

AGENCY REVIEW

Land Use Planning Division



www.multco.us/landuse ■ Email: land.use.planning@multco.us ■ Phone: (503) 988-3043

Attached is a site review permit application (as submitted). Please evaluate and comment on these materials so that we can incorporate your feedback into our completeness review. This is not a substitute for public notice of a complete application. Once we determine the application is complete an additional notice will be mailed (with any revised information), offering you the opportunity to comment or informing you of a date for public hearing, as appropriate.

National Scenic Area Site Review

- To:**
- ☒ Gorge Commission / Cultural Advisory Committee
 - ☒ U.S. Forest Service NSA Office
 - ☒ Confederated Tribes of Warm Springs
 - ☒ Confederated Tribes of the Umatilla Indian Reservation
 - ☒ Nez Perce Tribe
 - ☒ Confederated Tribes & Bands of the Yakama Nation
 - ☒ State Historic Preservation Office
 - ☒ Oregon Department of Transportation
 - ☒ PSU / Institute for Natural Resources
 - ☒ Oregon Department of Fish and Wildlife
 - ☐ City of Troutdale

From: Rithy Khut, Senior Planner

Vicinity Map

N↑



Case File: T3-2025-0001

Location: 36930 E Hist Columbia River Hwy, Corbett
Map, Tax lot: 1N4E35BA -02201

Property ID # R661079

Alt. Acct. # R665600200

Proposal: Request for a Condition Use and National Scenic Area (NSA) Site Review for a Fire Station

Your written comments are needed no later than **4:00 p.m., Wednesday, February 26, 2025.**

Zoning: Gorge General Rural Center (GGRC)



GMA



SMA

National Scenic Area resources that may be impacted by this project include:

- | | | |
|--|---|--|
| ☒ Key Viewing Areas | ☒ Cultural Resource | ☐ Wetland/Stream/Lake Buffer |
| ☐ Sensitive Wildlife Habitat | ☐ Rare Plants | ☐ Deer/Elk Wintering Range |
| ☒ Historic Uses/Structures | ☐ Natural Area | ☐ Adjacent to Recreational Uses |

Paid: 30-Jan-2025
10:08:38 PST
Method: CC
NSA \$3,108.00
HS \$35.00
NF \$319.00
CU Deposit
\$4,237.00
Total: \$7,699.00

APPLICATION FORM

Land Use Planning Division



T3-2025-0001

Email: land.use.planning@multco.us ▪ Phone (503) 988 - 3043 ▪ www.multco.us/landuse

Property Information: (Include all properties)

Property Address: 36930 East Historic Columbia River Highway

Tax Account #(s): R661079

Applicant Information:

Printed Name(s): Peter Finley Fry

Mailing Address: 303 NW Uptown Terrace #1B

City: Portland State: OR Zip: 97210 Phone: 503 703-8033

Email(s): peter@finleyfry.com

Property Owner Information: (Signatures from all property owners are required)

☒ Property Owner(s) or ☐ Contract Purchaser(s) [Include Copy of Signed Contract]

Printed Name(s): Dave Flood, Fire Marshal, Multnomah Rural Fire Protection Dist. #14

Mailing Address: P.O. Box 1

City: Corbett State: OR Zip: 97019 Phone: _____

Email(s): dflood@corbettfire.com

I, as a property owner grant permission for _____
(Applicant Name) to apply for all required applications to complete the proposal in the
'Application Request' section below.

Signature #1: [Signature] Date: 1-9-25

Signature #2: _____ Date: _____

NOTES: If the property owner is a Corporation, LLC, Non-Profit or other entity that is not an individual, please provide documentation that the person signing for the entity is authorized to sign.

☐ If more than two property owner(s), or if the property owners do not have the same mailing address, attach a signed Letter of Authorization from the additional owner(s). All signatures shall be dated within the last six months.

Application Request:

What is being proposed for the property (ex: Establish a new single-family dwelling):

A new fire equipment building is proposed with associated site improvements.

Associated Pre-files/Pre-Application/Land Use Cases: PA-2024-0005

Permit Request: (Click 'Application Picker' on the portal to find Land Use Planning Applications.)

Zoning Plan Review

☐ Accessory Structure Registration (# Requested _____)	☐ Agricultural Building Review (# Requested _____)	☐ Demo Permit Only
☐ Minimal Impact Project	☐ Storm Water Drainage Control	☐ Zoning Plan Review
☐ Revision to Zoning Plan Review	☐ Other:	

Modification of WCF

☐ Spectrum Act Wireless Communication Facility Review (Pursuant to Section 6409A)
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Condition of Approval Verification

☐ Condition of Approval Verification

Land Use Compatibility Statement (LUCS)

☐ Land Use Compatibility Statement (LUCS)
--

Type I (Discuss with a planner if you should submit a Type I at the same time as a Type II/III)

☐ Address Assignment / Re-assignment	☐ Agricultural Fill Permit	☐ Agri-Tourism Permit (One Day Event)
☐ Erosion & Sediment Control	☐ Farm Stand (Type I)	☐ Floating Structure Placement
☐ Flood Development	☐ Health Hardship Renewal	☐ Land Division Final Review
☐ Lot Consolidation	☐ Lot Legalization (Type I)	☐ Marijuana Business
☐ PLA Final Review	☐ SEC-h (Type I)	☐ Time Extension (NSA/CFU/EFU)
☐ Sign Permit	☐ Type A Home Occupation	☐ Other:

Type II Expedited

☐ NSA Expedited Review	☐ NSA Expedited Review – Renewable Energy Systems
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Type II

☐ Accessory Use	☐ Adjustment	☐ Admin. Modification of Conditions
☐ Design Review	☐ Exception to CFU Secondary Fire Safety Zone	Home Occupations ☐ Type B
☐ Limited Design Review		☐ Non-hearing Type C
☐ Geologic Hazards	☐ Health Hardship Permit	☐ Forest Development Standards
☐ Home Occupation Renewal (Type B & C)	Land Division ☐ Category 3 ☐ Category 4	☐ Lot Legalization (Type II)
☐ Lot of Exception	☐ Lot of Record (# Requested _____)	☐ NSA Major Variance (Non hearing)
☐ NSA Minor Variance (Non hearing)	☐ NSA Site Review – Renewable Energy Systems	☐ NSA Emergency / Disaster Response Permit
☒ NSA Site Review	☐ NSA Parcel Determination	☐ NSA Emergency Response for Septic System
New Forest Dwelling ☐ Template	☐ Nonconforming Use	☐ Time Extension (Not EFU/CFU/NSA)
☐ Heritage ☐ Large Acreage		☐ Temporary Permit
☐ Property Line Adjustment	☐ Replat	
☐ SEC	☐ SEC-h	☐ SEC-s
☐ SEC-sw	☐ SEC-v	☐ SEC-w
☐ SEC-wr		
☐ Willamette River Greenway	☐ Planning Director Decision:	

Type III / Type IV

☒ Conditional Use	☐ Community Service Cond. Use	Land Division ☐ Category 1 ☐ Category 2
☐ Variance	☐ Type IV Quasi-Judicial Plan Revision	☐ Type IV Quasi-Judicial Zone Change
☐ Other:		

LETTER OF AUTHORIZATION

Land Use Planning Division



www.multco.us/landuse ■ Email: land.use.planning@multco.us ■ Phone: (503) 988-3043

Property Information:

Property Address or Tax Account #(s): R661079 36930 E Hist Columbia River Hwy

Application Request:

What is being proposed for the property (ex: Establish a new single-family dwelling):

Fire station alteration

PROPERTY OWNER INFORMATION:

I am grant permission for Peter Finley Fry (Applicant Name) to apply for all required applications to complete the proposal in the 'Application Request' section above.

PROPERTY OWNER #1:

Printed Name: Fire District #14; Dave Flood, Fire Marshal Phone: 503-803-5244

Mailing Address: P.O. Box 1

City: Corbett

State: Oregon Zip: 97019

Email: _____

Signature: [Signature]

Date: 1-9-25

PROPERTY OWNER #2:

Printed Name: _____

Phone: _____

Mailing Address: _____

City: _____

State: _____

Zip: _____

Email: _____

Signature: _____

Date: _____

PROPERTY OWNER #3:

Printed Name: _____

Phone: _____

Mailing Address: _____

City: _____

State: _____

Zip: _____

Email: _____

Signature: _____

Date: _____

NOTE: All Property Owners signatures shall be dated within the last six months.

Property

Owner

Property Address

R661079

MULTNOMAH COUNTY RURAL FIRE PROTECTION DISTRICT #14

36930 E HIST COLUMBIA RIVER HWY, CORBETT, OR 9

GENERAL INFORMATION

Property Status	A Active
Property Type	Commercial
Legal Description	POFFENBERGER, LOT 4
Alternate Account Number	R665600200
Neighborhood	CN16
Map Number	1N4E35BA -02201
Property Use	UK - PUBLIC BLDG
Levy Code Area	074

RELATED PROPERTIES

Split/Merge data prior to February 6, 2018 is not available online, please contact Multnomah County Assessment & Taxation division.

Linked Properties	-
Property Group ID	-
Grouped Properties	-
Split / Merge Date	-
Split / Merge Accounts	-
Split / Merge Message	-

OWNER INFORMATION

Owner Name	MULTNOMAH COUNTY RURAL FIRE PROTECTION DISTRICT #14
Mailing Address	PO BOX 1 CORBETT, OR 97019-0001

EXEMPTIONS

EXEMPTION CODE	EXEMPTION DESCRIPTION	EXPIRATION YEAR
19	19-Other Municipal Corporations	-

IMPROVEMENTS

⌵ Expand/Collapse

⊕ Improvement #1	Improvement Type	Building Type	Class
-	MISCELLANEOUS	-	-
⊕ Improvement #2	Improvement Type	Building Type	Class
-	MISCELLANEOUS	-	-
Improvement #3	Improvement Type	Building Type	Class
-	MISCELLANEOUS	-	-

LAND SEGMENTS

LAND NO	LAND TYPE	LAND SIZE
L1	COM COMMERCIAL LAND	94,647 Sq. ft
TOTALS		94,647 Sq. ft / 2.17 acres

ASSESSED VALUES

YEAR	IMPROVEMENTS	LAND	SPECIAL MARKET / USE	RMV	M5 VALUE	EXEMPTIONS	M50 ASSESSED
2024	\$627,980	\$182,120	- / -	\$810,100	-		19
2023	\$565,730	\$182,120	- / -	\$747,850	-		19
2022	\$500,650	\$182,120	- / -	\$682,770	-		19
2021	\$500,650	\$182,120	- / -	\$682,770	-		19
2020	\$510,860	\$182,120	- / -	\$692,980	-		19
2019	\$473,040	\$175,120	- / -	\$648,160	-		19
2018	\$482,680	\$178,690	- / -	\$661,370	-		19
2017	\$392,420	\$145,090	\$0 / \$0	\$537,510	\$0		19
2016	\$363,360	\$134,350	- / \$0	\$497,710	\$0		19
2015	\$363,360	\$134,350	\$0 / \$0	\$497,710	\$0		19
2014	\$390,710	\$144,460	\$0 / \$0	\$535,170	\$0		19

SALES HISTORY

DEED	SELLER	BUYER	INSTR #	DATE	CONSIDERATION AM
WD	POFFENBERGER,ROY A JR	MULTNOMAH COUNTY RURAL FIRE PROTECTION DISTRICT #14	BP18931578	3/24/1986	-

- If applicable, the described property is receiving special valuation based upon its use. Additional rollback taxes which may become due based on the provisions of the special valuation are not indicated in this listing.

TAX SUMMARY

Effective Date: 1/21/2025 [Details](#)

TAXYEAR	TOTAL BILLED	AD VALOREM	SPECIAL ASMT	PRINCIPAL	INTEREST	DATE PAID	TOTAL OWED
2024	\$0.00	\$0.00	\$0	\$0.00	\$0.00	-	\$0.00
2023	\$0.00	\$0.00	\$0	\$0.00	\$0.00	-	\$0.00
2022	\$0.00	\$0.00	\$0	\$0.00	\$0.00	-	\$0.00
2021	\$0.00	\$0.00	\$0	\$0.00	\$0.00	-	\$0.00
2020	\$0.00	\$0.00	\$0	\$0.00	\$0.00	-	\$0.00
2019	\$0.00	\$0.00	\$0	\$0.00	\$0.00	-	\$0.00
2018	\$0.00	\$0.00	\$0	\$0.00	\$0.00	-	\$0.00
2017	\$0.00	\$0.00	\$0	\$0.00	\$0.00	-	\$0.00
2016	\$0.00	\$0.00	\$0	\$0.00	\$0.00	-	\$0.00
2015	\$0.00	\$0.00	\$0	\$0.00	\$0.00	-	\$0.00
2014	\$0.00	\$0.00	\$0	\$0.00	\$0.00	-	\$0.00

Payment History for R661079 not found.
Please contact the district if you have further questions.

