

# ZONING REVIEW

## UNINCORPORATED MULTNOMAH COUNTY



Land Use Planning Division

www.multco.us/landuse ▪ Email: land.use.planning@multco.us ▪ Phone: (503) 988-3043

Review #: T1-2025-0014  New Permit Request  Plan Revision

Permit Description: New agricultural building

Property Address: 12424 NW Springville Rd

Map #: 1N1W16D -03100 Alt Acct #: R961160590 Prop. ID #: R324339

Contact Person: Scott Reed Phone #: 914-391-6995

**Important information for Plans Examiners and Building Inspectors:** Please see comments, restrictions, and conditions below. If the building permits are not issued / final within the timeframe identified, or if revisions are proposed, please contact Multnomah County Land Use Planning, as additional zoning review may be necessary for the project to continue.

### County Zoning (Land Use Planning)

Use of Structure: MCC 39.4220(A) Zoning: EFU

Related Land Use Permit #(s): T1-2025-0014

Minimal Impact Project  Erosion & Sediment Control  Geologic Hazards

**Additional Requirements:** Please schedule EC inspection 7-10 days prior to construction start and insure EC measures are installed

No Ground Disturbance Allowed  Erosion Control Inspection  Stormwater System Required

Final Site Inspection by County Required Prior to Issuance of Certificate of Occupancy

Issue Building Permits By:          Completed Foundation By:          Building Permits Finaled By:         

Comments:         

Signature:  Digitally signed by Anna Shank-Root  
DN: cn=Anna Shank-Root, o=Multnomah County, ou=Land Use Planning, email=anna.shank-root@multco.us, date=2025.08.06 14:49:37-0700 Date: 08.06.2025

### County Transportation / Right-of-way

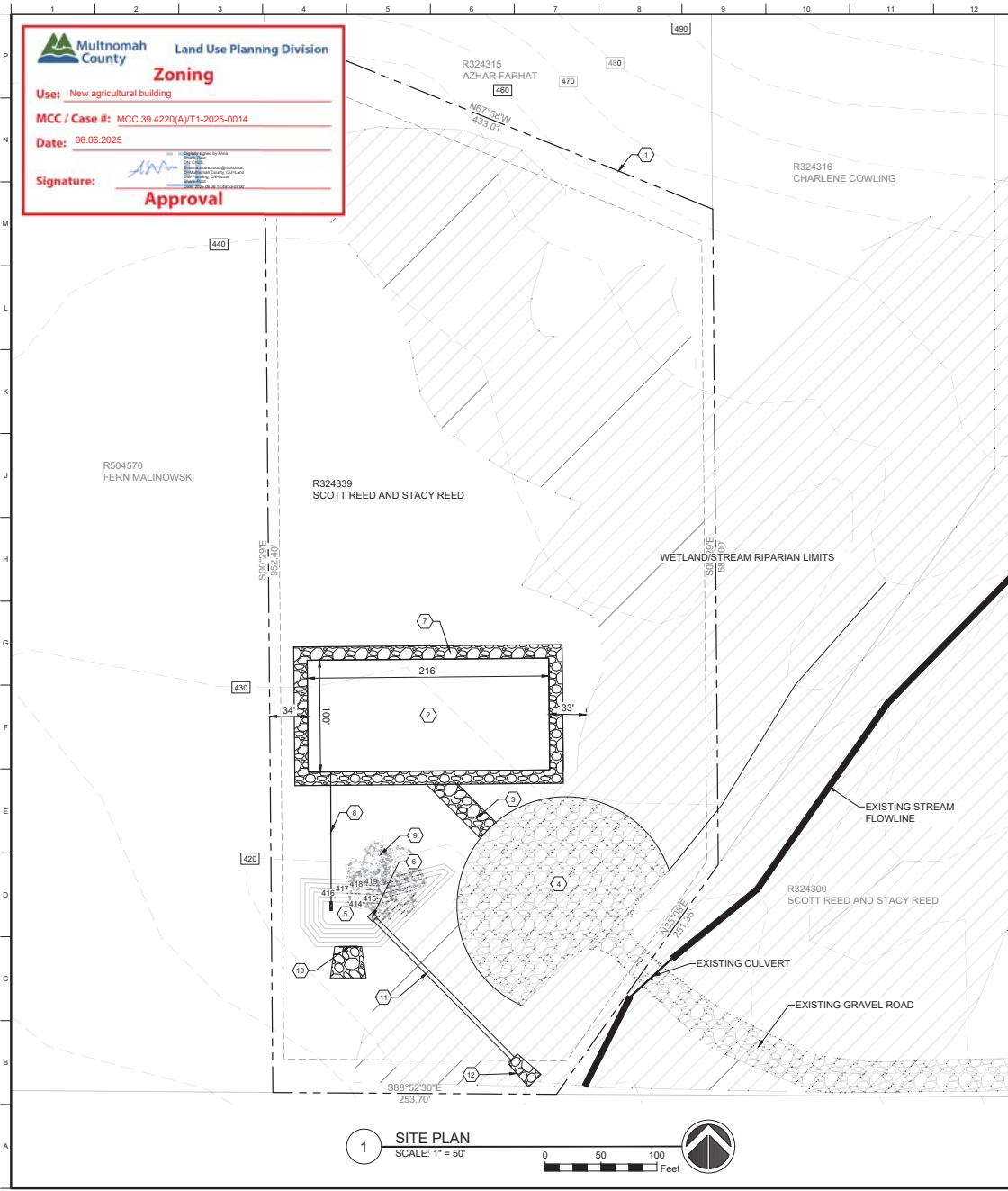
Completed Transportation Review Approval Form attached in lieu of signature.

Comments: N/A, no new access Signature:          Date:         

### City of Portland Sanitarian

Completed Septic Review Certificate attached.

Comments:          Signature:          Date:



**Multnomah County Land Use Planning Division**  
**Zoning**  
Use: New agricultural building  
MCC / Case #: MCC 39.4220(A)/T1-2025-0014  
Date: 08.06.2025  
Signature: [Signature]  
**Approval**

**GENERAL NOTES**

- CONSTRUCTION SHALL COMPLY WITH THE CURRENTLY ADOPTED INTERNATIONAL BUILDING CODE.
- CONTRACTOR IS RESPONSIBLE FOR VERIFYING SOIL CONDITIONS AT THE FOOTING'S BEARING SURFACE AND IS SOLELY RESPONSIBLE FOR THE PERFORMANCE OF THE FOOTING.
- EXISTING GRADES SHALL BE VERIFIED BY THE CONTRACTOR BEFORE PROCEEDING WITH THE GRADING WORK. SHOULD ANY DISCREPANCIES BE DISCOVERED IN THE EXISTING GRADES OR DIMENSIONS GIVEN ON THE PLANS, THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE ENGINEER OF RECORD BEFORE PROCEEDING WITH THE WORK.
- THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF EXISTING UTILITIES WITHIN THE PROJECT LIMITS BEFORE COMMENCING WORK AND AGREES TO BE FULLY RESPONSIBLE FOR DAMAGES DUE TO THE CONTRACTOR'S FAILURE TO EXACTLY LOCATE AND PRESERVE ALL UNDERGROUND UTILITIES.
- REFER TO THE PROJECT GEOTECHNICAL REPORT FOR COMPACTION AND SITE PREPARATION DETAILS.
- ANY MODIFICATIONS TO THE PLAN SHALL REQUIRE THE APPROVAL OF THE ENGINEER OF RECORD.
- CONTRACTOR TO CONFIRM ACTUAL INFILTRATION VALUES OF THE SUBGRADE AT DETENTION BASIN AREAS.
- PARCEL IS INCLUDED IN FEMA FLOOD INSURANCE RATE MAP NUMBER 41051C0135H AND IS CLASSIFIED AS FLOOD ZONE "X"
- EXISTING ELEVATIONS ARE BASED ON MULTNOMAH COUNTY GIS CONTOURS (LAND USE PLANNING - REFERENCE MAP, "TOPOGRAPHIC CONTOURS" LAYER).
- PARCEL IS ZONED EFU
- CONSTRUCTION ACTIVITIES SHALL BE LIMITED TO APPROVED WORKING HOURS.
- ALL CONSTRUCTION DEBRIS AND WASTE MATERIALS SHALL BE PROPERLY DISPOSED OF OFF-SITE.
- ANY FIELD CHANGES OR MODIFICATIONS TO THE APPROVED PLANS MUST BE REVIEWED AND APPROVED BY THE ENGINEER OF RECORD PRIOR TO IMPLEMENTATION.
- THE CONTRACTOR SHALL NOTIFY THE ENGINEER OF RECORD IMMEDIATELY IF UNFORESEEN SITE CONDITIONS ARISE THAT MAY AFFECT THE PROJECT DESIGN.

**STORMWATER DESIGN NOTES**

- THE STORMWATER DRAINAGE SYSTEM HAS BEEN DESIGNED TO ENSURE THE RATE OF RUNOFF FOR THE 10-YEAR 24-HOUR STORM EVENT IS NO GREATER THAN THAT WHICH EXISTED PRIOR TO DEVELOPMENT AT THE PROPERTY LINE.
- THE DETENTION BASIN HAS BEEN DESIGNED TO OUTFLOW AT PRE-DEVELOPMENT RATES FOR BOTH THE 2 YEAR AND 10 YEAR STORM THROUGH THE USE OF A PRECAST OUTLET CONTROL STRUCTURE (SEE SHEET C-5 FOR DETAILS).
- A WEIR OVERFLOW IN THE BASIN HAS BEEN DESIGN TO SAFELY DRAIN UP TO THE 100 YEAR EVENT.
- THE SCS CURVE NUMBER METHOD WAS USED TO DETERMINE THE PRE AND POST DEVELOPMENT STORMWATER RUNOFF.

