeal deadline.

Deliver or mail appeal and fee to:


MULTNOMAH COUNTY
Land Use Planning Division
1600 SE 190th Ave., Suite 116, Portland, OR 97233
Phone: (503) 988-3043

Appeal Notice

FOR STAFF USE ONLY

Fee: Notice of Appeal for Planning Director's Decision:
\$250.00

Digitally signed by Rithy
Khut
DN: cn=Rithy Khut,
o=Multnomah County,
ou=Land Use Planning
Division,
email=rithy.khut@multco.us,
c=US

Received by: 

Date: 10/20/2020

Objections to the Decision
Appeal Of Land Use Planning
Decision for T2-2020-13185
From Oct. 6, 2020
SECc-wr Permit

Oct. 19, 2020

Appealing the following Conditions:

1) 3.b.iii. Existing House

The Condition indicates that the existing single-family dwelling labeled as #17 on A1.1 Site Plan is to be converted to storage by the time the Land Use Planner's site inspection. We, the landowners, are currently occupying this house with our 4 children, as our main residence. We would like the condition to allow us to reside in the house until the Certificate of Occupancy has been granted for our proposed new home on the site. There is no other realistic option that works for our large family. At the time the Certificate of Occupancy is issued we will convert the existing dwelling into the storage unit as the Notice of Decision describes in the timeframe required.

2) 3.b.i. Bridge

The Condition indicates that the bridge across Johnson Creek labeled as #25 on the A1.1 Site Plan is to be removed from the property by the time the Land Use Planner's Site Inspection. Our family is hoping to use this bridge during construction of the proposed new house. The only other route we have to the other side of Johnson Creek is the road, which is not safe for walking. We propose removing the bridge at the time of Certificate of Occupancy for the new home.

3) 2.g.i.1. Wood Chip Path to Creek

The Condition indicates the removal of the landscaped bark chip paths and the picnic/fire pit area shown on L101. We would like to propose to keep this narrow soft wood chip path from the house.

It is realistic to envision the landowners and children visiting the Creek. The soft path would allow a designated area for walking. A designated walking path would help protect the 32,391 square feet mitigation effort required by the landowners as shown in the planting plan L101. The paths would also allow the landowners and their family to enjoy this natural resource in a structured designated approach rather than having no paths which could lead to scattered, damaging foot traffic to the Creek area.

Thank you for your consideration,

Daniyela and Marin Palamaryuk



Merchant Email Receipt

Auto-Receipt <noreply@mail.authorize.net>

Mon, Oct 19, 2020 at 3:57 PM

Reply-To: Auto-Receipt <noreply@mail.authorize.net>

To: Eric Arellano <multco.treasury@multco.us>, Matt Conrad <lup-submittals@multco.us>

External Sender - Be Suspicious of Attachments, Links, and Requests for Payment or Login Information.

===== SECURITY STATEMENT =====

It is not recommended that you ship product(s) or otherwise grant services relying solely upon this e-mail receipt.

===== GENERAL INFORMATION =====

Merchant : Multnomah County (2231539)

Date/Time : 19-Oct-2020 15:57:13 PDT

===== ORDER INFORMATION =====

Invoice : T2-2020-13185

Description : Appeal of Land Use Planning decision for T2-2020-13185. IMPORTANT NOTE: Appeal is not considered submitted until full payment is received. RK

Amount : 250.00 (USD)

Payment Method: Visa xxxx1212

Transaction Type: Authorization and Capture

===== Line Items =====

Item: 1

Description: Appeal of Admin Decision

Quantity: 1

Unit Price: \$250.00 (USD)

Item Total: \$250.00 (USD)

===== RESULTS =====

Response : This transaction has been approved.

Auth Code : 019582

Transaction ID : 62619983462

Address Verification : Street Address: Match -- First 5 Digits of Zip: Match

===== CUSTOMER BILLING INFORMATION =====

Customer ID : 1682088594

First Name : Daniyela

Last Name : Palamaryuk

Company :

Address : 29619 se stone rd

City : Gresham

State/Province : OR

Zip/Postal Code : 97080-8229

Country : US

Phone : 5032061547

Fax :

E-Mail : dandmtilepdx@gmail.com

===== CUSTOMER SHIPPING INFORMATION =====

First Name :

Last Name :

Company :

Address :

City :

State/Province :

Zip/Postal Code :
Country :

===== ADDITIONAL INFORMATION =====

Tax : 0.00

Duty :

Freight : 0.00

Tax Exempt :

PO Number :