TOTAL TAXES DUE

Current Year Due

Past Years Due

Total Due

[Pay Online](#)

[All Payment Options](#)

CONDITIONAL USE Request for Approval

January 18, 2025

Applicants: Owner

MULTNOMAH COUNTY RURAL FIRE PROTECTION DISTRICT #14
PO BOX 1
Corbett, Oregon 97019

Planning Consultant:

Phone: 503-703-8033

Peter Finley Fry AICP
303 NW Uptown Terrace, 1B
Portland, Oregon 97210

peter@finleyfry.com

Location: 36930 East Historic Columbia River Highway

Tax Lots: SID 1N4E35BA -02201

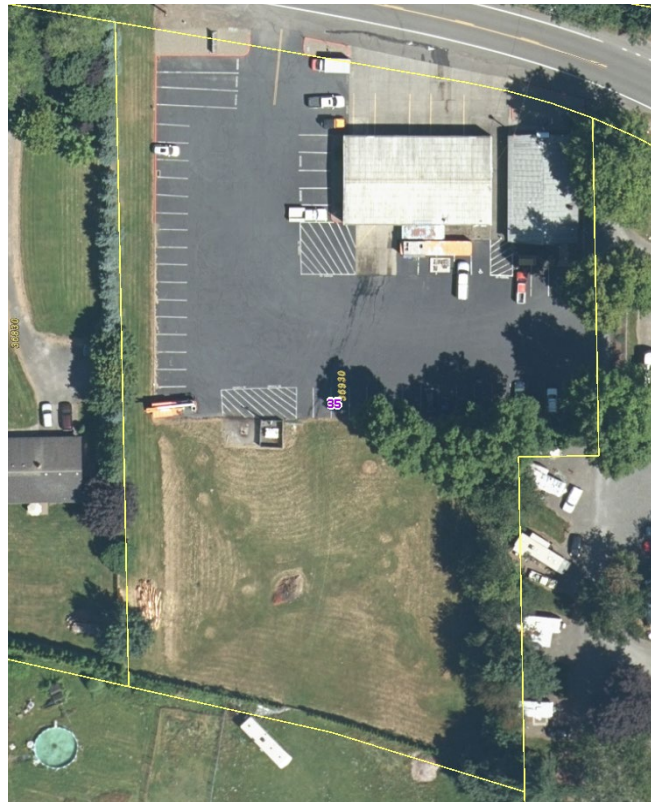
Property Tax ID: R661079

Jurisdiction: Multnomah County

Comprehensive Plan Designation/Zoning:

Columbia Gorge General Management Area Rural Commercial CGRC

Size: 2.17 acres 94,647 square feet



PROPOSAL

Corbett Fire District is a critical emergency response governmental entity that is upgrading and expanding firefighting capability in a regionally critical rural/urban interface

through the support of the area property owners. The district is also obliged to protect a federally established national scenic and recreational area. Improvements include a new building and site upgrades.



**Multnomah County Development Code – Chapter 38 –
Columbia Gorge National Scenic Area**

***General Provisions:
MCC 38.0015 Definitions, Parcel***

FINDING: The applicant has provided evidence that the parcel is a lot of record.

Gorge General Rural Center (GGRC)

FINDING: Fire Station is listed as a conditional use. MCC 38.2430 (A) Conditional Uses – Fire Station.

MCC 38.2460(C) Dimensional Requirements

(C) The minimum lot size for a conditional use permitted pursuant to MCC 38.2430, shall be based upon:

- (1) The site size needs of the proposed use;*
- (2) The nature of the proposed use in relation to the impacts on nearby properties; and*
- (3) Consideration of the purposes of this district.*

FINDING: The site includes a fully developed part (app, 60%) and the remainder has been farmed and disturbed including the location of the established rainage field. The fire district proposes to add a new building ontop the existing impervious surface, minor site work, and mnor utility work including a training tower in the southern part of the site.

MCC 38.2460 (E) Dimensional Requirements

(E) Minimum Yard Dimensions –

Front: 30 Feet
Side: 10 feet
Street Side: 30 feet
Rear: 30 feet

Maximum Structure Height – 35 feet

Minimum Front Lot Line Length – 50 feet

FINDING: The existing structures or lot ae not proposed for change. The existing lot's frontage is 199.93 lineal feet; side yard is 379.95 feet, and rear yard is 228.63 and structures do not exceed 24 feet.

MCC 38.2485 Off-Street Parking and Loading

Off-street parking and loading shall be provided as required by MCC 38.4100 through 38.4215.

FINDING: The applicant responds to MCC 38.4100 through 38.4215 with the goal to provide adequate formal parking for the negliable typical demand and sufficient multiple use to park all vehicles on paved surfaves during the training, mustering, or community events.

CONDITIONAL USE

MCC 38.7300 Review and Conditional Uses

(F) Non-Recreation Uses in GG– CR

(1) The proposed use will not interfere with existing or approved commercial recreation uses on the subject property or adjacent lands. Mitigation measures to comply with this criterion may include onsite buffers, seasonal or temporary closures during peak recreation use periods, etc.

FINDING:

(2) The proposed use will not permanently commit the majority of the site to a nonrecreational use. Careful siting and design of structure and other improvements may be utilized to comply with this criterion.

FINDING:

(3) Land divisions may be allowed upon a demonstration that the proposed land division is necessary to facilitate, enhance or otherwise improve recreational uses on the site.

**Off-Street Parking and Loading:
MCC 38.4100 through MCC 38.4215**

FINDING:

The parking area is paved and directly accessible to the entranceways.

Fire Stations are an unspecified use. The Corbett Main Station intends to provide sufficient dedicated parking for actual demand. The Main Station has 5 dedicated spaces with an accessible space. The station typically is occupied by (on average) one or two individuals. The maximum occupancy during normal period would be nine when maintenance is performed on the fire equipment.

The station is used once a month on Monday evening for "drill night" for an assembly of Corbett Fire. Fire volunteers from Aims and Springdale will park at their station and drive fire equipment to the assembly. The site contains large paved maneuvering areas that are used for temporary parking.

The Board meeting of 12 to 15 people occurs once a month. The fire district provides space for occasional community meetings. Several community events are held each year such as a "pancake breakfast". The site has large maneuvering, paved areas that provide flexible parking to meet demand. The formal parking adjacent to the office's front entrance is fully improved to code standards.

NATIONAL SCENIC AREA (NSA) SITE REVIEW

Site Review Criteria:

MCC 38.7035 GMA Scenic Review Criteria

FINDING:

The site is an emergency response facility fundamental and critical for the protection of the Columbia Gorge natural areas. Recent history has documented the severe danger of fire and health emergencies in this urban/rural interface. An interface made significantly more dangerous by the active promotion of the national scenic area and the very public invitation. The station attempts to mitigate the station's functional appearance. The fire district does argue that the site's functional use dramatically outweighs any aesthetic considerations.

The proposed development is not expected to change the view of the fire station to the traveling public. The station is only viewed from the Columbia River National Scenic Highway and can not be seen from any other public location. The proposed building is to be located behind the existing buildings and will not be visible from the scenic highway.

The applicant does propose to upgrade the siding on the fire district's office building to a neutral wood appearance and color. The garage structures are cased in a non reflective finish.

MCC 38.7045 GMA Cultural Resource Review Criteria

(A) Cultural Resource Reconnaissance Surveys

(1) A cultural reconnaissance survey shall be required for all proposed uses, except:

(c) Proposed uses that involve minor ground disturbance, as defined by depth and extent, including repair and maintenance of lawfully constructed and serviceable structures; home gardens; livestock grazing; cultivation that employs minimum tillage techniques, such as replanting pastures using a grassland drill; construction of fences; new utility poles that are installed using an auger, posthole digger, or similar implement; and placement of manufactured homes where septic systems and underground utilities are not involved. The Gorge Commission will review all land use applications and determine if proposed uses would have a minor ground disturbance.

(d) Proposed uses that occur on sites that have been disturbed by human activities, provided the proposed uses do not exceed depth and extent of existing ground disturbance. To qualify for this exception, a project applicant must demonstrate that land disturbing activities occurred in the project area. Land disturbing activities include grading and cultivation.

FINDING:

The proposed development is focused on the existing paved surfaces of the existing site that has been disturbed, developed, and used for over eighty years. The grassy area of the site has also been disturbed and contains the drainage field and other utility the applicant prefers to disturb very little of this area except a small concrete pad embedded and extended from the existing pavement for a training tower. The applicant did not conduct a cultural resource review for these reasons.

§ 38.7050 SMA CULTURAL RESOURCE REVIEW CRITERIA

(A) The cultural resource review criteria shall be deemed satisfied, except MCC 38.7050 (H), if the U.S. Forest Service or Planning Director does not require a cultural resource survey and no comment is received during the comment period provided in MCC 38.0530 (B).

FINDING:

The applicant expects that there will be no comments regarding a need to conduct a cultural resources review and respond appropriately even comments are made during the open record.

MCC 38.7053 GMA Water Resources Review Criteria

WATER RESOURCES: WETLANDS, STREAMS, PONDS, LAKES, AND RIPARIAN AREAS

FINDING:

The site is not near or has a material affect on any wetlands, streams, ponds, lakes, or riparian areas.

MCC 38.7065 GMA Wildlife Review Criteria

Wildlife Habitat Site Review shall be required for any project within 1,000 feet of Priority Habitat and sensitive wildlife areas and sensitive wildlife sites (i.e., sites used by sensitive wildlife species).

FINDING:

The site is not within 1,000 feet of priority habitat, sensitive wildlife areas, and sensitive wildlife sites.

MCC 38.7070 GMA Rare Plant Review Criteria

Rare Plant Site Review shall be required for any project within 1,000 feet of endemic plants and rare plant species.

FINDING:

The site is not within 1,000 feet of endemic plants or rare plant species.

MCC 38.7080 GMA Recreation Resource Review Criteria

All new developments and land uses shall be evaluated using the following standards to ensure that natural resources are protected from adverse effects. Proposed uses and development within wetlands, streams, ponds, lakes, riparian areas and their buffer zones shall be evaluated for cumulative effects to natural resources and cumulative effects that are adverse shall be prohibited. Comments from state and federal agencies shall be carefully considered.

GROUND DISTRIBUTION STANDARDS

MCC 39.6210 Permits Required

MCC 39.6220 Minimal Impact Project Permit

- or -

MCC 39.6225 Erosion and Sediment Control Permit

MCC 39.6235 Stormwater Drainage Control

FINDING:

The applicant does not propose to disturb any significant area of dirt. Stormwater shall be constrained and managed through construction process utilizing movable organic barriers to route and treat stormwater during construction.

LOT CONFIRMATION

January 02, 2025

GENERAL INFORMATION

Applicants: Owner

Dave Flood, Fire Marshal
MULTNOMAH COUNTY RURAL FIRE PROTECTION DISTRICT #14
PO BOX 1
Corbett, Oregon 97019

Planning Consultant:

Phone: 503-703-8033

Peter Finley Fry AICP
303 NW Uptown Terrace, 1B
Portland, Oregon 97210
peter@finleyfry.com

Location: 36930 East Historic Columbia River Highway

Property Tax #: R661079 **SID:** 1N4E35BA -02201

Jurisdiction: Multnomah County, Oregon

CONFIRMATION

The lot was created by a recorded deed (attached) on October 10, 1970 – Book 755;
Page 1610 as a lot.

**303 NW Uptown Terrace #1B
Portland, Oregon USA 97210
peter@finleyfry.com**



DRAWING INDEX

PRESENTATION

000	COVER
001	SITE PLAN
001	SITE PLAN
002	FLOOR PLANS
003	ROOF PLANS
004	EXTERIOR ELEVATIONS
005	EXTERIOR ELEVATIONS
006	EXTERIOR ELEVATIONS
007	BUILDING SECTIONS
008	COLORS AND MATERIALS
009	IMPERVIOUS AREAS



architecture and planning
1001 se sandy blvd, portland or 97214
503.544.7210 erik@emarchitecture.net
(c) 2025 em architecture llc

MAIN FIRE STATION
36930 EAST HISTORIC
COLUMBIA RIVER HWY

CONCEPT DOCUMENTS
01.15.2025

COVER

000



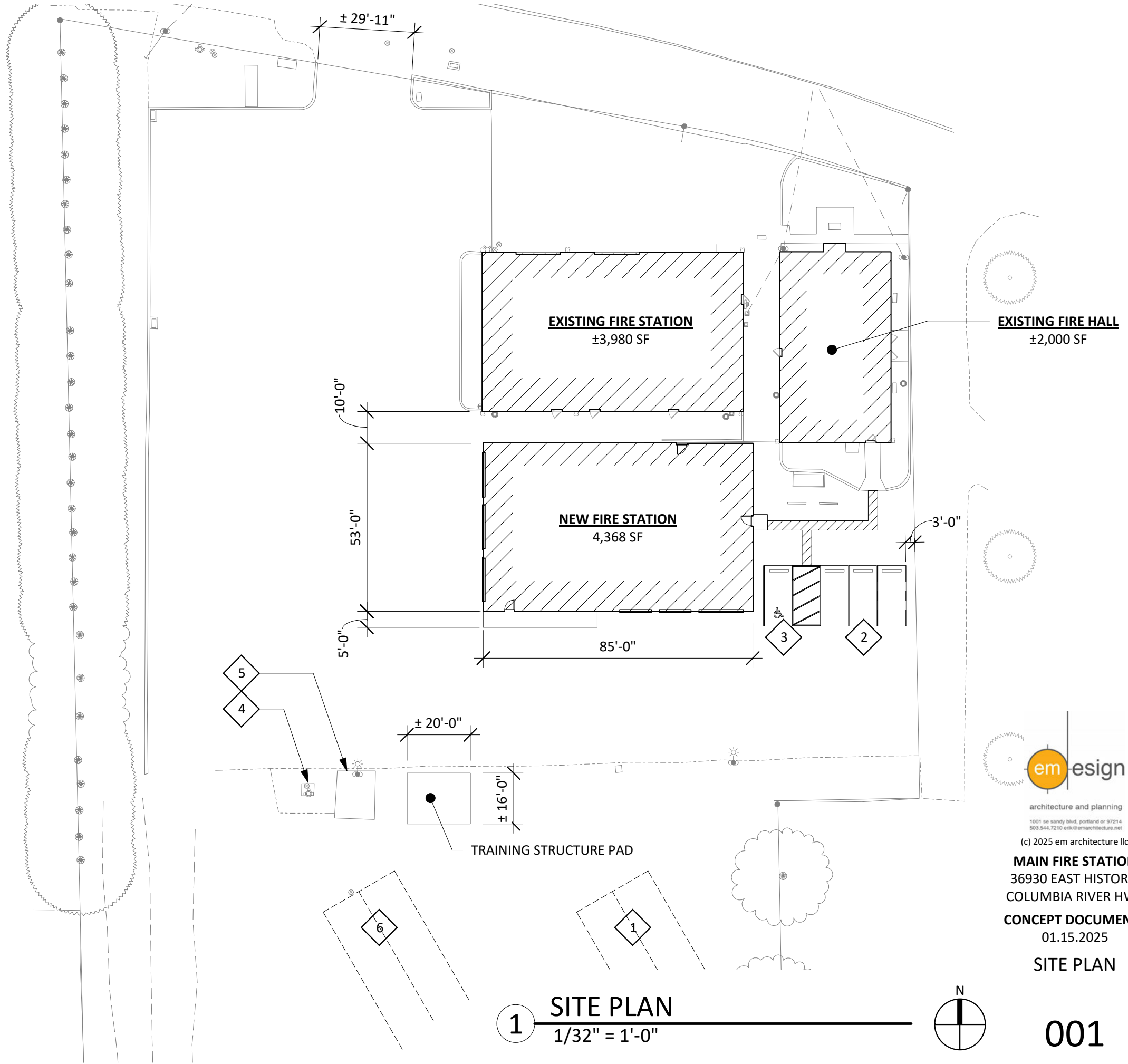
EXISTING CONDITIONS

N.T.S.