**KEY NOTES**

- PROPERTY LINE
- PROPOSED 216' x 100' BARN
- 20' WIDE GRAVEL DRIVEWAY
- EXISTING GRAVEL LOADING AREA AND ACCESS
- DETENTION BASIN (17,000 CF CAPACITY)
- PRECAST CONCRETE OUTLET CONTROL STRUCTURE (SEE SHEET C-5, DETAILS 1 AND 2)
- 12' GRAVEL ACCESS DRIVE
- 6" HDPE STORMWATER PIPE CONNECTING GUTTER/DOWNSPOUTS TO DETENTION POND
- EXISTING TREE (TO BE REMOVED)
- OVERFLOW WEIR AND RIPRAP APRON
- 180 LF 48" HDPE @ 1%
- RIPRAP APRON

**LEGEND**

	ASPHALT
	NEW GRAVEL
	EXISTING GRAVEL
	WETLAND/STREAM RIPARIAN LIMITS
	PROPERTY LINE
	BUILDING SETBACK
	PROPOSED CONTOUR
	EXISTING CONTOUR
	EXISTING GRADE ELEVATION
	FINISH GRADE ELEVATION
	TOP OF SIDEWALK ELEVATION
	FLOWLINE ELEVATION
	HIGH POINT ELEVATION
	TO MATCH EXISTING ELEVATION
	FLOW DIRECTION
	GRADE BREAK

**BLUE SKY ENGINEERS**

REGISTERED PROFESSIONAL ENGINEER  
STATE OF OREGON  
NO. 056552  
S. JAMES A. BAYNE

EXPIRES: 12/31/2026

DATE:	2/19/25	SM	CY	SM
CHECKED BY:				
DRAWN BY:				
DESIGNED BY:				

REED BARN  
12424 NW SPRINGVILLE ROAD  
PORTLAND, OREGON 97229

SITE PLAN

REV	DESCRIPTION	DATE

SHEET:  
**C-1**

**STAFF USE:**

**Copies for Applicant to take to City:**

- » Copy of this Zoning Review Form (Completed and Signed)
- » Tax account information printout
- » County stamped site plans, building plans, and elevation drawings
- » Copy of completed Service Provider Forms, including Storm Water Certificate
- » Copy of “Short Decision” containing Conditions of Approval

**Copies to County files:**

- » This Zoning Review Form (original copy)
- » Tax account information printout
- » 1 set of County stamped site plan, floor plans, and elevation drawings
- » Stamped Erosion and Sediment Control Plans (when applicable)
- » Completed Service Provider Forms, including Storm Water Certificate
- » Copy of “Short Decision” containing Conditions of Approval
- » Copies of information with relevant zoning standards (i.e., dark sky lighting, spark arrestor, roof samples)



Land Use Planning Division
1600 SE 190th Ave, Ste 116
Portland OR 97233
Phone: 503-988-3043
land use planning@multco.us
https://multco.us/landuse/

Agricultural
'Farm' Building
Application

PROPERTY IDENTIFICATION
Property Address: 12424 NW SPRINGVILLE ROAD, PORTLAND
Map Tax Lot #: Sec 16 1N 1W, TL 3100 Site Size: 7.67 acres
Alternate Account #: R324339 Property ID #: R324339

PROPERTY OWNER(S) [X] OR CONTRACT OWNER(S) [ ]
Name(s): SCOTT & STACY REED
Mailing Address: 13305 NW CORNELL RD, STE C
City/State/Zip Code: PORTLAND, OR 97229
Phone #: 914-391-6995 E-mail: Springwoodacresfarm@gmail.com
[ ] A letter of authorization with a property owner certification may be used if there are more than two property owners, please attach the letter to the end of this form.

APPLICANT(S) NAME AND SIGNATURE
Applicant(s) Name: SCOTT REED
Applicants(s) Address: 13305 NW CORNELL ROAD, STE C
City/State/Zip Code: PORTLAND, OR 97229
Phone #: 914-391-6995 E-mail:
Applicant's Signature

Land Use Planning Staff Only
Case Number: Date Submitted: Received By:
Zoning: [ ] Compliance Related UR/ZV Case #
Overlay(s): Related Cases:
Note to planners:
- Agricultural building and equine facility are subject to Flood Hazard regulations and cannot be registered as exempt from building permits requirements.
- Agricultural building and equine facility are subject to Geologic Hazards, Erosion Control, and Stormwater regulations.
- Agricultural building, structure, development associated with farm practices agricultural uses, and equine facility within the West of Sandy River area are required to obtain an SEC permit.
- Agricultural buildings, structures, development, and equine facility within Metro's 2009 jurisdictional boundary require an SEC-s permit.

**Applicant Check List:** Please provide the following documents and attach the documents to the end of this form:

**Plans required:**

The plans shall be drawn to scale [i.e., 1 in = 10 ft. (Engineer's) or 1/4 in = 1 ft. (Architect's)] or similar and printed on either 8.5" x 11" or 11" x 17" paper.

- Site Plan                     
  Building Floor Plans                     
  Building Elevation Plans  
 Photos of farm machinery and equipment you own that will be used as part of the farm, if applicable.

**Additional Service Provider Reviews Required:**

- Stormwater Certificate (if building/structure is >500 square feet)                     
  Fire Service Agency Review  
 Septic Review Certification                     
  Transportation Planning Review

**Applicant Instructions:** Review and fill out each section on the following pages.

**PROPOSED BUILDING INFORMATION:**

The proposed building will have the following systems:

	Describe the type of fixture (i.e. bathroom or sink) or work (i.e. electrical)
Electrical <input type="checkbox"/> Yes / <input checked="" type="checkbox"/> No	
Plumbing <input type="checkbox"/> Yes / <input checked="" type="checkbox"/> No	
Septic <input type="checkbox"/> Yes / <input checked="" type="checkbox"/> No	
Mechanical <input type="checkbox"/> Yes / <input checked="" type="checkbox"/> No	
Solar <input type="checkbox"/> Yes / <input checked="" type="checkbox"/> No	

- **Note #1:** After Land Use Planning review, the building department will conduct a separate review for each of these systems.
- **Note #2:** After Land Use Planning review, the building department may conduct a separate review to determine if a structural building permit is necessary under Oregon Building Codes Division (BCD) requirements. If the building department determines that your building requires a structural building permit, then the building cannot be registered as an exempt agricultural building.

Will the proposed building be used by the public:                      Yes  or No

What is the proposed maximum number of people (including owners, employees, etc.) that will occupy the building at any one time?                      3

What is the estimated number of vehicle trips that will be generated to the site?  
 \*A trip is defined in MCCR 3.000 as one-way vehicular movement. A vehicle entering a property and later exiting that property has made two trips.                      0 trips/day

Is the subject property currently in farm tax deferral with the County Tax Assessor?                      Yes  or No

Check which of the following uses apply to your proposed building:

- Storage, maintenance or repair of farm machinery and equipment
- The raising, harvesting and selling of crops
- The feeding, breeding, management and sale of, or the produce of, livestock, poultry, fur-bearing animals or honeybees
- Dairying and the sale of dairy products
- Any other agricultural use, horticultural use or animal husbandry, or any combination thereof, including the preparation and storage of the produce raised on the farm for human use and animal use, by marketing or otherwise, of farm produce
- Stabling and/or training equines
- Riding lessons and/or training clinics

**STATEMENT OF USE:**

Answer the following questions below to provide a detailed description of how this building will be used. This information will ensure your compliance with land use laws and helps us determine whether the building qualifies as an exempt structure. It is essential that your description is as complete as possible.

Describe what your farm produces through the raising, harvesting and selling of crops –OR– the feeding, breeding, management and sale of, or the produce of, livestock, poultry, fur-bearing animals or honeybees –OR– the dairying and the sale of dairy products –OR– or any other agricultural, horticultural use, or animal husbandry:

CURRENTLY RAISE LAYER CHICKENS AND BOER GOATS.

Describe how the proposed building/structure on the property will be used to support the farm or equine facility:

THE FARM NEEDS MORE SPACE TO EXPAND EGG PRODUCTION TO SUCK EGGS PER YEAR AND 100 BOER DOES.


Describe in detail what will be placed in the building (e.g. equipment, feed, tractor, plants, nurse stock):

CHICKEN BROODER AND NURSERY AREA FOR GOATS IN WINTER. PLUS THE EQUIPMENT TO MAINTAIN FARM WILL BE STORED IN NEW BARN.

Describe the type of structure being constructed (e.g., pole building, hoop house, greenhouse, wood framed barn). Include the size (footprint) of the structure.

POLE BARN WILL HAVE FOOTPRINT OF 100'x216'. FRAME IS MADE OF WOOD AND ROOF WILL BE METAL.

