



Land Use Planning Division
1600 SE 190th Ave, Ste 116
Portland OR 97233
Ph: 503-988-3043 Fax: 503-988-3389
multco.us/landuse

**FIRE SERVICE AGENCY
REVIEW**

TO THE APPLICANT: Take this form to the Structural Fire Service Provider* that serves your property along with the following:

- A site plan drawn to scale showing the subject property, its improvements, location of fire hydrants and driveway information;
- A floor plan of the proposed development; and
- A fire flow report from your water purveyor (if applicable) [Not applicable for Properties served by MCRFD#14 customers]
- After the fire official signs this form, include it with your application material. See Fire Code Application Guide for fire-related access standards and fire flow information.

*If your property is not served by a structural fire service provider, your project is to be reviewed by the appropriate building official serving your property.

Address of Site 31522 SE DODGE PARK BLVD - GRESHAM, OR 97080
Map & Tax Lot: 1S4E20AC-01100 'R' number R342371
Description of Proposed Use: SINGLE FAMILY DWELLING
Total Square Footage of Building (including roof projections, eaves & attached structures): 2000 SQR'
Applicant Name: Jeff Waldien Phone: 503-580-3339
Mailing Address: PO BOX 20727
City: KEIZER State: OR Zip Code: 97307 Email: jeff@americanxco.com

STRUCTURAL FIRE SERVICE AGENCY REVIEW

Fire Agency completing this form: GRESHAM FIRE Date of Review 11/16/23

- The subject property is located within our service boundaries or is under contract.
- The subject property is outside of our service boundaries and will not be providing fire protection services via contract. (Additional review is not needed.)

**** Access Review by Structural Fire Service Agency Providing Service ****

- The proposed development is in compliance with the fire apparatus access standards of the Oregon Fire Code standards as implemented by our agency.
- The following access improvements must be completed prior to issuance of the building permit and be re-inspected by our agency before flammable materials are placed on the property.

- The proposed development is **not** in compliance with the adopted Fire Service Agency's access standards. The proposed building/structure is required to have a fire sprinkler system installed in compliance with Section 903.1.3 (NFPA 13D) of the Oregon Fire Code.

Fire Official: Please sign or stamp the presented site plan & floor plan and attach it to this form.

Michael Rider

Signature & Title of Fire Official

See Other Side

STRUCTURAL FIRE SERVICE AGENCY REVIEW, cont.

**** Fire Flow by Structural Fire Service Agency Providing Service ****

The structure, building or addition is exempt from the fire flow standards of the OFC B-105.2.

- The proposed non-commercial structure **is less than 3,600 sq. ft.** (including the horizontal projections of the roof) and there is 1,000 gallons per minute of fire-flow available at 20 psi from public water lines. No mitigation measures are necessary.
- The proposed non-commercial structure **is more than 3,600 sq. ft.** (including the horizontal projections of the roof) and the fire-flow & flow duration at 20 psi is available from public water lines or private well and is in compliance with minimums specified in Appendix B, Table B105.1 of the Oregon Fire Code. No mitigation measures are necessary.
- The existing fire-flow & flow duration available from public water lines or private well is not adequate to serve the proposed non-commercial structure in compliance with Appendix B of the Oregon Fire Code. The following mitigation measures are necessary* and must be installed prior to occupancy or use of the structure.
 - A monitored fire alarm must be installed.
 - Class A or non-combustible roof materials must be installed.
 - Defensible space of 30 feet around the structure/building/addition.
 - A defensible space of 100 feet around the structure/building/addition due to slopes greater than 20 %.
 - A fire sprinkler system meeting Section 903.1.3 (NFPA 13D) of the Oregon Fire Code shall be installed.
 - Other _____

* The above required structural features are required by the Oregon Fire Code and shall be shown clearly on all building plans.

Commercial/Industrial Buildings & Uses.