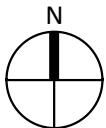
KEYNOTES



- 1 (E) SEPTIC FIELD
- 2 PARKING - 9' X 19' STALLS, TYP.
- 3 ADA PARKING WITH ACCESS AISLE
- 4 (E) WATER
- 5 (E) FUELING
- 6 FUTURE REPLACEMENT FIELD



1 SITE PLAN
1/32" = 1'-0"



architecture and planning
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503.544.7210 erik@emarchitecture.net

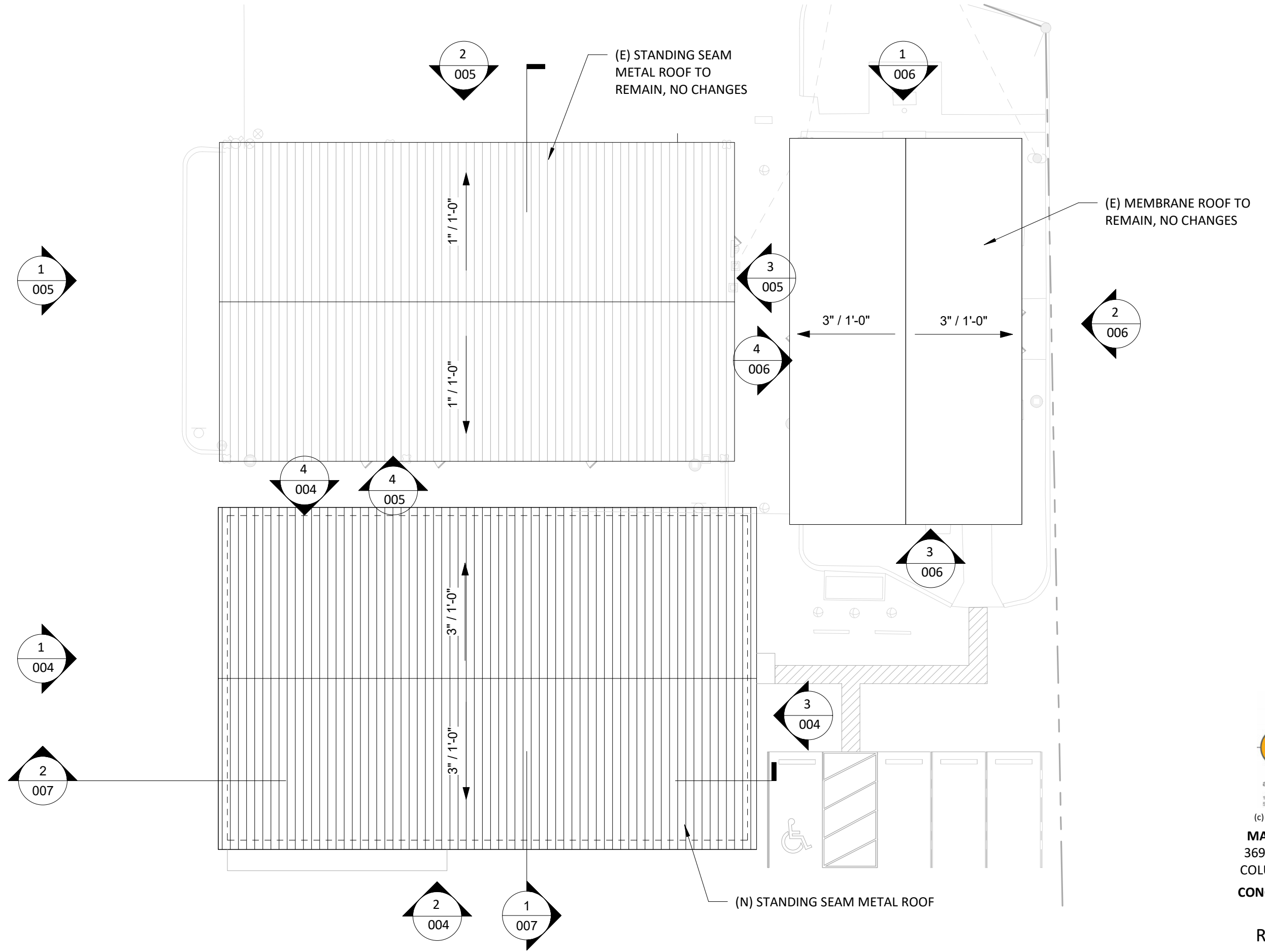
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MAIN FIRE STATION
36930 EAST HISTORIC
COLUMBIA RIVER HWY
CONCEPT DOCUMENTS
01.15.2025
SITE PLAN

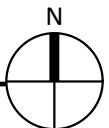
	TYP NEW WALL
	TYP EXIST. WALL
	TYP PARTIAL WALL
	DEMOLISHED WALL OR OTHER BUILDING OR SITE ELEMENT
	PROPERTY LINE
	TYP NEW DOOR
	TYP EXIST. DOOR

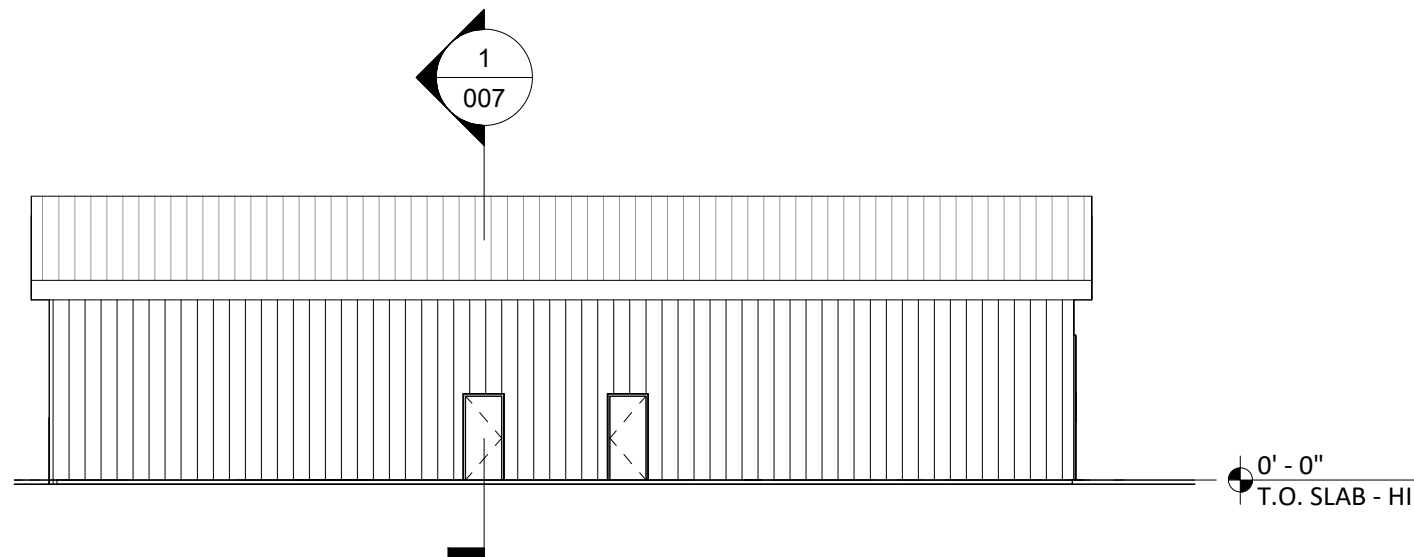


503.544.7210 enrlik@emarchitecture.net
(c) 2025 em architecture llc
MAIN FIRE STATION
36930 EAST HISTORIC
COLUMBIA RIVER HWY
CONCEPT DOCUMENT
01.15.2025
FLOOR PLANS

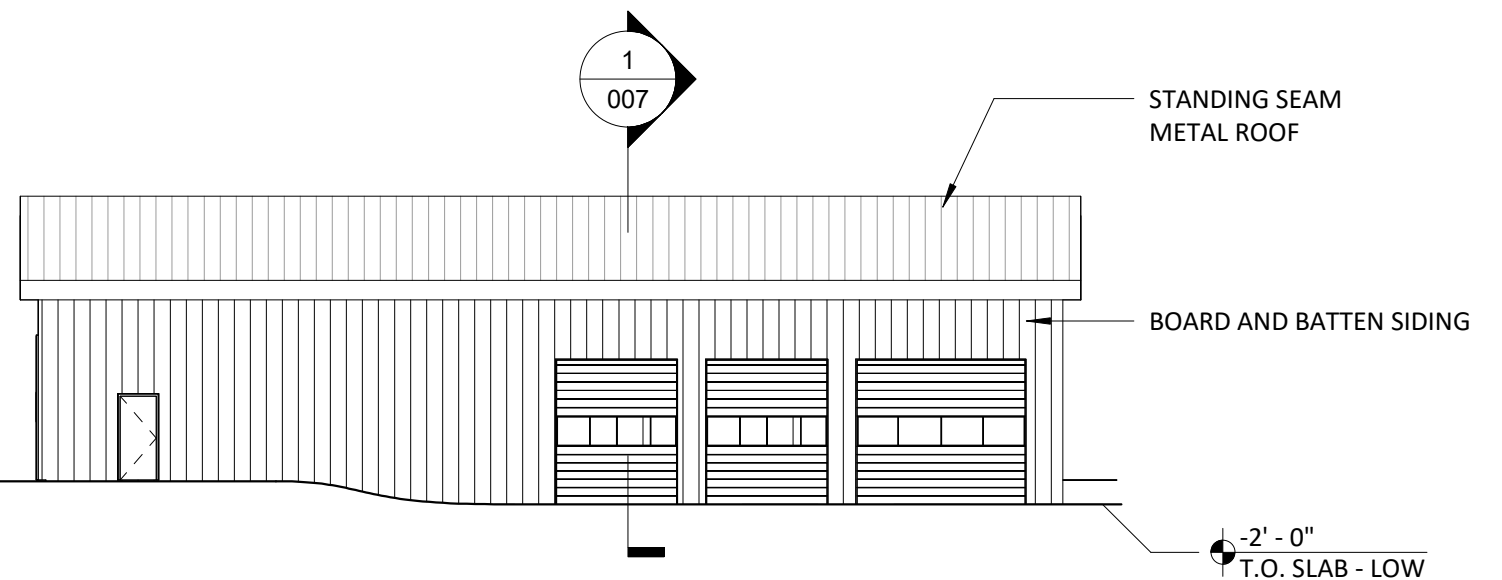


1 ROOF PLAN
1/16" = 1'-0"

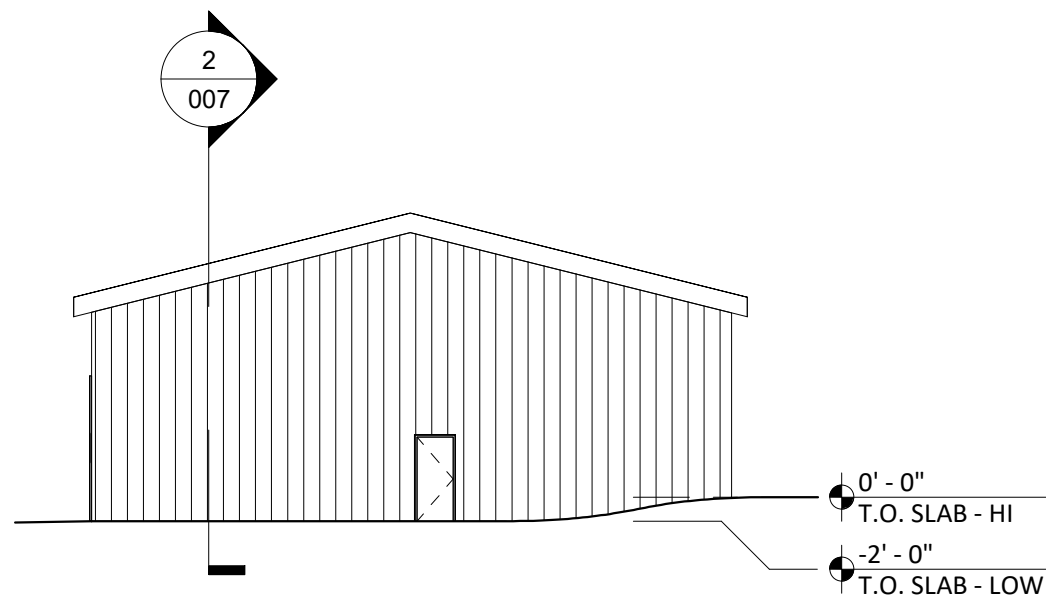




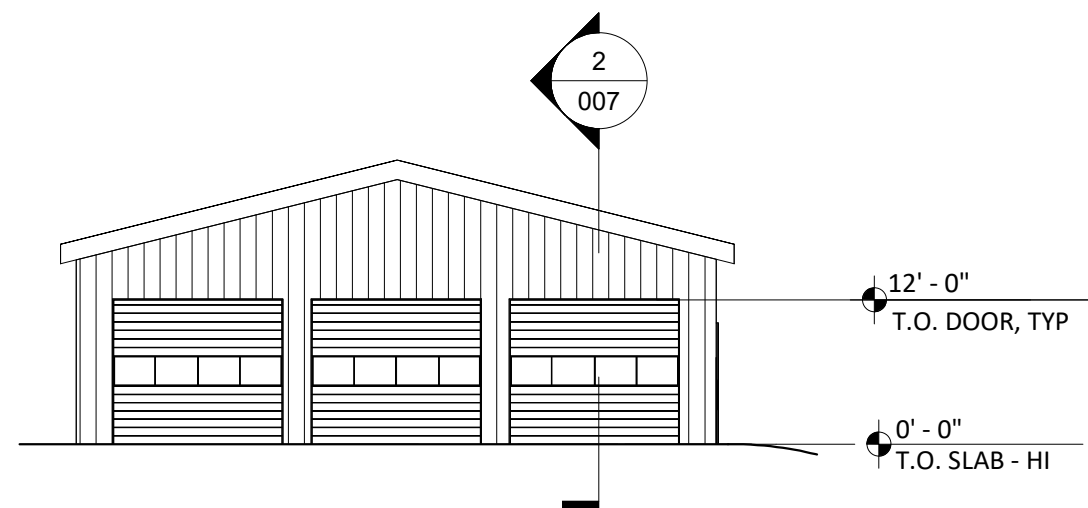
4 (N) STATION - NORTH ELEVATION
1/16" = 1'-0"