<b>Property Owner Certification</b>		Owner #1 Initial	Owner #2 Initial
1. I certify that all information provided to the County is true and correct.		SR	SR
2. I understand that I cannot store any items not associated with the farm in this building/structure.		SR	SR
3. I understand that if I wish to convert the building to a use not allowed in an agricultural building or equine facility (e.g. garage, storage of vehicles other than farm vehicles, personal storage, and other accessory use) the exemption is no longer valid.		SR	SR
4. I understand that County approval, including a building permit, is necessary for the conversion of the building to a use not allowed in an agricultural building or equine facility, and that the building will be subject to the building code requirements in place at the time of the conversion. I will obtain the necessary approval(s) and building permit(s) prior to such conversion, and I understand that failure to do so may result in enforcement action, including imposition of civil penalties.		SR	SR
5. I understand that post-occupancy inspection may be made to ensure continuing compliance with this exemption		SR	SR
6. I understand that this exemption does not exempt me from obtaining applicable mechanical, plumbing, electrical, septic, solar, or any other permits required by law related to the building, or other permits related to the use.		SR	SR
7. I understand that a building official or fire official may determine a building permit is required subject to their respective codes for my proposed use. If it is determined by the building official or fire official, a building permit will be required to be obtained.		SR	SR
<i>SCOTT REED</i>	<i>Stacy Reed</i>		
Print Property Owner #1 Name:	Print Property Owner #2 Name:		
<i>[Signature]</i>	<i>[Signature]</i>		
Property Owner Signature #1	Property Owner Signature #2		

<b>Land Use Planning and Transportation Staff Only</b>		
<p>The applicant has successfully demonstrated compliance with the relevant requirements of associated with this registration. Yes <input checked="" type="checkbox"/> No <input type="checkbox"/></p>		<p>Reserved for Land Use Planning Stamp</p>
<p><i>[Signature]</i>  <small>Digitally signed by Anna Shank-Root                      DN: cn=US, email=anna.shank-root@multco.us, o=Multnomah County, ou=Land Use Planning, cn=Anna Shank-Root                      Date: 2025.08.06 14:50:13-0700</small></p>		
<p><b>Signature</b> <i>Anna Shank-Root</i> <b>Land Use Planner</b> <b>8.6.25</b> <b>Date</b></p>		
<p><b>Comments:</b> <i>Access review n/a, utilizing existing driveway</i></p>		
<b>Signature</b>	<b>Transportation Planner</b>	
<b>Comments or Access Permit #:</b>		

**AGRICULTURAL BUILDING / EQUINE FACILITY  
EXEMPTION TO STATE STRUCTURAL BUILDING CODES  
[AS SPECIFIED IN ORS 455.315 and MCC 39.2000]**

As authorized in ORS 455.315 and Multnomah County Code, construction of an Agricultural building or an Equine facility is exempt from Oregon Structural Specialty Code (OSSC). However, land use review and registration is required. Additionally, any electrical, plumbing, mechanical, septic, and solar work associated with the structure is subject to building code and permit requirements and those utility elements must comply with respective specialty code provisions.

The following definitions are relevant to whether or not your project qualifies for this exemption:

**Farm Use:** Means the current employment of land for the primary purpose of **obtaining a profit in money** by raising, harvesting and selling crops or the feeding, breeding, management and sale of, or the produce of, livestock, poultry, fur-bearing animals or honeybees or for dairying and the sale of dairy products or any other agricultural or horticultural use or animal husbandry or any combination thereof.

An **Agricultural Building** is defined in part, in ORS 455.315(2) as:

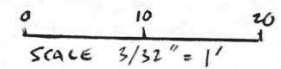
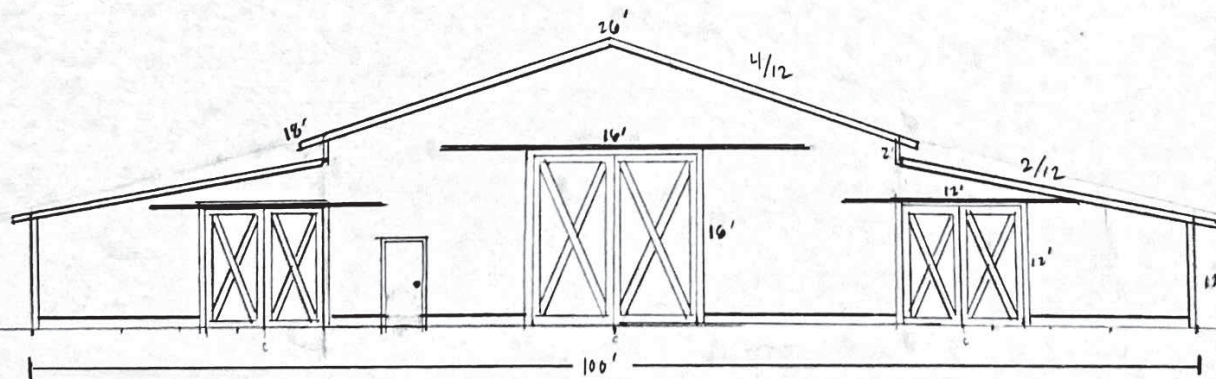
- (a) "Agricultural building" means a structure located on a farm \* \* \* and used for:
- (A) Storage, maintenance or repair of farm \* \* \* machinery and equipment;
  - (B) The raising, harvesting and selling of crops \* \* \*;
  - (C) The feeding, breeding, management and sale of, or the produce of, livestock, poultry, fur-bearing animals, or honeybees;
  - (D) Dairying and the sale of dairy products; or
  - (E) Any other agricultural, \* \* \* or horticultural use or animal husbandry, or any combination thereof, including the preparation and storage of the produce raised on the farm for human use and animal use, \* \* \*, by marketing or otherwise, of farm produce \* \* \*.
- (b) "Agricultural building" does not mean:
- (A) A dwelling;
  - (B) A structure used for a purpose other than growing plants in which 10 or more persons are present at any one time;
  - (C) A structure regulated by the State Fire Marshal pursuant to ORS chapter 476;
  - (D) A structure used by the public; or
  - (E) A structure subject to sections 4001 to 4127, title 42, United States Code (the National Flood Insurance Act of 1968) as amended, and regulations promulgated thereunder.

**NOTE:** A similar definition for "Agricultural Building" is found in MCC 39.2000. Both ORS 455.315(2) and MCC 39.2000 include structures located on a forest operation in the definition of "Agricultural Building." However, the County has a separate form for requested exemptions associated with forest operations.

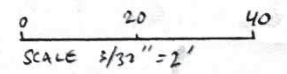
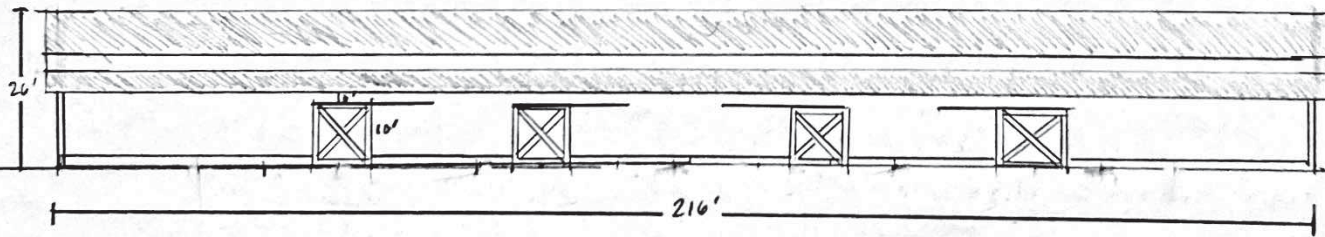
An **Equine facility** is defined in ORS 455.315(2) as:

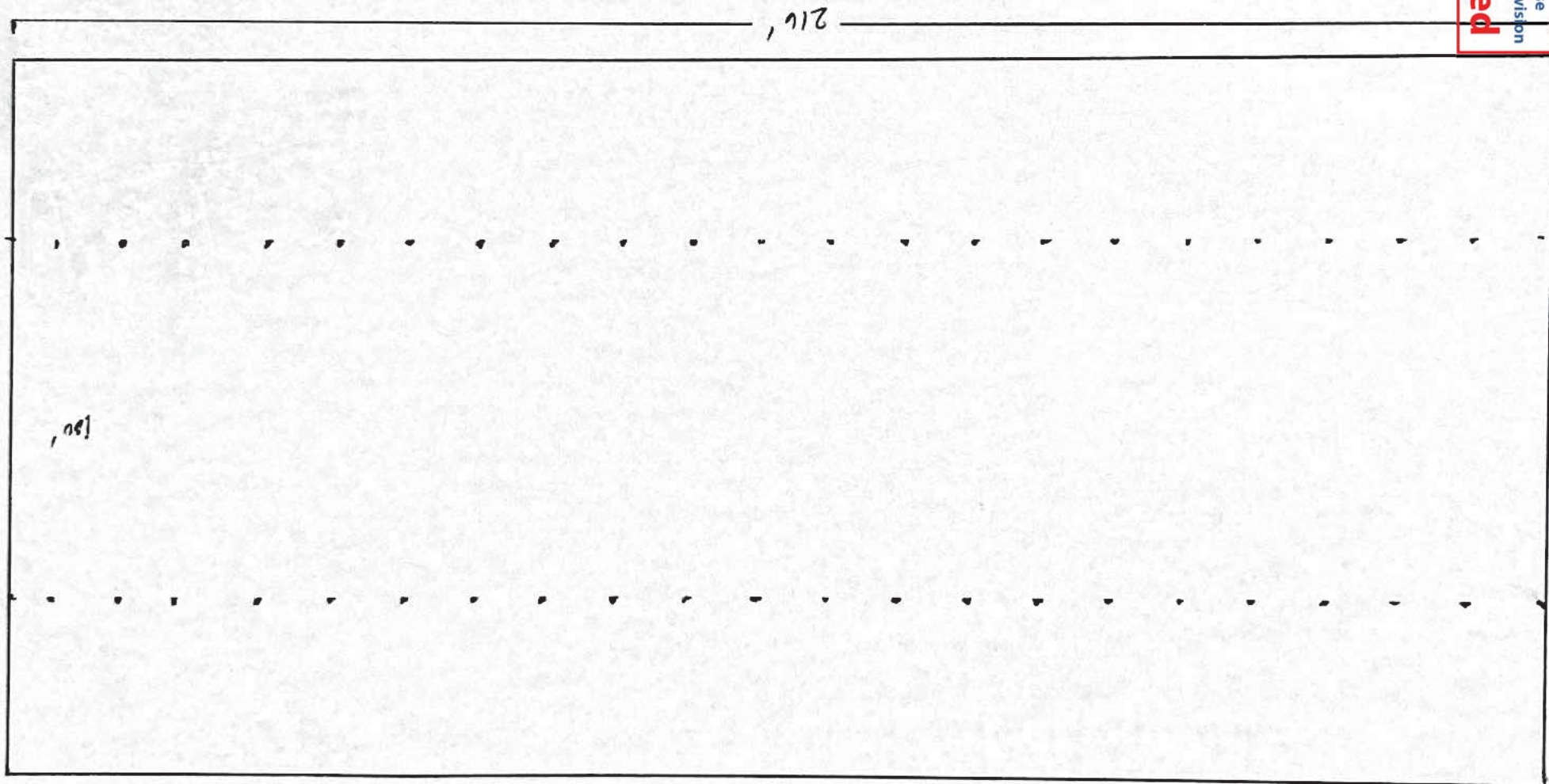
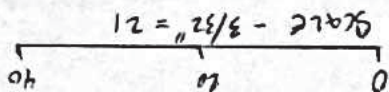
- (d) "Equine facility" means a building located **on a farm** and used by the farm owner or the public for:
- (A) Stabling or training equines; or (B) Riding lessons and training clinics.
- (e) "Equine facility" does not mean:
- (A) A dwelling; (B) A structure in which more than 10 persons are present at any one time; (C) A structure regulated by the State Fire Marshal pursuant to ORS chapter 476; or (D) A structure subject to sections 4001 to 4127, title 42, United States Code (the National Flood Insurance Act of 1968) as amended, and regulations promulgated thereunder.