- The minimum fire flow and flow duration is available from public water lines or private well as specified in Appendix B, Table B105.1. No mitigation measures are required.
- The minimum fire flow & flow duration is not available from public water lines or private well as specified in Appendix B, Table B105.1. The following mitigation measures are required:

Michael Rider DFM

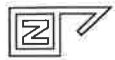
Signature & Title of Fire Official

To the Fire Official:

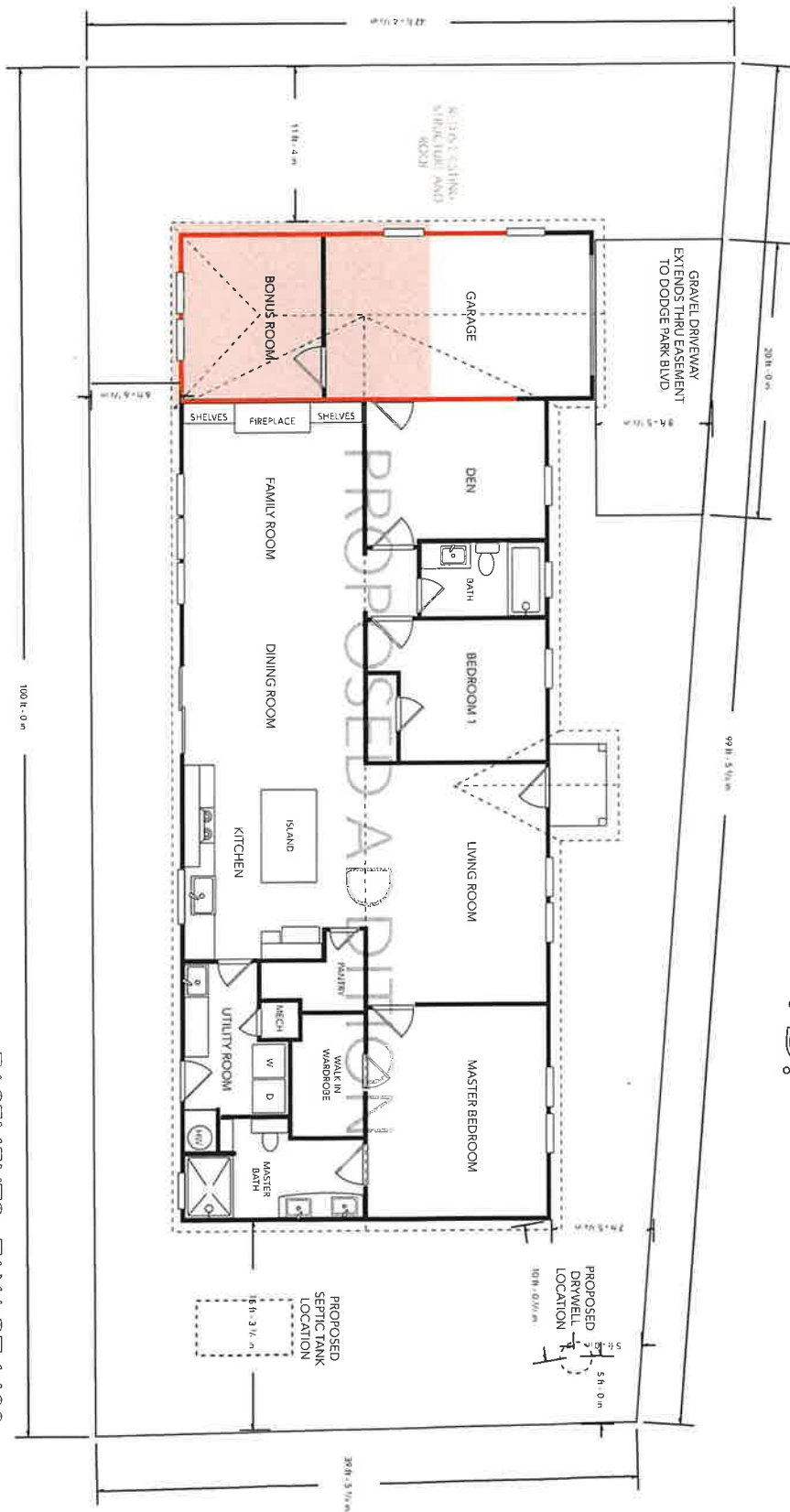
- Land Use Planning has determined that the proposed building will qualify as an Exempt Farm Structure and the property owner has indicated that the building will be used solely for farm purposes and they intend on using the provision under ORS 455.315 and will not be obtaining a building permit for its construction.