2 (N) STATION - SOUTH ELEVATION
1/16" = 1'-0"



3 (N) STATION - EAST ELEVATION
1/16" = 1'-0"



1 (N) STATION - WEST ELEVATION
1/16" = 1'-0"



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1001 se sandy blvd, portland or 97214
503.544.7210 em@emarchitecture.net

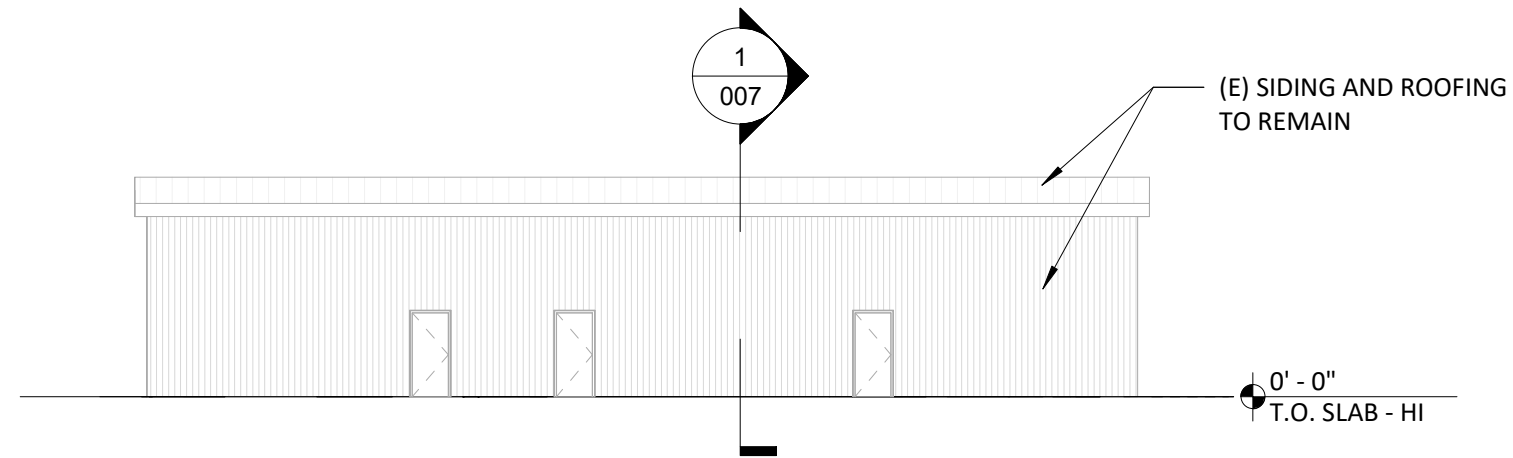
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MAIN FIRE STATION
36930 EAST HISTORIC
COLUMBIA RIVER HWY
CONCEPT DOCUMENTS

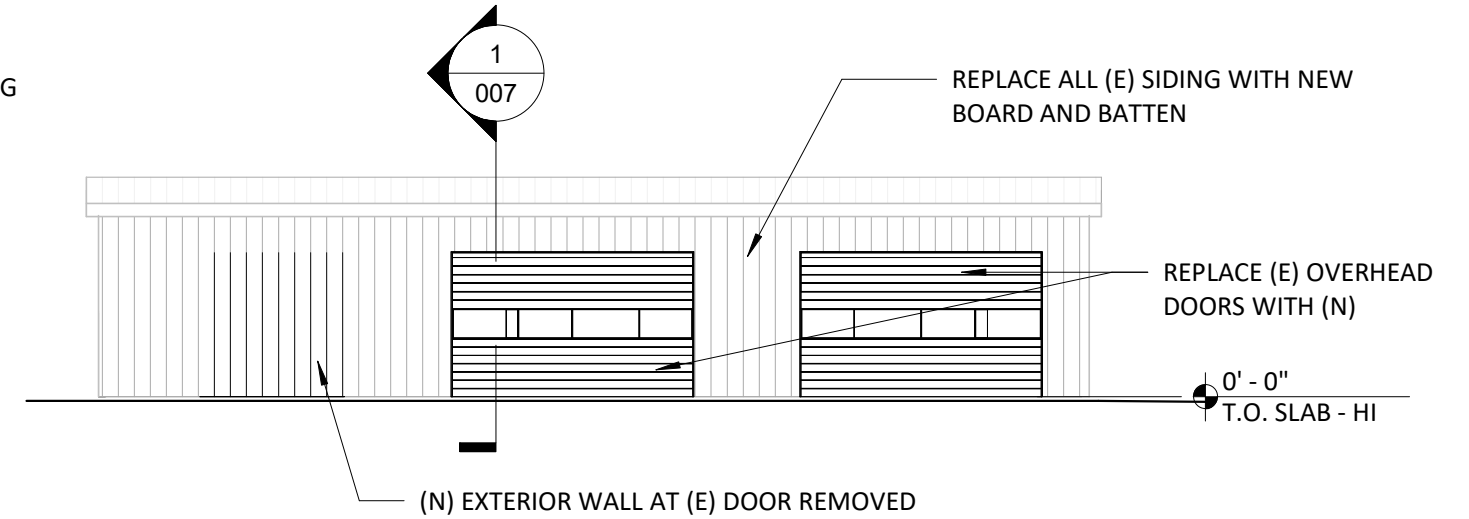
01.15.2025

EXTERIOR
ELEVATIONS

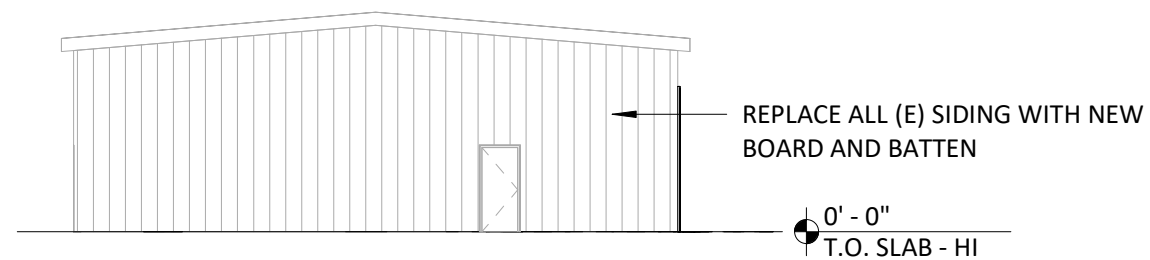
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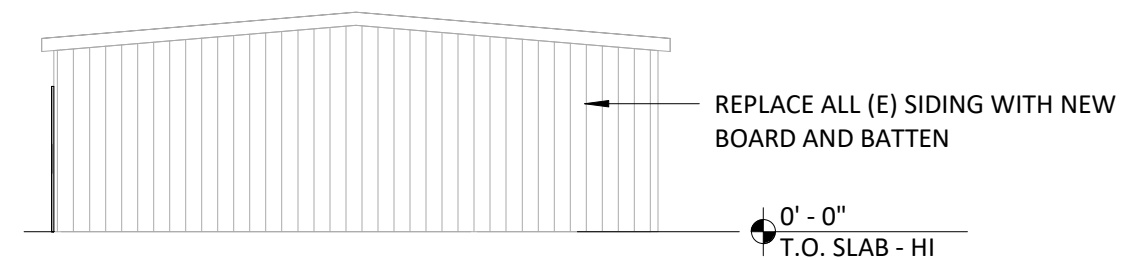
4 (E) STATION - SOUTH ELEVATION
1/16" = 1'-0"



2 (E) STATION - NORTH ELEVATION
1/16" = 1'-0"



3 (E) STATION - EAST ELEVATION
1/16" = 1'-0"



1 (E) STATION - WEST ELEVATION
1/16" = 1'-0"



architecture and planning

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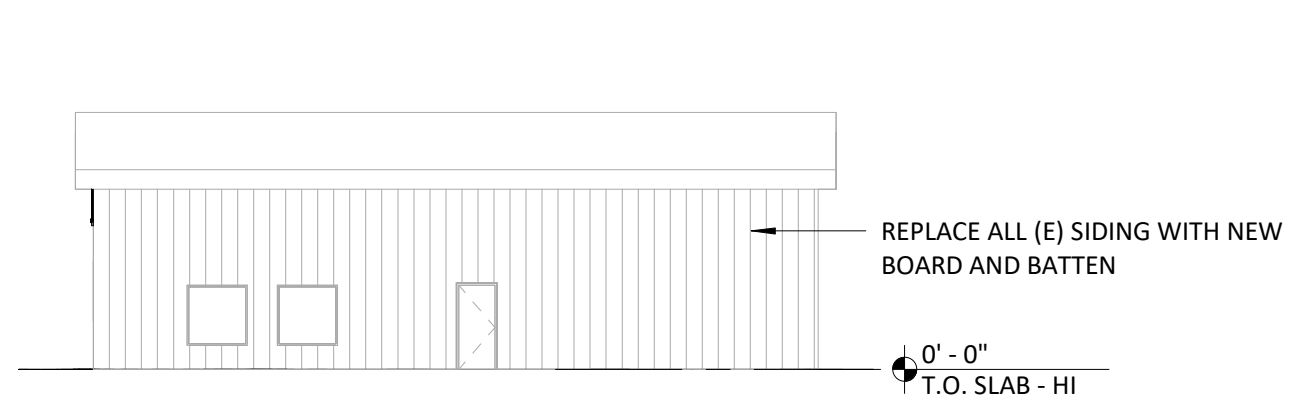
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MAIN FIRE STATION
36930 EAST HISTORIC
COLUMBIA RIVER HWY
CONCEPT DOCUMENTS

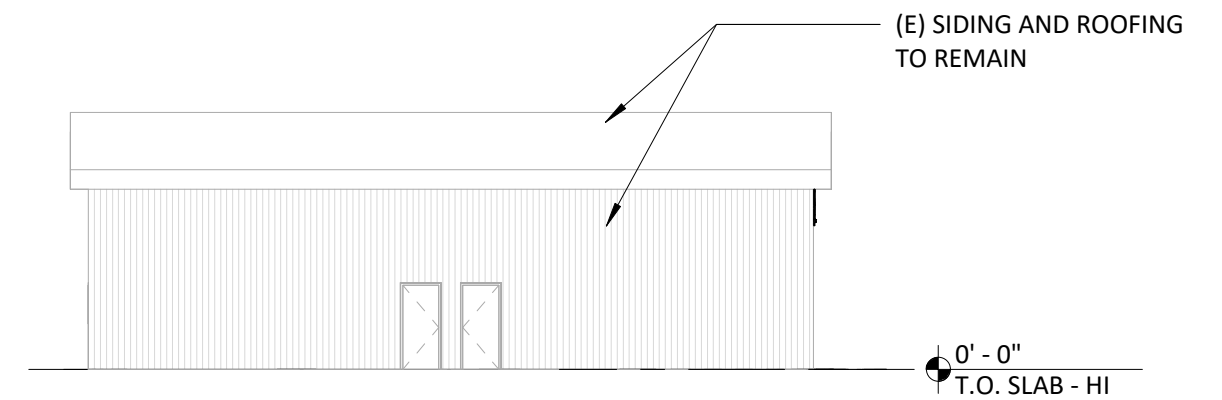
01.15.2025

EXTERIOR
ELEVATIONS

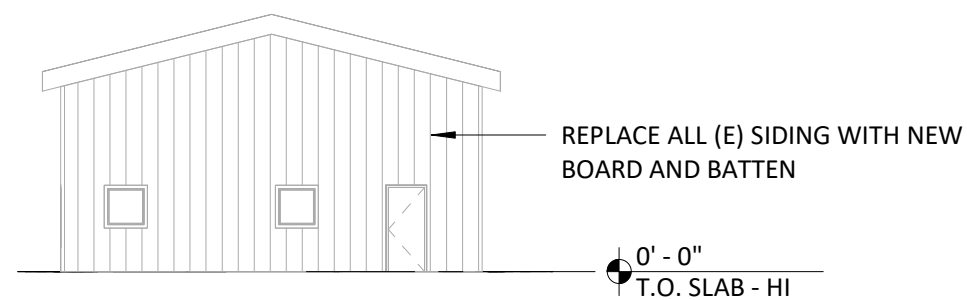
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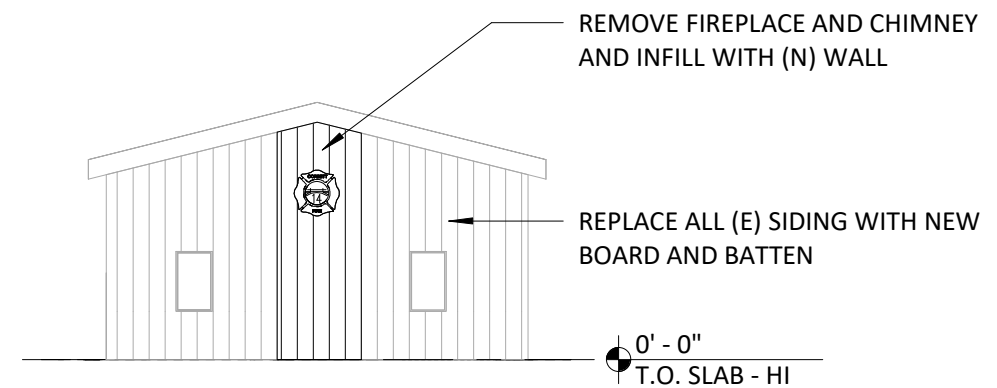
4 (E) FIRE HALL - WEST ELEVATION
1/16" = 1'-0"