EAST & WEST ELEVATIONS



NORTH & SOUTH ELEVATIONS





Fluvial Plan

# FIRE SERVICE PROVIDER REVIEW

Land Use Planning Division



www.multco.us/landuse • Email land use planning@multco.us • Phone (503) 988-3043

## APPLICANT INSTRUCTIONS

Complete the Applicant section of this form and deliver it to the appropriate Structural Fire Service Provider for your area. After the Fire Service Provider completes their review and returns the form to you, include the form (along with any supplemental documents provided to you) with your land use application.

- A site plan drawn to scale showing the subject property, its improvements, location of fire hydrants and driveway information;
- A floor plan of the proposed development; and
- A fire flow report from your water purveyor (if applicable) [Not applicable for Properties served by MCRFD#14 customers] SPRING WATER

If your property is not served by a structural fire service provider, your project is to be reviewed by the appropriate building official serving your property.

After the fire official signs this form, include it with your application material.

## TO BE COMPLETED BY THE APPLICANT

Site Address: 12424 NW SPRINGVILLE ROAD  
 Map, Tax Lot: SEC 16, 1N1W, TL3100 'R' number: R324339  
 Description of Proposed Use: NEW BARN ON FARM LAND  
 Total Square Footage of Building (including roof projections, eaves & attached structures): 21,600 sqft  
 Applicant Name: SCOTT REED  
 Mailing Address: 13305 NW CORNELL ROAD, STE C, PORTLAND, OR 97227  
 Phone #: 914-391-6995 Email Address: springwoodacresfarm@gmail.com

## STRUCTURAL FIRE SERVICE PROVIDER REVIEW

Fire Service Provider completing this form: TJFER Date of Review 5-1-2025

- The subject property is located within our service boundaries or is under contract.
- The subject property is outside of our service boundaries and the Provider will not be providing fire protection services via contract. (Additional review is not needed.)



**\*\* Access Review by Structural Fire Service Providing Service \*\***

- The proposed development is in compliance with the fire apparatus access standards of the Oregon Fire Code standards as implemented by our Provider.
- The proposed development is not in compliance with the adopted Fire Service Provider's access standards. The proposed building/structure is required to have a fire sprinkler system installed in compliance with Section 903.1.3 (NFPA 13D) of the Oregon Fire Code.
- The following access improvements must be completed prior to issuance of the building permit and be re-inspected by our Provider before flammable materials are placed on the property. The access improvements required:

*\* NO TVEER PERMITS REQUIRED FOR THIS PROJECT \*  
Because of Ag. exemption*

**\*\* Fire Flow by Structural Fire Service Providing Service \*\***

- The existing fire-flow & flow duration available from public water lines or private well is adequate to serve the proposed development. No mitigation measures are necessary.
- The existing fire-flow & flow duration available from public water lines or private well is not adequate to serve the proposed non-commercial structure in compliance with the Oregon Fire Code. The following mitigation measures are necessary\* and must be installed prior to occupancy or use of the structure
  - A monitored fire alarm must be installed.
  - Class A or non-combustible roof materials must be installed.
  - Defensible space of 30 feet around the structure/building/addition.
  - A defensible space of 100 feet around the structure/building/addition due to slopes greater than 20%.
  - A fire sprinkler system meeting Section 903.1.3 (NFPA13D) of the Oregon Fire Code shall be installed.
  - Other \_\_\_\_\_

\* The above required structural features are required by the Oregon Fire Code and shall be shown clearly on all building plans.

**\*\* Commercial/Industrial Buildings & Uses \*\***

- The minimum fire flow and flow duration is available from public water lines or private well as specified in the Oregon Fire Code. No mitigation measures are required.
- The minimum fire flow & flow duration is not available from public water lines or private well as specified in Oregon Fire Code. The following mitigation measures are required

Fire Official: Please sign or stamp the presented site plan & floor plan and attach it to this form.

*DFM Jeremy Foster*

*5/1/2025*

Signature

Date

Name & Title of Fire Official



**ONSITE SANITATION Portland Permitting & Development**  
1900 SW 4<sup>th</sup> Avenue, Portland, Oregon 97201 – 503-823-7300 – [septic@portlandoregon.gov](mailto:septic@portlandoregon.gov)  
**SEPTIC REVIEW CERTIFICATION**

A signed Septic Review Certification from the City of Portland / Multnomah County Septic Sanitarian is required for proposed development, any change in use, and the creation of a new parcel or property line adjustment.

**STEP 1- Complete the following:**

Address of Proposed Work: 12424 NW SPRINGVILLE ROAD, PORTLAND, OR 97224

Property Map & Tax Lot #: R324339 Alternate Acct #: R R961160590

Description of proposed work for this Septic Planning Review

No septic for new barn. Open floor plan, no interior plumbing

Change in number of bedrooms?  Yes  No # existing bedrooms 0 # bedrooms at completion 0

Applicant's Name SCOTT REBO

Applicant E-mail Springvudacresfarm@gmail.com Phone 914-391-6995

**STEP 2- Submit:** This form with all required submittals listed on page 2. Separate properties require individual applications. Refer to the current Septic Evaluation Application for fees.

Submit complete Septic Review Certification submittal package via:

- E-mail [septic@portlandoregon.gov](mailto:septic@portlandoregon.gov). Information will be provided to make payment online. - OR -
- Mail completed submittal package and check payable to City of Portland to:  
City of Portland, PP&D, Site Development, 1900 SW 4<sup>th</sup> Ave., Portland, OR 97201

**STEP 3- Review:** After submittal and payment, allow up to 20 business days for plan review

**STEP 4- Site Visit:** Sanitarian will contact you with any questions and/or site visit requirements

**STEP 5- Sign Off:** Based on present knowledge of the area and current regulations of the State of Oregon Department of Environmental Quality (DEQ), the Sanitarian hereby finds that the above proposal is:

- Approved – will not impact the existing system. The following is **REQUIRED** prior to Building Permit issuance:
- Septic Installation Permit       Authorization Notice

Conditions/Comments: Proposed 216 x 120 ft<sup>2</sup> barn with open floor plan / no interior plumbing + stormwater pond poses no concern to septic. All area septic systems appear to be greater than 50 ft away from proposed stormwater pond grading + most are much more (hundreds of feet). No site visit.