Multnomah County Land Use Planning

DODGE PARK BLVD.



SCALE 7 1/4" = 100'



EASEMENTS - TAX LOT 1400
 STORM WATER MANAGEMENT TAX LOT 1400
 1903 SQ FT APPROXIMATE AREA
 40' SIDEWALK TRENCH 7.2' WIDE
 1' 6" DEEP COVERED WITH 1" SOIL

400' DRAINAGE FIELD AND REPAIR AREA
 LOCATION ON TAX LOT 1400

DATE: 2/26/23
 PROJECT: WARREN
 DRAWN BY: JW
 CHECKED BY: OWNER
 REVISIONS:

SHEET OF: **S1**

SITE PLAN
 OWNER: JIMMY & NORMA WARREN
 PHONE:
 TAXLOT: 154E20AC-01100
 ACCOUNT #: R342371

WARREN
 31522 SE DODGE PARK BLVD
 GRESHAM, OR 97080





October 30, 2023

Dear Mr. Jeff Waldien,

The following information is in response to your request for fire flow data for the fire hydrant located closest to address 31522 SE Dodge Park Blvd. The closest hydrant is located in the south west corner of the intersection of Dodge Park Blvd. and ~~Altman Rd.~~

PLEASANT HOME RD. *

The available fire flows during peak daily demand with no pumps running are as follows:

- Static Pressure of 90 psi
- A flow of 2500 gpm
- With a residual pressure of 20 psi at the highest point in the distribution system

Please contact me if you have any questions.

Dan Fraijo
Manager
Pleasant Home Water District

* I called Dan Fraijo, 503-201-4341,
to confirm the hydrant was at
Dodge Park Blvd & Pleasant Home Rd.
He confirmed. MIKE PLOER
11/16/23



FIRE DEPARTMENT

1333 NW Eastman Parkway, Gresham, Oregon 97030

Phone 503-618-2355 • Fax 503-666-8330

GreshamOregon.gov/fire

GFD@GreshamOregon.gov

Multnomah County Land Use

31522 SE Dodge Park Blvd

Gresham OR 97030

FROM: Mike Rider Gresham Fire (Mike.Rider@GreshamOregon.gov)

DATE: 11/16/23

FIRE COMMENTS: *Construct Single Family Dwelling*

NOTE: Building permit plans shall include a separate "FIRE ACCESS AND WATER SUPPLY PLAN" indicating all of the following!

1. Provide fire flow per Oregon Fire Code Appendix B. Prior to applying for a building permit provide a fire flow test and report. Fire Flow Report dated 10/30/23 shows 2500 gpm at 20 psi residual of closest hydrant at Dodge Park and Pleasant Home Rd. **OFC 507.3 & B-101.1**
2. Minimum 4" address numbers required high on the exterior of each home, must be visible from both directions and must face the street the home is addressed off. **OFC CH5;**
3. Fire department access roads must be a minimum 20' in width. All access roads shall have an unobstructed vertical clearance of not less than 13 feet, 6 inches. **OFC 503.2.1**
4. Fire access roads shall be within 150' of all portions of the building. This is measured as the hose stretches from where the fire engine is parked. **OFC 503**
5. A PUBLIC fire hydrant is required to be within 250 feet of the main entrance driveway. The furthest point on each building shall be no more than 600 feet from a hydrant. Hydrant is located approximately 400 feet from nearest hydrant at the intersection of SE Dodge Park Blvd and SE Pleasant Home Rd. **OFC Appendix C and 507**
6. Each public or private fire hydrant used for fire flow for this property shall have a 5-inch **Storz** adapter with National Standard Threads installed on the 4 ½ -inch fire hydrant outlet. **OFC 507**
7. **If** a gate is installed on a fire access road, it must meet the requirements of the Gresham Fire Gate Policy. This policy can be faxed to you if requested. **OFC 506.**
8. A fire access and water supply plan shall be submitted at the time of permit submittal. The plan needs to include fire hydrant locations and hydraulic calculations, proposed fire apparatus access, location of fire lanes and fire apparatus turnarounds. This plan shall be drawn to scale. This plan shall be approved prior to construction. **OFC 501.3**