2 (E) FIRE HALL - EAST ELEVATION
1/16" = 1'-0"



3 (E) FIRE HALL - SOUTH ELEVATION
1/16" = 1'-0"



1 (E) FIRE HALL - NORTH ELEVATION
1/16" = 1'-0"



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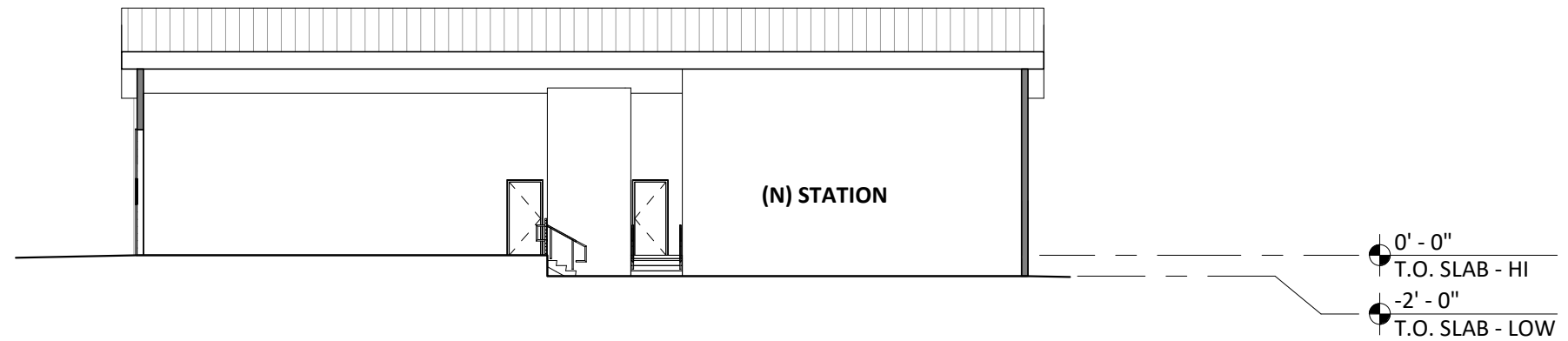
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COLUMBIA RIVER HWY

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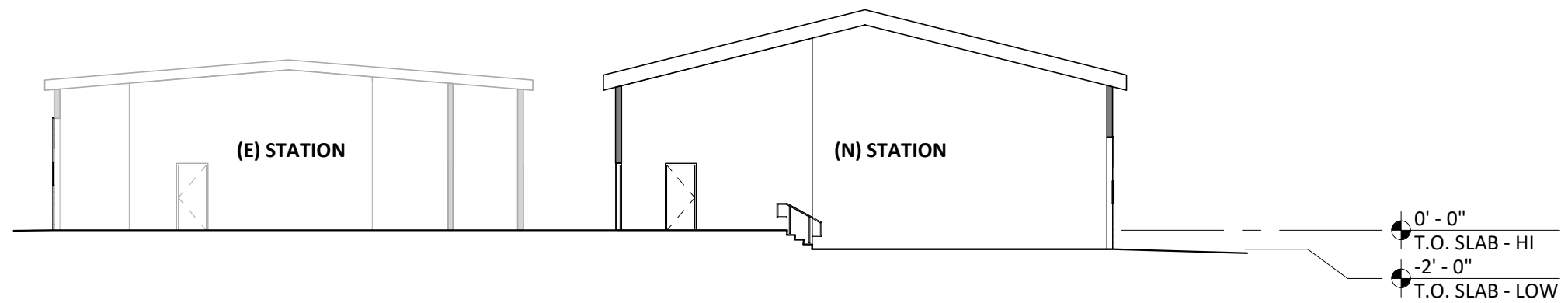
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EXTERIOR
ELEVATIONS

006



2 EAST-WEST BUILDING SECTION
 1/16" = 1'-0" LOOKING NORTH



1 NORTH-SOUTH BUILDING SECTION
 1/16" = 1'-0" LOOKING EAST



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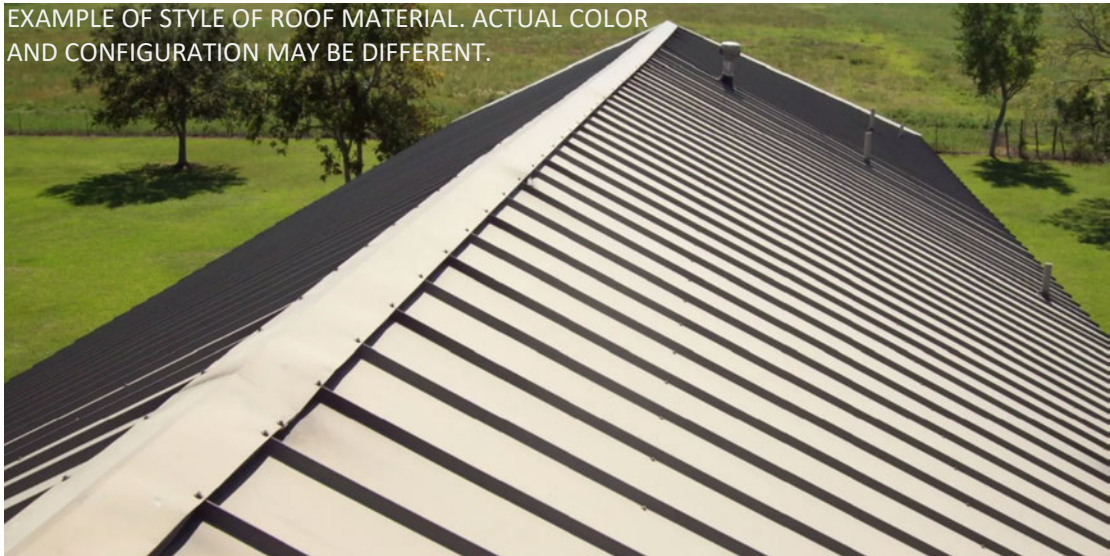
MAIN FIRE STATION
 36930 EAST HISTORIC
 COLUMBIA RIVER HWY

CONCEPT DOCUMENTS

01.15.2025

BUILDING
 SECTIONS

STANDING SEAM METAL ROOF



Regal White
SRI 85

Sandstone
SRI 71

Colonial Red
SRI 33

Slate Gray
SRI 41

Dark Gray
SRI 33

Evergreen
SRI 24

Light Bronze
SRI 32

Dark Bronze
SRI 20

Matte Black
SRI 24

**Weathered Zinc
SRI 30

12" coverage
Flush Panel

Flat Pan or Bead Ribs or Striations
17 5/8" coverage
Clip Loc

1/2" 3/8" 1 1/2" 3/8"
Flat Pan or Bead Ribs or Striations
16" coverage
MI 150

13/16" 1/2" 7/16" 13/16" 2"
Flat Pan or Bead Ribs or Striations
18" coverage
MI 210

13/16" 1/2" 21/32" 13/16" 2"
Flat Pan or Bead Ribs or Striations
17 1/2" coverage
MI 275

Colors listed above are intended to be close representations. Actual color chips are available upon request. Please verify color, gauge, and profile availability. Contact us for other color variations and their associated lead times. * PVDF = Polyvinylidene Fluoride, such as Kynar 500® or Hylar 5000®,etc. **Metallic Colors are batch sensitive & directional in nature. We strongly advise against mixing batches on any project.

OVERHEAD DOORS WITH GLAZED PANELS

Wayne Dalton
COMMERCIAL DOORS

MODEL C-24
SECTIONAL STEEL DOORS

STRONG, VISUALLY APPEALING DOORS FOR MODERATE TO HEAVY-DUTY COMMERCIAL APPLICATIONS

Wayne Dalton's C-24 sectional steel doors are available in a wide variety of sizes and configurations. The design provides high strength at an excellent value.

Featuring 24-gauge ribbed steel sections and 20-gauge center and end stiles. Model C-24 is available with a number of lite and insulation options.