Lindsey Reschke  
Multnomah County Sanitarian

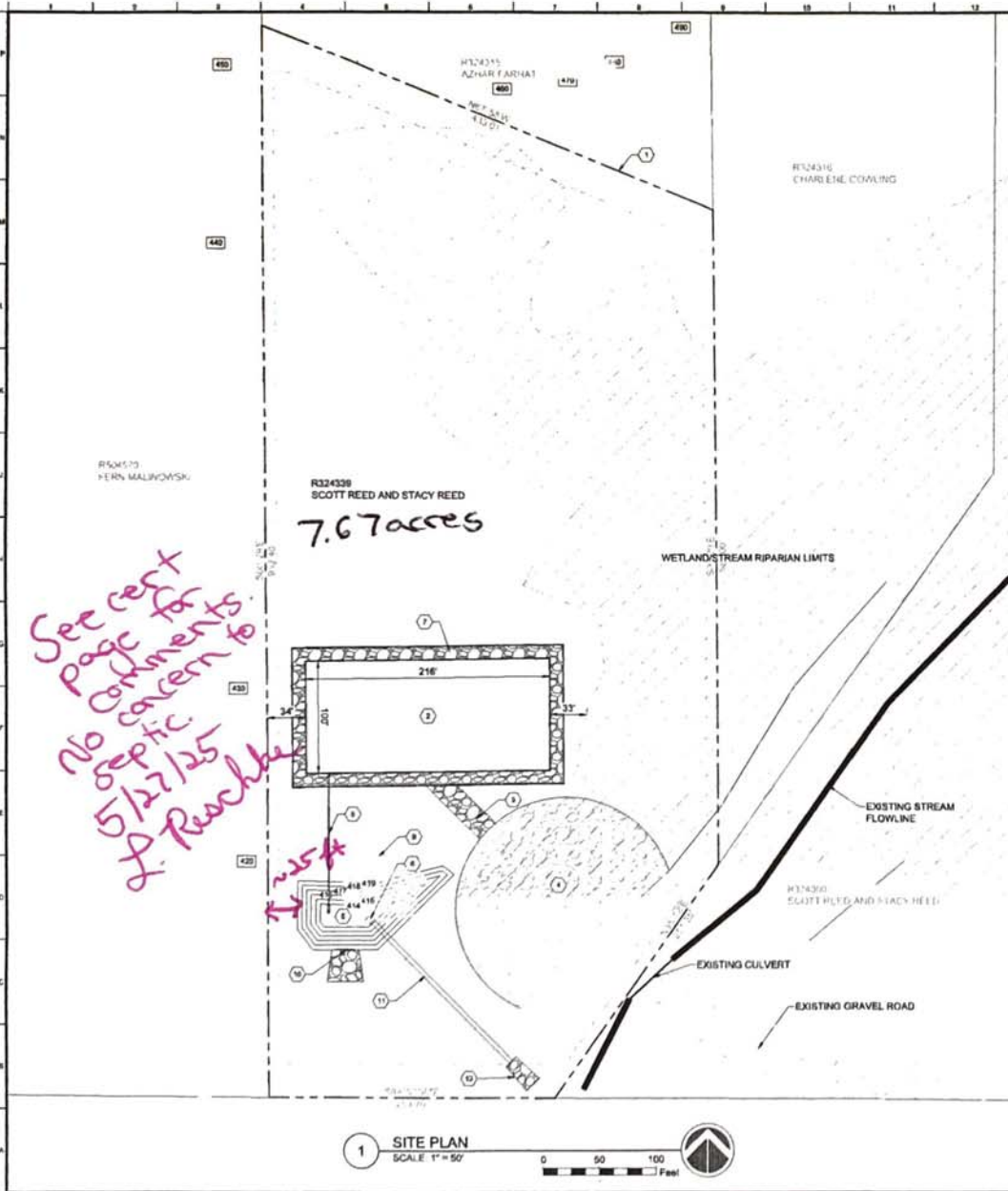
5/27/25  
Date

**STEP 6- Return:** to Multnomah County Land Use Planning with this signed form and site plan (floor plans if applicable)

See page 2 for requirements



Permit No. 25-033625-SE  
Date 5/27/25



See cert  
page for  
comments  
No sep tic  
5/12/25  
J. Rouchka

GENERAL NOTES

- CONSTRUCTION SHALL COMPLY WITH THE CURRENTLY ADOPTED INTERNATIONAL BUILDING CODE.
- CONTRACTOR IS RESPONSIBLE FOR VERIFYING SOIL CONDITIONS AT THE FOOTING'S BEARING SURFACE AND IS SOLELY RESPONSIBLE FOR THE PERFORMANCE OF THE FOOTING.
- EXISTING GRADES SHALL BE VERIFIED BY THE CONTRACTOR BEFORE PROCEEDING WITH THE GRADING WORK. SHOULD ANY DISCREPANCIES BE DISCOVERED IN THE EXISTING GRADES OR DIMENSIONS GIVEN ON THE PLANS, THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE ENGINEER OF RECORD BEFORE PROCEEDING WITH THE WORK.
- THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF EXISTING UTILITIES WITHIN THE PROJECT LIMITS BEFORE COMMENCING WORK, AND AGREES TO BE FULLY RESPONSIBLE FOR DAMAGES DUE TO THE CONTRACTOR'S FAILURE TO EXACTLY LOCATE AND PRESERVE ALL UNDERGROUND UTILITIES.
- REFER TO THE PROJECT GEOTECHNICAL REPORT FOR COMPACTION AND SITE PREPARATION DETAILS.
- ANY MODIFICATIONS TO THE PLAN SHALL REQUIRE THE APPROVAL OF THE ENGINEER OF RECORD.
- CONTRACTOR TO CONFIRM ACTUAL INFILTRATION VALUES OF THE SUBGRADE AT DETENTION BASIN AREAS.
- PARCEL IS INCLUDED IN FEMA FLOOD INSURANCE RATE MAP NUMBER 41051C0135H AND IS CLASSIFIED AS FLOOD ZONE "X".
- EXISTING ELEVATIONS ARE BASED ON MULTNOMAH COUNTY OIS CONTOURS (LAND USE PLANNING - REFERENCE MAP, "TOPOGRAPHIC CONTOURS" LAYER).
- PARCEL IS ZONED EFU
- CONSTRUCTION ACTIVITIES SHALL BE LIMITED TO APPROVED WORKING HOURS.
- ALL CONSTRUCTION DEBRIS AND WASTE MATERIALS SHALL BE PROPERLY DISPOSED OF OFF-SITE.
- ANY FIELD CHANGES OR MODIFICATIONS TO THE APPROVED PLANS MUST BE REVIEWED AND APPROVED BY THE ENGINEER OF RECORD PRIOR TO IMPLEMENTATION.
- THE CONTRACTOR SHALL NOTIFY THE ENGINEER OF RECORD IMMEDIATELY IF UNFORESEEN SITE CONDITIONS ARISE THAT MAY AFFECT THE PROJECT DESIGN.

STORMWATER DESIGN NOTES

- THE STORMWATER DRAINAGE SYSTEM HAS BEEN DESIGNED TO ENSURE THE RATE OF RUNOFF FOR THE 10-YEAR 24-HOUR STORM EVENT IS NO GREATER THAN THAT WHICH EXISTED PRIOR TO DEVELOPMENT AT THE PROPERTY LINE.
- THE DETENTION BASIN HAS BEEN DESIGNED TO OUTFLOW AT PRE-DEVELOPMENT RATES FOR BOTH THE 2 YEAR AND 10 YEAR STORM THROUGH THE USE OF A PRECAST OUTLET CONTROL STRUCTURE (SEE SHEET C-5 FOR DETAILS).
- A WEIR OVERFLOW IN THE BASIN HAS BEEN DESIGN TO SAFELY DRAIN UP TO THE 100 YEAR EVENT.
- THE SCS CURVE NUMBER METHOD WAS USED TO DETERMINE THE PRE AND POST DEVELOPMENT STORMWATER RUNOFF.

KEY NOTES

- PROPERTY LINE
- PROPOSED 216' x 100' BARN
- 20' WIDE GRAVEL DRIVEWAY
- EXISTING GRAVEL LOADING AREA AND ACCESS
- DETENTION BASIN (17,000 CF CAPACITY)
- PRECAST CONCRETE OUTLET CONTROL STRUCTURE (SEE SHEET C-5, DETAILS 1 AND 2)
- 12' GRAVEL ACCESS DRIVE
- 8" HDPE STORMWATER PIPE CONNECTING GUTTER/DOWNSPOUTS TO DETENTION POND
- EXISTING TREE (TO BE REMOVED)
- OVERFLOW WEIR AND RIPRAP APRON
- 180 LF 48" HDPE @ 1%
- RIPRAP APRON

LEGEND

	ASPHALT
	NEW GRAVEL
	EXISTING GRAVEL
	WETLAND/STREAM RIPARIAN LIMITS
	PROPERTY LINE
	BUILDING SETBACK
	PROPOSED CONTOUR
	EXISTING CONTOUR
	EXISTING GRADE ELEVATION
	FINISH GRADE ELEVATION
	TOP OF SIDEWALK ELEVATION
	FLOWLINE ELEVATION
	HIGH POINT ELEVATION
	TO MATCH EXISTING ELEVATION
	FLOW DIRECTION
	GRADE BREAK