24-GAUGE STEEL CONSTRUCTION

PROVEN STRENGTH AND DURABILITY

STANDARD SIZES UP TO 30'2" WIDE AND 22'1" HIGH

SECTIONAL STEEL DOOR

LITE OPTIONS

Vision lites

Full-vision lites

FINISH OPTIONS

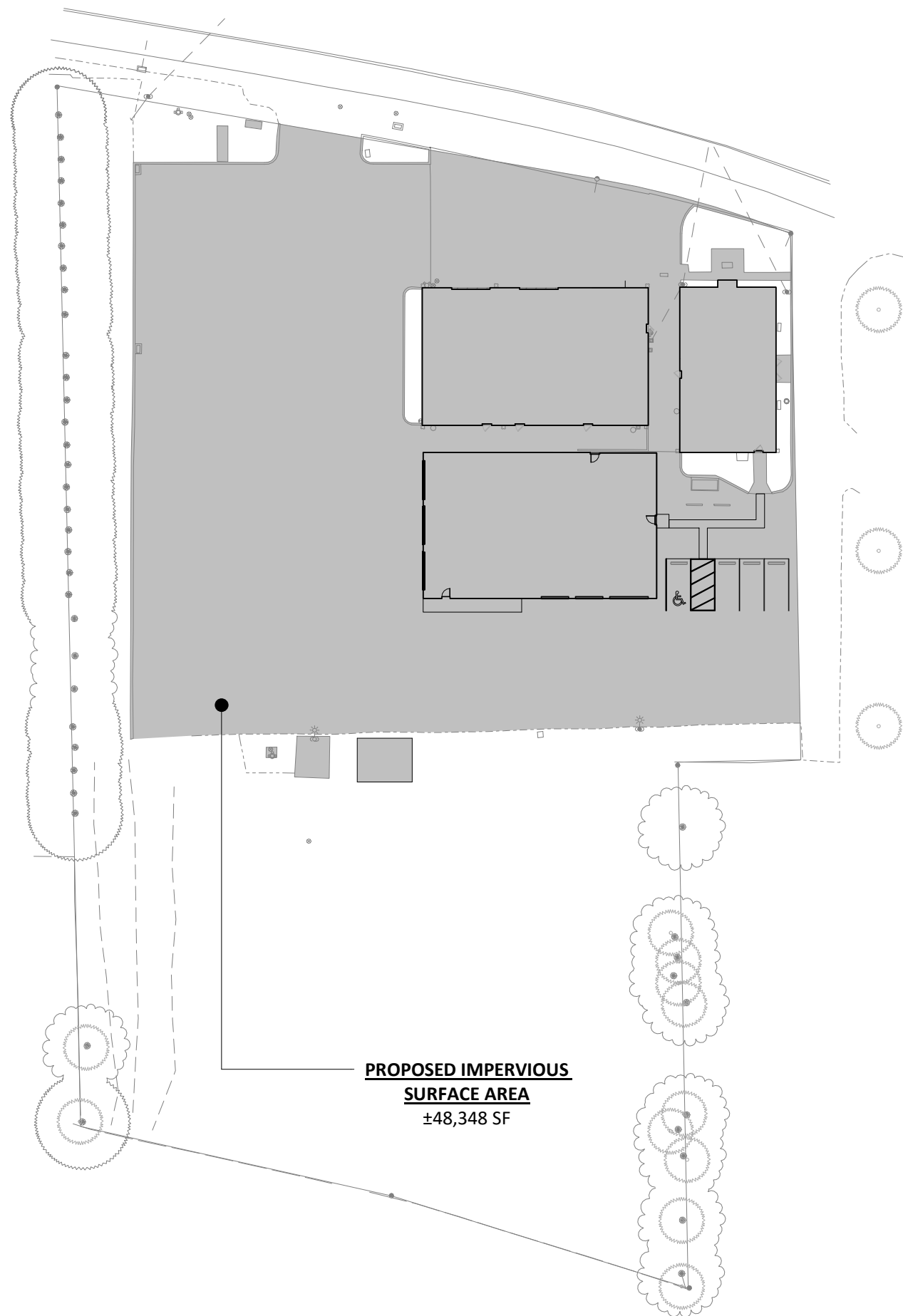
White

Brown

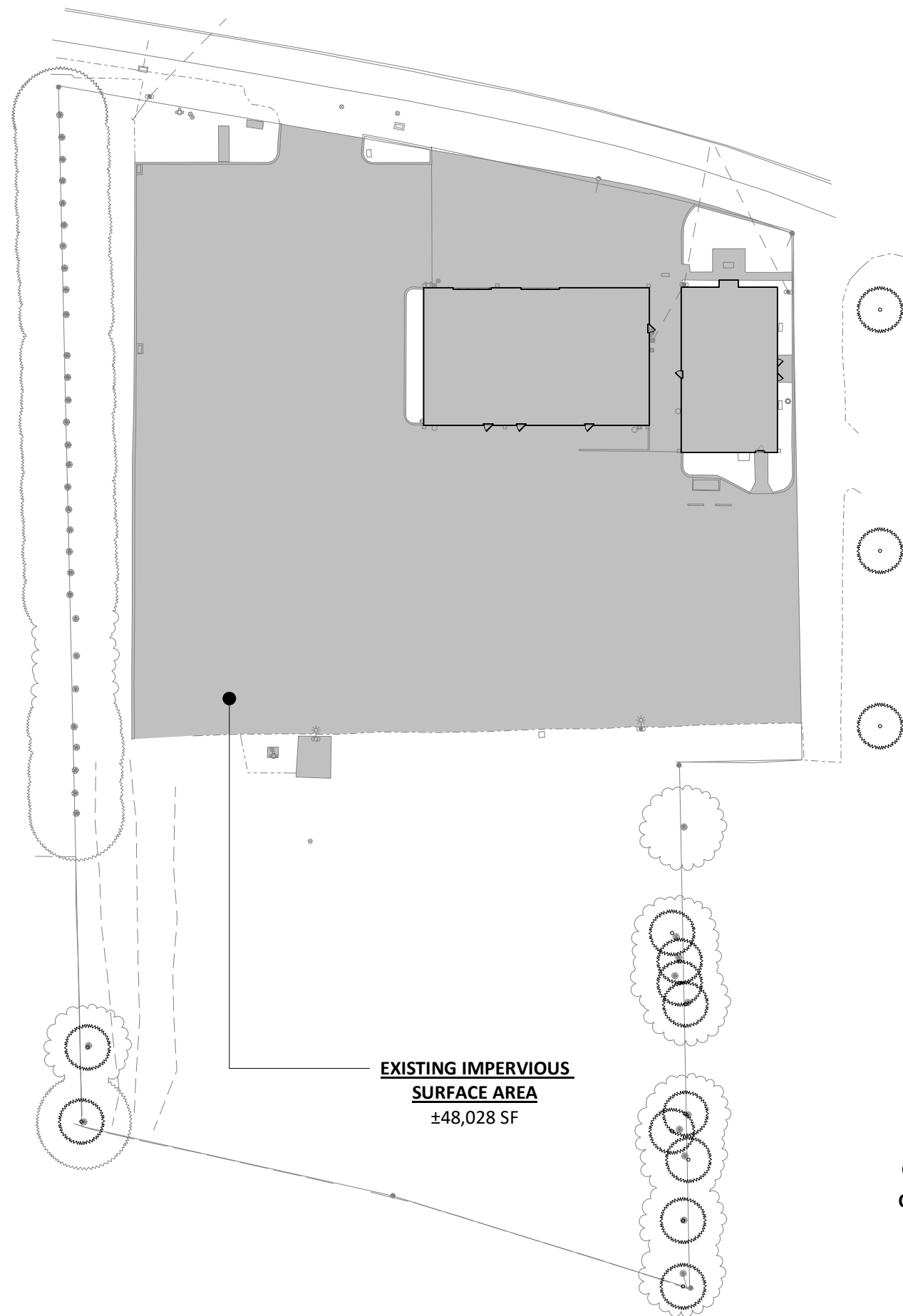
EXAMPLE OF STYLE OF OVERHEAD DOOR. ACTUAL COLOR AND CONFIGURATION MAY BE DIFFERENT.

BOARD AND BATTEN SIDING





2 SITE PLAN
1" = 50'-0"



1 SITE PLAN
1" = 50'-0"

1. SURVEY PROVIDED BY CHASE JONES AND ASSOCIATES INC. DATED FEBRUARY 13TH, 2023 AND UPDATED MAY 13TH, 2024. VERTICAL ELEVATIONS ARE BASED ON NAVD 88 VERTICAL DATUM. HORIZONTAL CONTROL IS RELATIVE TO AN UNKNOWN LOCATION. COORDINATE WITH SURVEY OR RECORD TO ESTABLISH SITE CONTROL.
2. CONSTRUCTION LAYOUT (ALL ACTUAL LINES AND GRADES) SHALL BE STAKED BY A PROFESSIONAL SURVEYOR, REGISTERED IN THE STATE OF OREGON, BASED ON COORDINATES, DIMENSIONS, BEARINGS, AND ELEVATIONS, AS SHOWN, ON THE PLANS.
3. PROJECT CONTROL SHALL BE FIELD VERIFIED AND CHECKED FOR RELATIVE HORIZONTAL POSITION PRIOR TO BEGINNING CONSTRUCTION LAYOUT.
4. PROJECT CONTROL SHALL BE FIELD VERIFIED AND CHECKED FOR RELATIVE VERTICAL POSITION BASED ON THE BENCHMARK STATED HEREON, PRIOR TO BEGINNING CONSTRUCTION LAYOUT.
5. WHEN DIMENSIONS AND COORDINATE LOCATIONS ARE REPRESENTED - DIMENSIONS SHALL HOLD OVER COORDINATE LOCATION. NOTIFY THE CIVIL ENGINEER OF RECORD IMMEDIATELY UPON DISCOVERY.
6. BUILDING SETBACK DIMENSIONS FROM PROPERTY LINES SHALL HOLD OVER ALL OTHER CALLOUTS. PROPERTY LINES AND ASSOCIATED BUILDING SETBACKS SHALL BE VERIFIED PRIOR TO CONSTRUCTION LAYOUT.
7. CONTRACTOR SHALL PRESERVE AND PROTECT FROM DAMAGE ALL EXISTING MONUMENTATION DURING CONSTRUCTION. THE CONTRACTOR IS RESPONSIBLE FOR COORDINATING AND PAYING FOR THE REPLACEMENT OF ANY MONUMENTS DAMAGED OR REMOVED DURING CONSTRUCTION. NEW MONUMENTS SHALL BE REESTABLISHED BY A LICENSED SURVEYOR.
8. SOME SITE DEMOLITION AND UTILITY RELOCATION HAS BEEN PERFORMED. SURVEY MAY NOT BE COMPLETE OR ACCURATE. CONTRACTOR TO VERIFY EXISTING SITE CONDITIONS PRIOR TO CONSTRUCTION. CONTRACTOR SHALL BRING ANY DISCREPANCIES TO THE ATTENTION OF THE ENGINEER PRIOR TO BEGINNING CONSTRUCTION.
9. CONTRACTOR TO REFERENCE GEOTECHNICAL ENGINEERING REPORT PREPARED BY COLUMBIA WEST DATED MARCH 29TH, 2024, AND ADDENDUM DATED JANUARY 5TH, 2025 FOR THE SITE SOILS RECOMMENDATIONS.
10. ALL CONSTRUCTION AND MATERIALS SHALL CONFORM TO THESE PLANS, THE PROJECT SPECIFICATIONS AND THE APPLICABLE REQUIREMENTS OF THE 2024 OREGON STANDARD SPECIFICATIONS FOR CONSTRUCTION, THE 2023 OREGON PLUMBING SPECIALTY CODE AND REQUIREMENTS OF MULTNOMAH COUNTY.
11. THE COMPLETED INSTALLATION SHALL CONFORM TO ALL APPLICABLE FEDERAL, STATE, AND LOCAL CODES, ORDINANCES AND REGULATIONS. ALL PERMITS, LICENSES AND INSPECTIONS REQUIRED BY THE GOVERNING AUTHORITIES FOR THE EXECUTION AND COMPLETION OF WORK SHALL BE SECURED BY THE CONTRACTOR PRIOR TO COMMENCING CONSTRUCTION.
12. ATTENTION: OREGON LAW REQUIRES YOU TO FOLLOW RULES ADOPTED BY THE OREGON UTILITY NOTIFICATION CENTER. THOSE RULES ARE SET FORTH IN OAR 952-001-0010 THROUGH OAR 952-001-0090. YOU MAY OBTAIN COPIES OF THE RULES BY CALLING THE CENTER. (NOTE: THE TELEPHONE NUMBER FOR THE OREGON UTILITY NOTIFICATION CENTER IS (503) 232-1987). EXCAVATORS MUST NOTIFY ALL PERTINENT COMPANIES OR AGENCIES WITH UNDERGROUND UTILITIES IN THE PROJECT AREA AT LEAST 48 BUSINESS-DAY HOURS, BUT NOT MORE THAN 10 BUSINESS DAYS PRIOR TO COMMENCING AN EXCAVATION, SO UTILITIES MAY BE ACCURATELY LOCATED.
13. THE LOCATION OF EXISTING UNDERGROUND UTILITIES SHOWN ON THE PLANS ARE FOR INFORMATION ONLY AND ARE NOT GUARANTEED TO BE COMPLETE OR ACCURATE. CONTRACTOR SHALL VERIFY ELEVATIONS, PIPE SIZE, AND MATERIAL TYPES OF ALL UNDERGROUND UTILITIES PRIOR TO COMMENCING WITH CONSTRUCTION AND SHALL BRING ANY DISCREPANCIES TO THE ATTENTION OF FROELICH ENGINEERS, 72 HOURS PRIOR TO START OF CONSTRUCTION TO PREVENT GRADE AND ALIGNMENT CONFLICTS.
14. THE ENGINEER OR OWNER IS NOT RESPONSIBLE FOR THE SAFETY OF THE CONTRACTOR OR HIS CREW. ALL O.S.H.A. REGULATIONS SHALL BE STRICTLY ADHERED TO IN THE PERFORMANCE OF THE WORK.
15. TEMPORARY AND PERMANENT EROSION CONTROL MEASURES SHALL BE IMPLEMENTED. THE CONTRACTOR SHALL ADHERE TO MULTNOMAH COUNTY FOR MINIMUM EROSION CONTROL MEASURES. THE ESC FACILITIES SHOWN IN THESE PLANS ARE THE MINIMUM REQUIREMENTS FOR ANTICIPATED SITE CONDITIONS. DURING THE CONSTRUCTION PERIOD, ESC FACILITIES SHALL BE UPGRADED AS NEEDED FOR UNEXPECTED STORM EVENTS AND TO ENSURE THAT SEDIMENT AND SEDIMENT LADEN WATER DO NOT LEAVE THE SITE.
16. THE CONTRACTOR IS RESPONSIBLE FOR MAINTAINING ALL ROADWAYS, KEEPING THEM CLEAN AND FREE OF CONSTRUCTION MATERIALS AND DEBRIS, AND PROVIDING DUST CONTROL AS REQUIRED.
17. TRAFFIC CONTROL SHALL BE PROVIDED BY THE CONTRACTOR THROUGHOUT CONSTRUCTION. CONTRACTOR SHALL PROVIDE A TRAFFIC CONTROL PLAN TO MULTNOMAH COUNTY FOR REVIEW AND APPROVAL PRIOR TO COMMENCING CONSTRUCTION.
18. CONTRACTOR SHALL MAINTAIN ALL UTILITIES TO EXISTING BUILDINGS AT ALL TIMES DURING CONSTRUCTION.
19. THE CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING AND SCHEDULING ALL WORK WITH THE OWNER.
20. A PRECONSTRUCTION MEETING WITH THE OWNER, THE OWNER'S ENGINEER, CONTRACTOR AND THE MULTNOMAH COUNTY REPRESENTATIVE SHALL BE REQUIRED.

GENERAL: MATERIALS SHALL BE NEW. THE USE OF MANUFACTURER'S NAMES, MODELS, AND NUMBERS IS INTENDED TO ESTABLISH STYLE, QUALITY, APPEARANCE, AND USEFULNESS. PROPOSED SUBSTITUTIONS WILL REQUIRE WRITTEN APPROVAL FROM ARCHITECT PRIOR TO INSTALLATION.

2. STORM AND SANITARY SEWER PIPING SHALL BE PVC PIPE, DUCTILE IRON OR HIGH DENSITY POLYETHYLENE (HDPE) PIPE, SHOWN BELOW OR AS INDICATED IN THE PLANS.

2.1. PVC SEWER PIPE NPS 4 TO NPS 15:

2.1.1. PIPE: ASTM D 3034, SDR 35, PVC TYPE PSM SEWER PIPE WITH BELL-AND-SPIGOT ENDS FOR GASKETED JOINTS.

2.1.2. FITTINGS: ASTM D 3034, PVC WITH BELL ENDS.

2.1.3. GASKETS: ASTM F 477, ELASTOMERIC SEALS.

2.2. DUCTILE IRON, GRAVITY SEWER PIPE AND FITTINGS (REQUIRED WITHIN 1:1 ZONE OF INFLUENCE OF THE BUILDING FOUNDATION)

2.2.1. PIPE: ASTM A 746, FOR PUSH ON JOINTS.

2.2.2. STANDARD FITTINGS: ASTM C 110, DUCTILE OR GRAY IRON, FOR PUSH ON JOINTS.

2.2.3. COMPACT FITTINGS: ASTM C153, FOR PUSH-ON JOINTS.

2.2.4. GASKETS: AWWA C111, RUBBER

2.2. PE PIPE AND FITTINGS

2.2.1. CORRUGATED PE DRAINAGE PIPE AND FITTINGS NPS 3 TO NPS 10: AASHTO M 252M, TYPE S, WITH SMOOTH WATERWAY FOR COUPLINGS JOINTS.

2.2.1.1. SOILTIGHT COUPLINGS: AASHTO M 252M, CORRUGATED, MATCHING TUBE AND FITTINGS.

2.2.2. CORRUGATED PE PIPE AND FITTINGS NPS 12 TO NPS 60: AASHTO M 294M, TYPE S, WITH SMOOTH WATERWAY FOR COUPLING JOINTS.

2.2.2.1. SOILTIGHT COUPLINGS: AASHTO M 294M, CORRUGATED, MATCHING PIPE AND FITTINGS.

3. PRIVATE FIRE MAINS 4-INCH DIAMETER AND LARGER SHALL BE DUCTILE IRON PIPE OR PVC C900 PIPE AS INDICATED BELOW.

3.1. MECHANICAL-JOINT, DUCTILE-IRON PIPE: AWWA C151, WITH MECHANICAL-JOINT BELL AND PLAIN SPIGOT END UNLESS GROOVED OR FLANGED ENDS ARE INDICATED.

3.1.1. MECHANICAL-JOINT, DUCTILE-IRON FITTINGS: AWWA C110, DUCTILE- OR GRAY-IRON STANDARD PATTERN OR AWWA C153, DUCTILE-IRON COMPACT PATTERN.

3.1.2. GLANDS, GASKETS, AND BOLTS: AWWA C111, DUCTILE- OR GRAY-IRON GLANDS, RUBBER GASKETS, AND STEEL BOLTS.

3.2. PVC AWWA PIPE: AWWA C900, CLASS 150, WITH BELL END WITH GASKET, AND WITH SPIGOT END.

3.2.1. COMPLY WITH UL 1285 FOR FIRE-SERVICE MAINS IF INDICATED.

3.2.2. PVC FABRICATED FITTINGS: AWWA C900, **CLASS 150**, WITH BELL-AND-SPIGOT OR DOUBLE-BELL ENDS. INCLUDE ELASTOMERIC GASKET IN EACH BELL.

3.2.3. PVC MOLDED FITTINGS: AWWA C907, CLASS 150, WITH BELL-AND-SPIGOT OR DOUBLE-BELL ENDS. INCLUDE ELASTOMERIC GASKET IN EACH BELL.

3.2.4. PUSH-ON-JOINT, DUCTILE-IRON FITTINGS: AWWA C110, DUCTILE- OR GRAY-IRON STANDARD PATTERN OR AWWA C153, DUCTILE-IRON COMPACT PATTERN.

3.2.4.1. GASKETS: AWWA C111, RUBBER.

3.2.5. MECHANICAL-JOINT, DUCTILE-IRON FITTINGS: AWWA C110, DUCTILE- OR GRAY-IRON STANDARD PATTERN OR AWWA C153, DUCTILE-IRON COMPACT PATTERN.

3.2.5.1. GLANDS, GASKETS, AND BOLTS: AWWA C111, DUCTILE- OR GRAY-IRON GLANDS, RUBBER GASKETS, AND STEEL BOLTS.

4. PRIVATE WATER LINES 3-INCH DIAMETER AND SMALLER SHALL BE COPPER OR DUCTILE IRON PIPE AS INDICATED BELOW.

4.1. SOFT COPPER TUBE: ASTM B 88, TYPE K, WATER TUBE, ANNEALED TEMPER.

4.1.1. COPPER, SOLDER-JOINT FITTINGS: ASME B16.18, CAST-COPPER-ALLOY OR ASME B16.22, WROUGHT-COPPER, SOLDER-JOINT PRESSURE TYPE. FURNISH ONLY WROUGHT-COPPER FITTINGS IF INDICATED.

4.1.2. HARD COPPER TUBE: ASTM B 88, TYPE K, WATER TUBE, DRAWN TEMPER.

4.1.2.1. COPPER, SOLDER-JOINT FITTINGS: ASME B16.18, CAST-COPPER-ALLOY OR ASME B16.22, WROUGHT-COPPER, SOLDER-JOINT PRESSURE TYPE. FURNISH ONLY WROUGHT-COPPER FITTINGS IF INDICATED.

4.2. MECHANICAL-JOINT, DUCTILE-IRON PIPE: AWWA C151, WITH MECHANICAL-JOINT BELL AND PLAIN SPIGOT END UNLESS GROOVED OR FLANGED ENDS ARE INDICATED.

4.2.1. MECHANICAL-JOINT, DUCTILE-IRON FITTINGS: AWWA C110, DUCTILE- OR GRAY-IRON STANDARD PATTERN OR AWWA C153, DUCTILE-IRON COMPACT PATTERN.

4.2.2. GLANDS, GASKETS, AND BOLTS: AWWA C111, DUCTILE- OR GRAY-IRON GLANDS, RUBBER GASKETS, AND STEEL BOLTS.

5. CONCRETE FOR CURBS, SIDEWALK AND DRIVEWAYS SHALL HAVE A MINIMUM COMPRESSIVE STRENGTH OF 3,300 PSI AT 28 DAYS. CONSTRUCT PER CITY OF PORTLAND SPECIFICATIONS.

5.1. CONCRETE AGGREGATE SHALL CONFORM TO ASTM C33 REQUIREMENTS

6. CONCRETE MANHOLES AND UTILITY VAULTS: HANSON OR APPROVED EQUAL. INSTALL PER MANUFACTURER RECOMMENDATIONS.

7. CONCRETE DRYWELL AND UTILITY VAULTS: OLD CASTLE OR APPROVED EQUAL. INSTALL PER MANUFACTURER RECOMMENDATIONS.

8. SUBMITTAL: CONTRACTOR SHALL PROVIDE PRODUCT DATA FOR EACH PRODUCT:

8.1. AGGREGATE

8.2. PAVEMENT MATERIAL AND MIX DESIGN (ASPHALT, CONCRETE, PAVERS...)

8.3. STORMWATER AND SANITARY SEWER STRUCTURES (AREA DRAINS, CLEANOUTS, DRYWELLS)

8.4. PIPES AND FITTINGS

8.5. WATER AND FIRE PIPES, FITTINGS, AND STRUCTURES (METER, BACKFLOW, DOUBLE CHECK, FIRE DEPARTMENT CONNECTIONS...)

GENERAL

1. SUBGRADE AND TRENCH BACKFILL SHALL BE COMPACTED TO AT LEAST 95% OF THE MAXIMUM DRY DENSITY AS DETERMINED BY ASTM D-1557. FLOODING OR JETTING THE BACKFILLED TRENCHES WITH WATER IS NOT PERMITTED.
2. SPECIAL INSPECTION REQUIRED FOR ALL COMPACTION TESTING.

DEMOLITION

1. THE CONTRACTOR SHALL BE RESPONSIBLE FOR DEMOLITION AND DISPOSAL OF EXISTING AC, CURBS, SIDEWALKS AND OTHER SITE ELEMENTS WITHIN THE SITE AREA IDENTIFIED IN THE PLANS. DISPOSE OF DEMOLISHED ITEMS OFF-SITE IN A LEGAL MANNER.
2. EXCEPT FOR MATERIALS INDICATED TO BE STOCKPILED OR TO REMAIN ON OWNER'S PROPERTY, CLEARED MATERIALS SHALL BECOME CONTRACTOR'S PROPERTY, REMOVED FROM THE SITE, AND DISPOSED OF PROPERLY.
3. ITEMS INDICATED TO BE SALVAGED SHALL BE CAREFULLY REMOVED AND DELIVERED STORED AT THE PROJECT SITE AS DIRECTED BY THE OWNER.
4. ALL LANDSCAPING, PAVEMENT, CURBS AND SIDEWALKS, BEYOND THE IDENTIFIED SITE AREA, DAMAGED DURING THE CONSTRUCTION SHALL BE REPLACED TO THEIR ORIGINAL CONDITION OR BETTER.
5. CONCRETE SIDEWALKS SHOWN FOR DEMOLITION SHALL BE REMOVED TO THE NEAREST EXISTING CONSTRUCTION JOINT.
6. SAWCUT STRAIGHT MATCHLINES TO CREATE A BUTT JOINT BETWEEN THE EXISTING AND NEW PAVEMENT.

GRADING

1. ALL SURFACES SHALL HAVE MINIMUM 1.5% SLOPE UNLESS OTHERWISE NOTED ON PLANS. ALL SURFACES SHALL MEET EXISTING GRADES SMOOTHLY AND EVENLY AND MAINTAIN CONSTANT SLOPES UNLESS OTHERWISE NOTES ON PLANS.
2. CONTRACTOR IS RESPONSIBLE FOR MAINTAINING EXISTING SITE AND DRAINAGE PATTERNS AND PROTECTION OF EXISTING ENGINEERED DRAINAGE FACILITIES.
3. CONTRACTOR SHALL EXERCISE EXTREME CAUTION WHEN WORKING IN AREAS ADJACENT TO EXISTING TREES AND TRY TO MINIMIZE DISTURBANCE TO TREE ROOTS. CONTRACT SHALL INSTALL TREE PROTECTION FENCING AS INDICATED ON PLANS OR DRIP-LINE OF EXISTING TREES. NO PARKING VEHICLES UNDER TREES.

UTILITIES

1. ADJUST ALL INCIDENTAL STRUCTURES, MANHOLES, VALVE BOXES, CATCH BASINS, FRAMES AND COVERS, ETC. TO FINISHED GRADE.
2. CONTRACTOR SHALL ADJUST ALL EXISTING AND/OR NEW FLEXIBLE UTILITIES (WATER, TV, TELEPHONE, ELEC., ETC.) TO CLEAR ANY EXISTING OR NEW GRAVITY DRAIN UTILITIES (STORM DRAIN, SANITARY SEWER, ETC.) IF CONFLICT OCCURS.
3. CONTRACTOR SHALL COORDINATE WITH PRIVATE UTILITY COMPANIES FOR THE INSTALLATION OF OR ADJUSTMENT TO GAS, ELECTRICAL, POWER AND TELEPHONE SERVICE.
4. BEFORE BACKFILLING ANY SUBGRADE UTILITY IMPROVEMENTS CONTRACTOR SHALL SURVEY AND RECORD MEASUREMENTS OF EXACT LOCATION AND DEPTH AND SUBMIT TO ENGINEER AND OWNER.

ALL WATER MAIN CROSSINGS SHALL CONFORM TO THE OREGON STATE HEALTH DEPARTMENT, CHAPTER 333. WATER MAINS SHALL CROSS OVER SANITARY SEWERS WITH A 18" MINIMUM CLEARANCE BETWEEN OUTSIDE DIAMETERS OF PIPE WITH ALL PIPE JOINTS EQUIDISTANT FROM CROSSING. HORIZONTAL SEPARATION BETWEEN WATER MAINS AND SANITARY SEWERS IN PARALLEL INSTALLATIONS SHALL BE 10'. MAINTAIN 12" MINIMUM VERTICAL DISTANCE FOR ALL OTHER UTILITY CROSSINGS AND 12" HORIZONTAL PARALLEL DISTANCE. IN CASES WHERE IT IS NOT POSSIBLE TO MAINTAIN THE MINIMUM 10' HORIZONTAL SEPARATION, THE WATER MAIN SHALL BE LAID ON A SEPARATE SHELF IN THE TRENCH 18" INCHES ABOVE THE SEWER.

	ASPHALT CONCRETE	OVH/OH	OVERHEAD
AD	AREA DRAIN	P/L	PROPERTY LINE
APPROX	APPROXIMATE	PC	POINT OF CURVATURE
B	BOLLARD	PCC	POINT OF COMPOUND CURVATURE
BLDG	BUILDING	PCR	POINT OF CURB RETURN
BOW	BACK OF WALK	PED	PEDESTRIAN
BS	BOTTOM OF SWALE	PIV	POST INDICATOR VALVE
	BOTTOM OF STAIR	PM	PARKING METER
BW	BOTTOM OF WALL	POC	POINT ON CURVE
CB	CATCH BASIN	PP	POWER POLE
CL	CENTERLINE	PRC	POINT OF REVERSE CURVATURE
CMP	CORRUGATED METAL PIPE	PT	POINT OF TANGENT
CMU	CONCRETE MASONRY UNIT	P.U.E	PUBLIC UTILITY EASEMENT
CO	CLEANOUT	PVC	POLYVINYL CHLORIDE
CONC.	CONCRETE	PVMT	PAVEMENT
COTG	CLEANOUT TO GRADE	PVT	PRIVATE
CP	CONTROL POINT	R	RIM
	DELTA	RD	ROAD DRAIN
D/W	DRIVEWAY	R.O.W	RIGHT-OF-WAY
DIA.Ø	DIAMETER	S	SLOPE (F/TFT)
DIP	DUCTILE IRON PIPE	SD	STORM DRAIN
E	EASTING	SDMH	STORM DRAIN MANHOLE
EXIST./EX	EXISTING	SHT	SHEET
FDC	FIRE DEPARTMENT CONNECTION	SS	SANITARY SEWER
FF	FINISH FLOOR ELEVATION	SSMH	SANITARY SEWER MANHOLE
FG	FINISH GRADE	ST	STREET
FH	FIRE HYDRANT	STA	STATION
FL	FLOWLINE	STD	STANDARD
FO	FOUNDATION	SW	SIDEWALK
G	GUTTER	TC	TOP OF CURB
GB	GRADE BREAK	TD	TRENCH DRAIN
GL	GAS LINE	TG	TOP OF GROUND
GV	GATE VALVE	TP	TOP OF PAVEMENT
H	HEIGHT	TRANS.	TRANSFORMER
HCP	HANDICAP PARKING SPACE	TS	TOP OF STAIR
ID	HIGH POINT	TW	TOP OF WALL
IP	INSIDE DIAMETER		TOP OF WALK
IE	INVERT ELEVATION	TYP	TYPICAL
INV	INVERT	UG	UNDERGROUND
IR	IRREGULAR	UGE	UNDERGROUND ELECTRIC
LP	LIGHT POLE	W	WATER
LM	MANHOLE	W/	WITH
MIN	MINIMUM	WCR	WHEEL CHAIR RAMP
N	NORTHING	WM	WATER METER
O.D	OUTSIDE DIAMETER	WV	WATER VALVE
OF	OUTFALL		

Sheet Number	Sheet Title
C1.00	GENERAL NOTES
C1.01	EXISTING CONDITIONS
C1.02	DEMOLITION PLAN
C2.00	SITE PLAN
C3.00	GRADING PLAN
C4.00	UTILITY PLAN
C5.00	DETAILS
C6.00	EROSION CONTROL PLAN AND DETAILS

1. GENERAL: MATERIALS SHALL BE NEW. THE USE OF MANUFACTURER'S NAMES, MODELS, AND NUMBERS IS INTENDED TO ESTABLISH STYLE, QUALITY, APPEARANCE, AND USEFULNESS. PROPOSED SUBSTITUTIONS WILL REQUIRE WRITTEN APPROVAL FROM THE ENGINEER OF RECORD PRIOR TO INSTALLATION.
2. STORM AND SANITARY SEWER PIPING SHALL BE PVC PIPE, DUCTILE IRON PIPE, OR HIGH DENSITY POLYETHYLENE (HDPE) PIPE CONFORMING TO THE PROJECT SPECIFICATIONS; AS INDICATED IN THE PLANS.
3. PRIVATE WATER MAINS 4-INCH DIAMETER AND LARGER SHALL BE DUCTILE IRON PIPE OR PVC PIPE CONFORMING TO THE PROJECT SPECIFICATIONS; AS INDICATED IN THE PLANS.
4. PRIVATE WATER LINES 3-INCH DIAMETER AND SMALLER SHALL BE TYPE K COPPER TUBING OR SCHEDULE 40 PVC CONFORMING TO THE PROJECT SPECIFICATIONS; AS INDICATED IN THE PLANS.
5. CONCRETE FOR CURBS, SIDEWALK AND DRIVEWAYS SHALL HAVE A MINIMUM COMPRESSIVE STRENGTH OF 3,300 PSI AT 28 DAYS.