**BLUE SKY**  
ENGINEERS

REGISTERED PROFESSIONAL ENGINEER  
CHAD A. HARTZ  
EXPIRES 12/31/2024

DATE:	2/18/25
CHECKED BY:	SM
DRAWN BY:	CY
DESIGNED BY:	SM

REED BARN  
12424 NW SPRINGVILLE ROAD  
PORTLAND, OREGON 97229

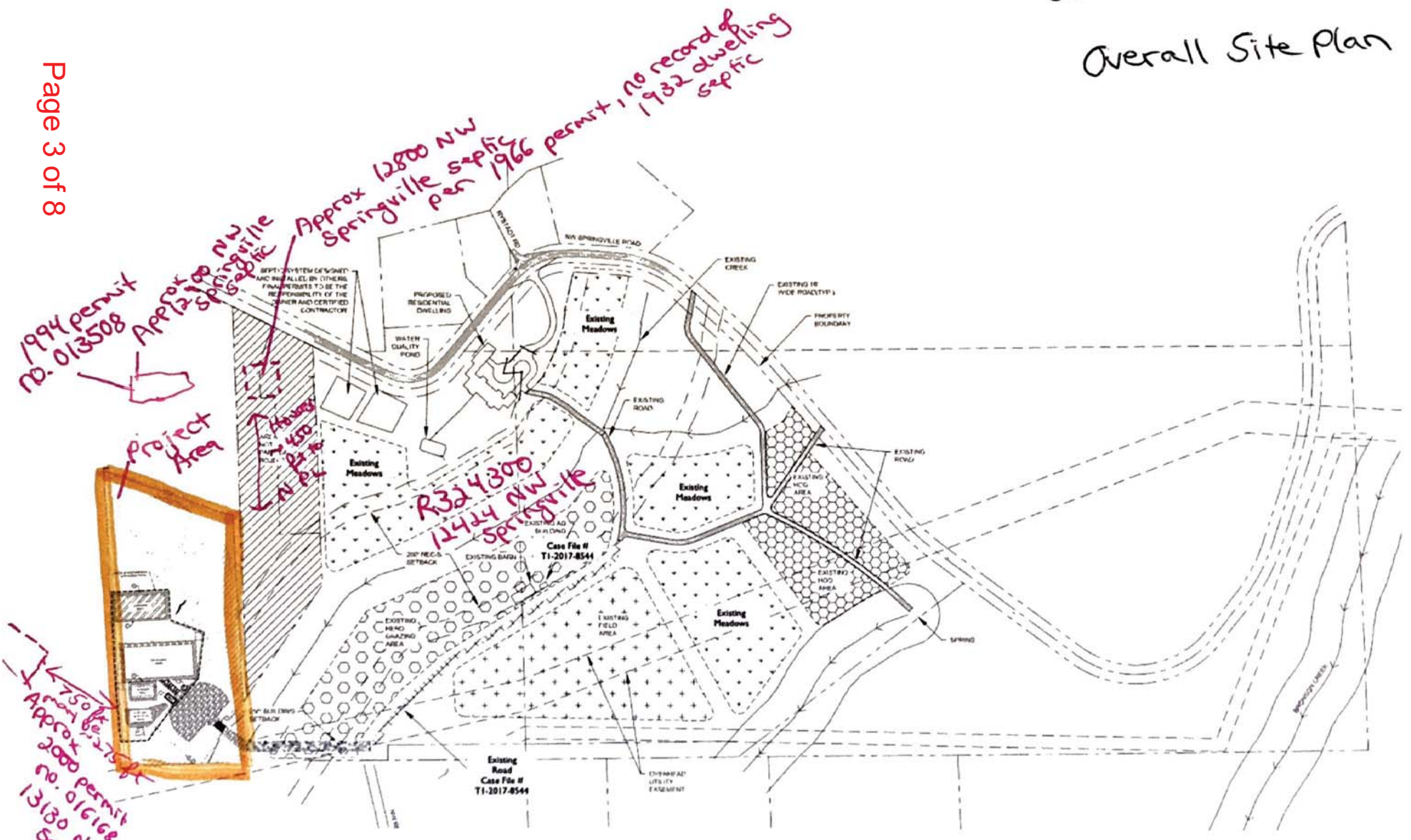
SITE PLAN

REV.	DESCRIPTION	DATE

SHEET:  
**C-1**

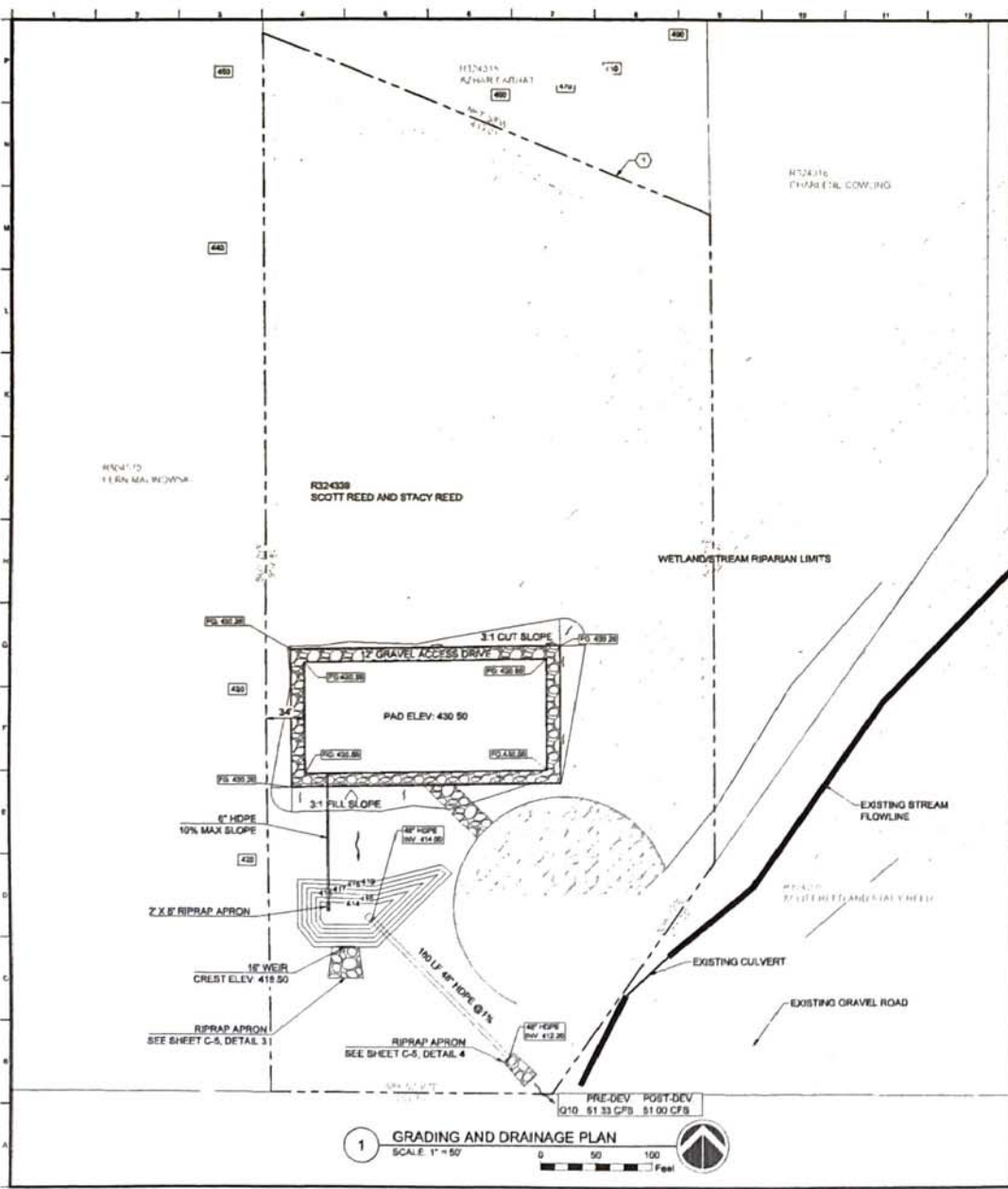
# Overall Site Plan

Page 3 of 8



\*No neighboring septic systems appear to be within 50ft of proposed seasonal stormwater pond\*

FR



1 GRADING AND DRAINAGE PLAN  
SCALE: 1" = 50'

GENERAL NOTES


- ALL GRADING AND DRAINAGE WORK SHALL CONFORM TO THE MULTNOMAH COUNTY MUNICIPAL CODE, AS WELL AS APPLICABLE LOCAL, STATE, AND FEDERAL REGULATIONS.
- THE CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS.
- ANY DEVIATIONS FROM THIS PLAN MUST BE APPROVED BY THE ENGINEER OF RECORD AND MULTNOMAH COUNTY PRIOR TO IMPLEMENTATION.
- CONTRACTOR IS RESPONSIBLE FOR VERIFYING SOIL CONDITIONS AT THE FOOTINGS BEARING SURFACE AND IS SOLELY RESPONSIBLE FOR THE PERFORMANCE OF THE FOOTINGS.
- EXISTING GRADES SHALL BE VERIFIED BY THE CONTRACTOR BEFORE PROCEEDING WITH THE GRADING WORK. SHOULD ANY DISCREPANCIES BE DISCOVERED IN THE EXISTING GRADES OR DIMENSIONS GIVEN ON THE PLANS, THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE ENGINEER OF RECORD BEFORE PROCEEDING WITH THE WORK.
- THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF EXISTING UTILITIES BEFORE STARTING WORK, AND AGREES TO BE FULLY RESPONSIBLE FOR DAMAGES DUE TO THE CONTRACTOR'S FAILURE TO LOCATE AND PRESERVE ALL UNDERGROUND UTILITIES.
- EROSION CONTROL MEASURE SHALL BE IMPLEMENTED PRIOR TO COMMENCEMENT OF GRADING ACTIVITIES AND MAINTAINED THROUGHOUT CONSTRUCTION.
- BEST MANAGEMENT PRACTICES (BMPs) SHALL BE IMPLEMENTED TO MINIMIZE SEDIMENT TRANSPORT OFF-SITE.
- THE SITE SHALL BE GRADED TO ENSURE POSITIVE DRAINAGE AWAY FROM ALL BUILDINGS AND STRUCTURES.
- THE MAXIMUM ALLOWABLE SLOPE FOR CUT AND FILL AREAS SHALL NOT EXCEED 3:1 (H:V) UNLESS OTHERWISE APPROVED BY A GEOTECHNICAL ENGINEER.
- GRADING OPERATIONS SHALL BE PERFORMED IN ACCORDANCE WITH GEOTECHNICAL RECOMMENDATIONS.
- ALL DRAINAGE STRUCTURES, SWALES, AND DETENTION BASINS SHALL BE INSTALLED PER THE APPROVED PLANS AND IN COMPLIANCE WITH MULTNOMAH COUNTY STANDARDS.
- ALL STORMWATER RUNOFF SHALL BE DIRECTED TO APPROVED DETENTION FACILITIES OR DISCHARGE POINTS.
- INLET AND OUTLET PROTECTION SHALL BE INSTALLED AT ALL STORMWATER DISCHARGE LOCATIONS.
- ROOF DRAINS AND DOWNSPOUTS SHALL BE DIRECTED TO APPROPRIATE DRAINAGE FACILITIES TO PREVENT PONDING NEAR BUILDING FOUNDATIONS.
- CONTRACTOR SHALL VERIFY THE LOCATION AND DEPTH OF ALL EXISTING UTILITIES PRIOR TO EXCAVATION AND COORDINATE WITH UTILITY PROVIDERS AS NECESSARY.
- ANY DEFICIENCIES FOUND DURING INSPECTIONS SHALL BE CORRECTED IMMEDIATELY.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR DUST CONTROL AND SHALL COMPLY WITH LOCAL AIR QUALITY REGULATIONS.
- ALL DISTURBED AREAS SHALL BE RESTORED TO PRE-CONSTRUCTION CONDITIONS OR BETTER UPON PROJECT COMPLETION.
- IF UNFORESEEN SITE CONDITIONS ARISE, THE CONTRACTOR SHALL NOTIFY THE ENGINEER OF RECORD AND MULTNOMAH COUNTY IMMEDIATELY FOR RESOLUTION.

LEGEND


- PROPERTY LINE
- BUILDING SETBACK
- LANDSCAPE BUFFER
- EXISTING CONTOUR
- EXISTING GRADE ELEVATION
- FINISH GRADE ELEVATION
- TOP OF SIDEWALK ELEVATION
- FLOWLINE ELEVATION
- LOW POINT ELEVATION
- HIGH POINT ELEVATION
- TO MATCH EXISTING ELEVATION
- FLOW DIRECTION
- GRADE BREAK

EARTHWORK QUANTITIES

EARTHWORK	
EXCAVATION	2077 CY
EMBANKMENT	2200 CY
NET	123 CY (FILL)



**BLUE SKY**  
ENGINEERS



REGISTERED PROFESSIONAL ENGINEER  
SCOTT REED  
OREGON  
NO. 12,345  
EXPIRES: 12/31/2024

DATE	CHECKED BY	DRAWN BY	DESIGNED BY

REED BARN  
12424 NW SPRINGVILLE ROAD  
PORTLAND, OREGON 97229

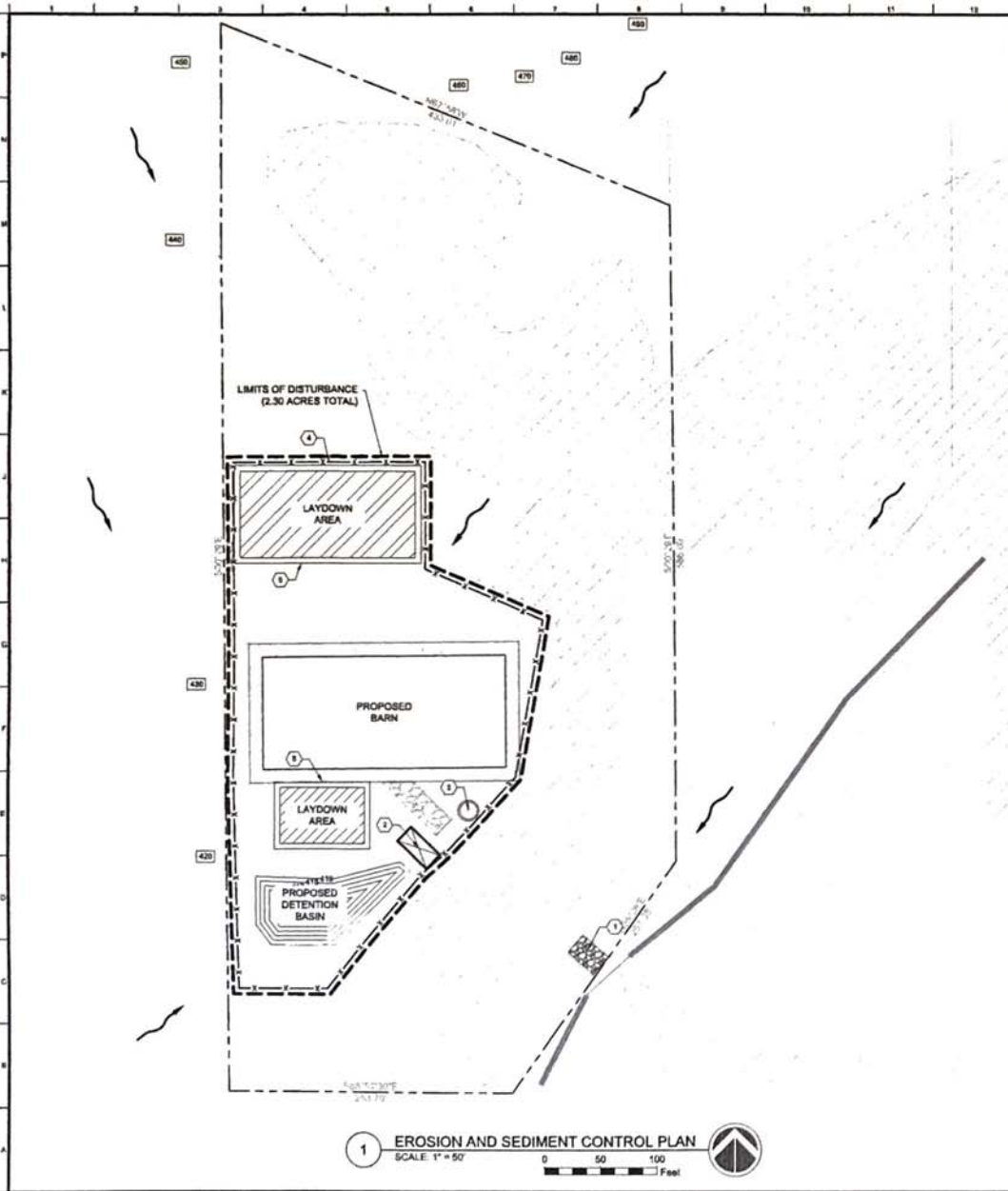
GRADING AND DRAINAGE PLAN

REV.	DESCRIPTION	DATE

SHEET:  
**C-2**

25-033625-SE

AR



- GENERAL NOTES**
- TOTAL AREA OF THE SITE: 7.67 ACRES (334,105 SF)
  - DISTURBED AREA: 2.30 ACRES (100,168 SF)
  - ANY DRAIN INLETS PRESENT AT THE TIME OF CONSTRUCTION SHALL BE PROTECTED DURING CONSTRUCTION WITH DRAIN INLET BMP'S
  - NO DRYWELLS WILL BE UTILIZED FOR THIS PROJECT
  - ALL PORTABLE TOILETS AND WASH STATIONS WILL BE STAKED
  - THE MINIMUM INSPECTION SCHEDULE WILL BE EVERY 14 DAYS AND WHENEVER THERE IS A RAIN EVENT OF 0.5" OR GREATER
  - AN ON-SITE CONCRETE WASHOUT AREA WILL BE PROVIDED
  - ADJACENT ROADS WILL BE INSPECTED DAILY FOR TRACK-OUT AND SWEEP AS NEEDED
  - GRADING LIMITS WILL BE CLEARLY STAKED
  - THIS PROJECT WILL FOLLOW OBTAIN ALL PERMITS REQUIRED BY OREGON DEPARTMENT OF ENVIRONMENTAL QUALITY
  - ALL BASINS WILL BE PROTECTED FROM SEDIMENT AND EROSION DURING CONSTRUCTION
  - ALL BMP'S WILL BE INSTALLED PER INDUSTRY STANDARDS
  - POST CONSTRUCTION STABILIZATION WILL INCLUDE THE FULL ESTABLISHMENT OF LANDSCAPING AND NATIVE RESTORATION AREAS, MAINTENANCE OF DRAINAGE PATTERNS, AND MAINTENANCE OF THE ON-SITE DETENTION BASIN.
  - ALL SILT AND DEBRIS SHALL BE REMOVED FROM ALL DEVICES WHENEVER SUCH MAY POSE A POTENTIAL HAZARD DOWNSTREAM.
  - CONTROL DUST WITH WATER TRUCKS OR OTHER SUITABLE METHODS. GRADED AREAS SHALL BE THOROUGHLY WATERED AFTER CONSTRUCTION ACTIVITY HAS CEASED FOR THE DAY AND ON WEEKENDS.
  - USE TEMPORARY BERMS AND CUT-OFF DITCHES, WHERE NEEDED, FOR EROSION CONTROL.
  - CONSTRUCTION PERMANENT EROSION AND DRAINAGE CONTROL FEATURES AS EARLY AS POSSIBLE. ALL CUT AND FILL SLOPES SHALL BE SODDED OR PLANTED IMMEDIATELY AFTER GRADING HAS BEEN COMPLETED.
  - MAINTAIN EROSION CONTROL MEASURES UNTIL ESTABLISHMENT OF GRASS AND LANDSCAPE PLANTING
  - EROSION AND SEDIMENT CONTROL MEASURES SHALL BE IN PLACE AND FUNCTIONAL BEFORE EARTH MOVING OPERATIONS BEGIN. THESE MEASURES SHALL BE PROPERLY CONSTRUCTED AND MAINTAINED THROUGHOUT THE CONSTRUCTION PERIOD.
  - A SPECIFIC INDIVIDUAL SHALL BE DESIGNATED TO BE RESPONSIBLE FOR EROSION AND SEDIMENT CONTROLS.
  - TEMPORARY SOIL STABILIZATION WITH APPROPRIATE VEGETATION SHALL BE APPLIED ON AREAS THAT REMAIN UNFINISHED FOR MORE THAN 30 CALENDAR DAYS.
  - PERMANENT SOIL STABILIZATION WITH PERENNIAL VEGETATION OR PAVEMENT SHALL BE APPLIED AS SOON AS PRACTICAL AFTER FINAL GRADING. IRRIGATION AND MAINTENANCE OF THE PERENNIAL VEGETATION SHALL BE PROVIDED FOR 30 DAYS OR UNTIL THE VEGETATION TAKES ROOT, WHICHEVER IS SHORTER.
  - FILL SHALL BE COMPOSED OF EARTH MATERIALS ONLY
  - CUT AND FILL SLOPES SHALL NOT EXCEED A 33% GRADE
  - NON-EROSION POLLUTION ASSOCIATED WITH CONSTRUCTION SUCH AS PESTICIDES, PETROCHEMICALS, SOLID WASTES, CONSTRUCTION CHEMICALS, OR WASTEWATERS SHALL BE PREVENTED FROM LEAVING THE CONSTRUCTION SITE THROUGH PROPER HANDLING, DISPOSAL, CONTINUOUS SITE MONITORING, AND CLEAN-UP ACTIVITIES.
  - TOTAL CUMULATIVE DEPOSIT OF FILL ON THE SITE FOR THE 20-YEAR PERIOD PRECEDING THE DATE OF THE ESC PERMIT APPLICATION, INCLUDING THE FILL PROPOSED IN THE ESC PERMIT APPLICATION, SHALL NOT EXCEED 5,000 CUBIC YARDS.

- KEY NOTES**
- GRAVEL CONSTRUCTION ENTRANCE (SEE SHEET C-4 FOR DETAIL)
  - SOLID WASTE CONTAINER
  - CONCRETE WASHOUT (SEE SHEET C-4 FOR DETAIL)
  - SILT FENCE (SEE SHEET C-4 FOR DETAIL)
  - SEDIMENT FILTER SOCK (SEE SHEET C-4 FOR DETAIL)

**LEGEND**

	GRAVEL CONSTRUCTION ENTRANCE
	PORTABLE TOILET
	CONCRETE WASHOUT AREA
	SOLID WASTE CONTAINER
	SILT FENCE
	SEDIMENT FILTER SOCK
	DRAIN INLET PROTECTION
	LIMITS OF DISTURBANCE
	FLOW DIRECTION

EARTHWORK	
EXCAVATION	2077 CY
EMBANKMENT	2200 CY
NET	123 CY (FILL)

**BLUE SKY**  
ENGINEERS

REGISTERED PROFESSIONAL ENGINEER  
OREGON  
LICENSE NO. 85555PE  
EXPIRES 12/31/2022

DATE	2/19/25	SM	CM	DM
CHECKED BY:				
DRAWN BY:				
DESIGNED BY:				

REED BARN  
12424 NW SPRINGVILLE ROAD  
PORTLAND, OREGON 97229

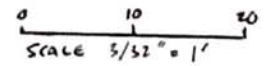
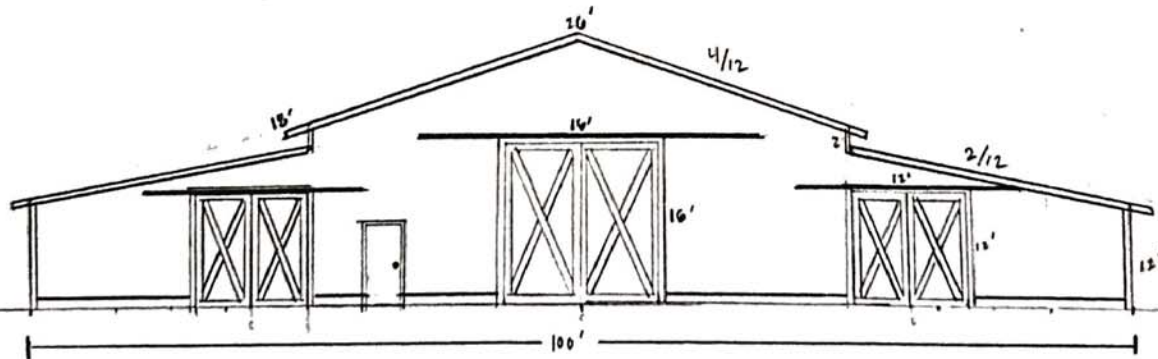
EROSION AND SEDIMENT CONTROL PLAN

REV.	DESCRIPTION	DATE

SHEET:  
**C-3**

EAST & WEST ELEVATIONS

Page 6 of 8

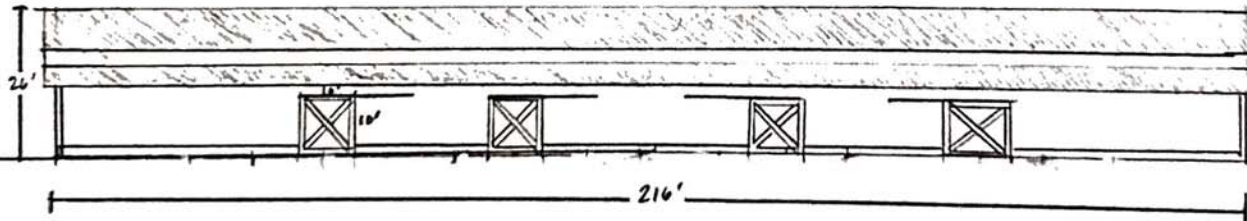


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RR Ex. B.20.b, Pg. 20

NORTH & SOUTH ELEVATIONS

Page 7 of 8



0 20 40  
SCALE 1/32" = 2'

FLOOR PLAN

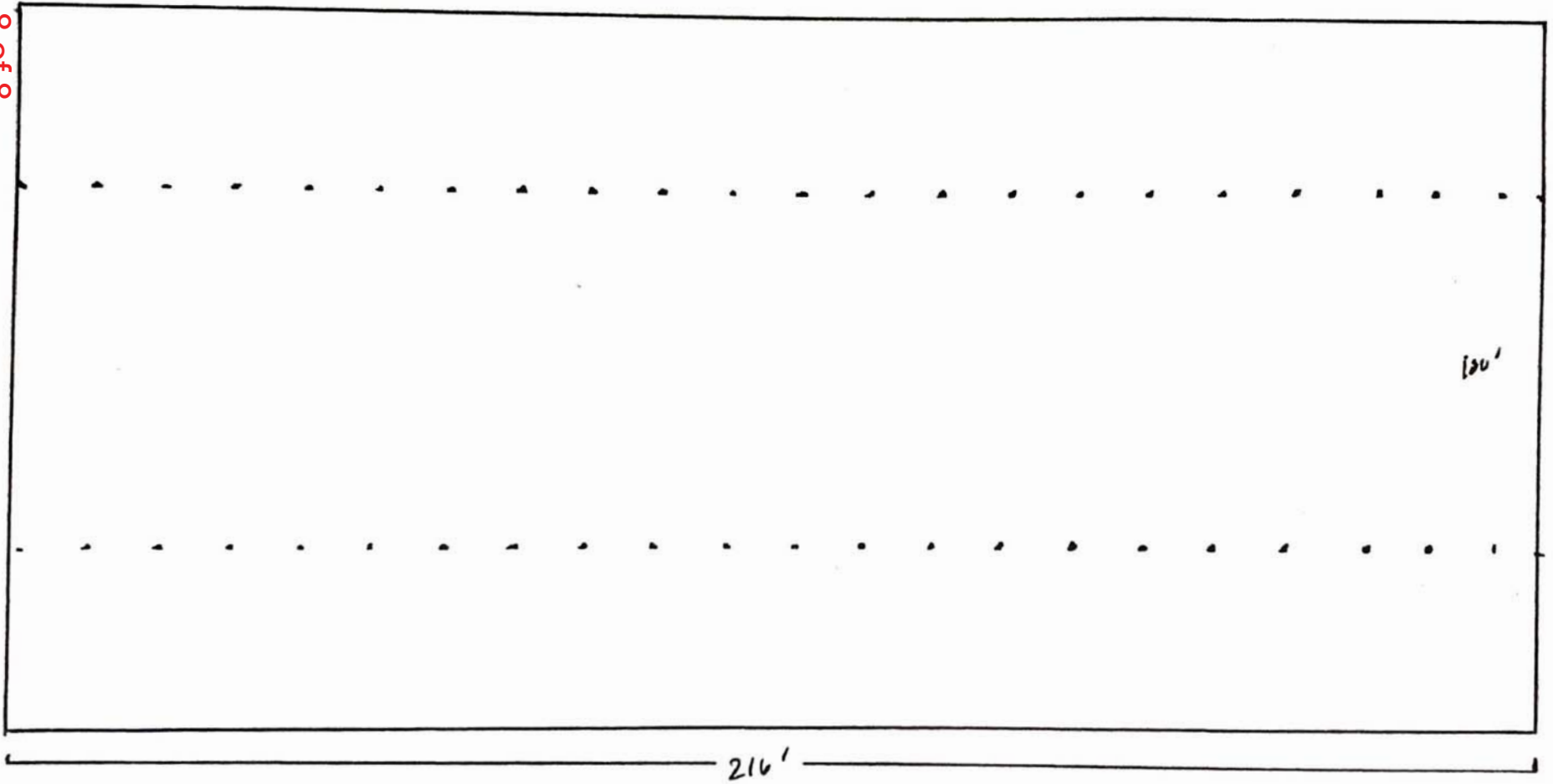
Open floor plan, no  
interior plumbing.

25-033625-SE

Ex. B.20.b, Pg. 21

LR

Page 8 of 8



0 20 40  
SCALE - 3/32" = 1'