1. CONTRACTOR SHALL PREVENT SEDIMENTS AND SEDIMENT LADEN WATER FROM ENTERING THE STORM DRAINAGE SYSTEM.
2. FLOODING OR JETTING THE BACKFILLED TRENCHES WITH WATER WILL NOT BE PERMITTED.
3. TRENCH BACKFILL: SHALL MEET ODOT 3/4"-0 CRUSHED ROCK AS INDICATED IN THE PROJECT SOILS REPORT.
4. BASE COURSE: SHALL MEET ODOT 3/4"-0 CRUSHED ROCK.
5. DRAINAGE ROCK: SHALL BE 3/4" TO 2-1/2" WASHED DRAIN ROCK.
6. COMPACTION AND LIFTS: REFERENCE THE PROJECT SOILS REPORT.
7. NONWOVER GEOTEXTILE - MIRAFI 140N, OR APPROVED EQUIVALENT

NOTICE TO EXCAVATORS:
ATTENTION: OREGON LAW REQUIRES YOU TO FOLLOW RULES ADOPTED BY THE OREGON UTILITY NOTIFICATION CENTER. THOSE RULES ARE SET FORTH IN OAR 952-001-0010 THROUGH OAR 952-001-0090. YOU MAY OBTAIN COPIES OF THE RULES BY CALLING THE CENTER.
 (NOTE: THE TELEPHONE NUMBER FOR THE OREGON UTILITY NOTIFICATION CENTER IS (503)-232-1987).

POTENTIAL UNDERGROUND FACILITY OWNERS

Dig Safely.
Call the Oregon One-Call Center
1-800-332-2344



1001 SE SANDY BLVD,
PORTLAND, OR 92714

CORBETT FIRESTATION 62
ADDITION

36930 EAST HISTORIC COLUMBIA RIVER HWY
CORBETT, OR. 97019

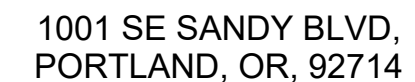
LAND USE SET

REV	DATE	ISSUE TITLE
PROJECT MANAGER:	EMERSON	
DESIGNER:	ABT	
DRAWN BY:	ATOMLINSON	
PROJECT NO:	24-C012	
DATE:	01/10/2025	
SCALE:	AS SHOWN	

SHEET TITLE:
GENERAL
NOTES

SHEET NUMBER:

C1.0

CORBETT FIRESTATION 62
ADDITION

36930 EAST HISTORIC COLUMBIA RIVER HWY
CORRETT OR 97019

LAND USE SET

PROJECT MANAGER:	EME
DESIGNER:	ABT
DRAWN BY:	ATOMLINSON
PROJECT NO:	24-C012
DATE:	01/10/2025
SCALE:	AS SHOWN

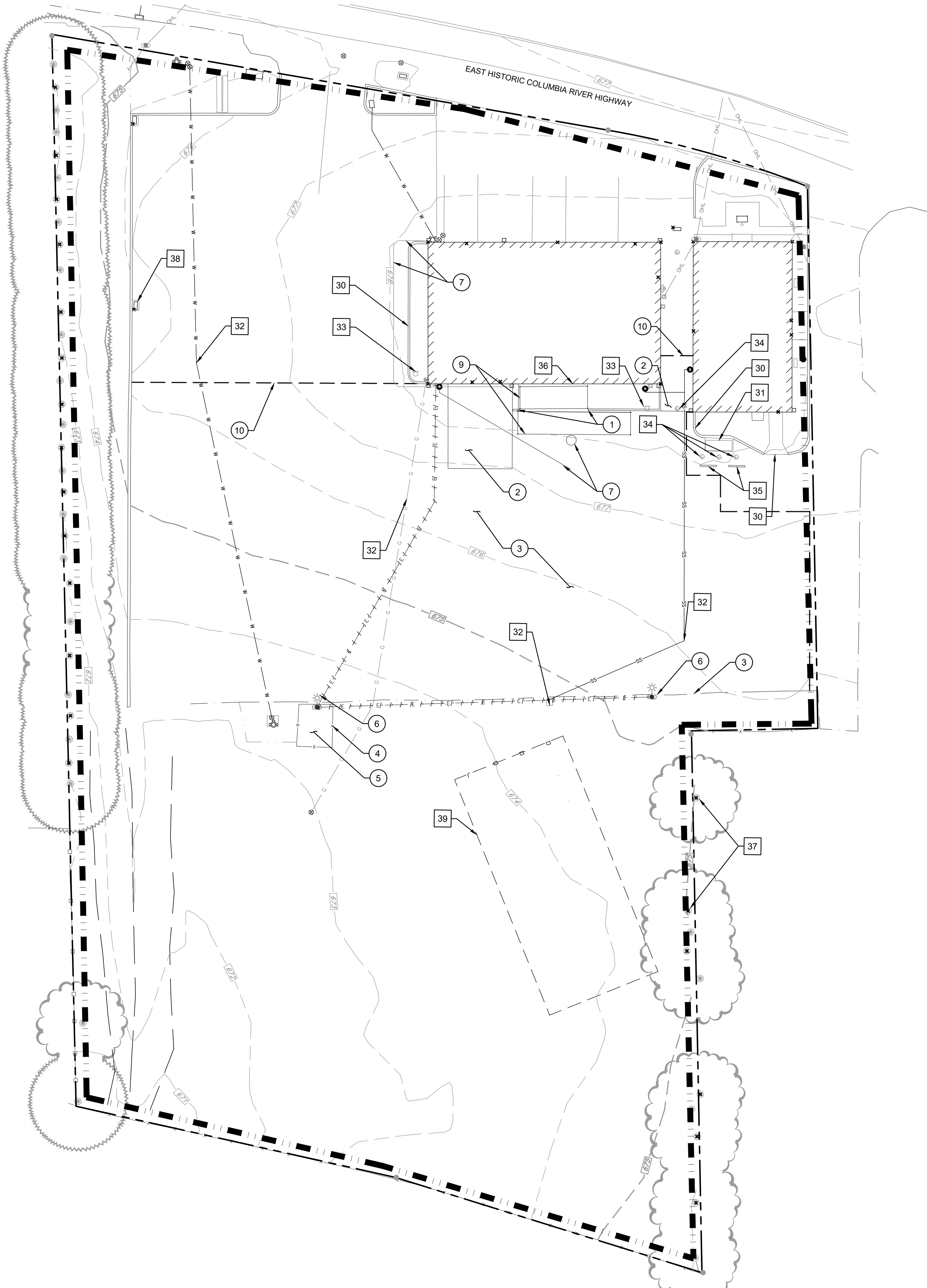
SHEET TITLE:
EXISTING
CONDITIONS

SHEET NUMBER:

C1.1

LAND USE SET





SHEET NOTES

1. CONTRACTOR MAY STAGE WITHIN LIMITS OF DEMOLITION.
2. REMOVE ALL SITE COMPONENTS AND RECYCLE COMPONENTS AS REQUIRED IN THE SPECIFICATIONS.
3. GENERAL DEMOLITION PERMIT SHALL BE SECURED BY THE CONTRACTOR.
4. ALL TRADE LICENSES AND PERMITS NECESSARY FOR THE PROCUREMENT AND COMPLETION OF THE WORK SHALL BE SECURED BY THE CONTRACTOR PRIOR TO COMMENCING DEMOLITION.
5. THE CONTRACTOR SHALL PRESERVE AND PROTECT FROM DAMAGE ALL EXISTING RIGHT-OF-WAY SURVEY MONUMENTATION DURING DEMOLITION. THE CONTRACTOR IS RESPONSIBLE FOR COORDINATING AND PAYING FOR THE REPLACEMENT BY A LICENSED SURVEYOR OF ANY DAMAGED OR REMOVED MONUMENTS.
6. PROTECT ALL ITEMS ON ADJACENT PROPERTIES AND IN THE RIGHT OF WAY INCLUDING BUT NOT LIMITED TO SIGNAL EQUIPMENT, PARKING METERS, SIDEWALKS, STREET TREES, STREET LIGHTS, CURBS, PAVEMENT AND SIGNS. CONTRACTOR SHALL BE RESPONSIBLE FOR RESTORING ANY DAMAGED ITEMS TO ORIGINAL CONDITION.
7. PROTECT STRUCTURES, UTILITIES, SIDEWALKS, AND OTHER FACILITIES IMMEDIATELY ADJACENT TO EXCAVATIONS FROM DAMAGES CAUSED BY SETTLEMENT, LATERAL MOVEMENT, UNDERMINING, WASHOUT AND OTHER HAZARDS.
8. SAWCUT STRAIGHT LINES IN SIDEWALK, AS NECESSARY.
9. CONTRACTOR IS RESPONSIBLE TO CONTROL DUST AND MUD DURING THE DEMOLITION PERIOD, AND DURING TRANSPORTATION OF DEMOLITION DEBRIS. ALL STREET SURFACES OUTSIDE THE CONSTRUCTION ZONE MUST BE KEPT CLEAN.
10. ALL EXPOSED PORTIONS OF UNDERGROUND UTILITIES TO BE ABANDONED SHALL BE PLUGGED PER DETAIL X/CXXX.

DEMOLITION KEY NOTES

- 1 REMOVE CONCRETE CURB
- 2 REMOVE CONCRETE
- 3 REMOVE ASPHALT PAVEMENT AND CRUSHED ROCK SUBGRADE
- 4 REMOVE FENCE
- 5 REMOVE CONCRETE PAD
- 6 REMOVE UTILITY POLE
- 7 REMOVE PAINT/STRIPING
- 8 REMOVE EXISTING UNDERGROUND ELECTRICAL SERVICE.
- 9 RELOCATE SHIPPING/STORAGE CONTAINER
- 10 SAWCUT

PROTECTION KEY NOTES

- 30 PROTECT CURB AND SIDEWALK.
- 31 PROTECT ELECTRICAL EQUIPMENT
- 32 PROTECT UNDERGROUND UTILITIES.
- 33 PROTECT SIGN
- 34 PROTECT BOLLARD
- 35 PROTECT WHEEL STOP
- 36 PROTECT BUILDING
- 37 PROTECT TREE
- 38 PROTECT CATCH BASIN
- 39 PROTECT EXISTING DRAIN FIELD

SHEET LEGEND

- PROPERTY LINE
- DEMOLITION/WORK LIMITS
- SAWCUT LINE
- REMOVE OR ABANDON UTILITY LINE IN PLACE
- REMOVE TREE
- EXISTING GRADE CONTOUR
- PROPOSED CURB LINE SHOWN FOR REFERENCE



PRELIMINARY
NOT FOR
CONSTRUCTION

1001 SE SANDY BLVD
PORTLAND, OR, 97214

CORBETT FIRESTATION 62
ADDITION

36930 EAST HISTORIC COLUMBIA RIVER HWY
CORBETT, OR, 97019

LAND USE SET

REV DATE	ISSUE TITLE

PROJECT MANAGER: EME
DESIGNER: ABT
DRAWN BY: ATOMLINSON
PROJECT NO: 24-C012
DATE: 01/10/2025
SCALE: AS SHOWN

SHEET TITLE:
DEMOLITION
PLAN

SHEET NUMBER:

C1.2

LAND USE SET

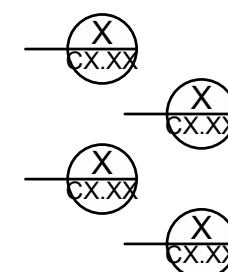
REV DATE	ISSUE TITLE
PROJECT MANAGER:	EME
DESIGNER:	ABT
DRAWN BY:	ATOMLINSON
PROJECT NO:	24-C012
DATE:	01/10/2025
SCALE:	AS SHOWN

SHEET NOTES

- ALL DIMENSIONS ARE TO FACE OF CURB OR FACE OF WALL.
- ALL SIDEWALK PAVEMENT JOINTS SHALL BE CONSTRUCTED PER DETAIL X/C5.X.

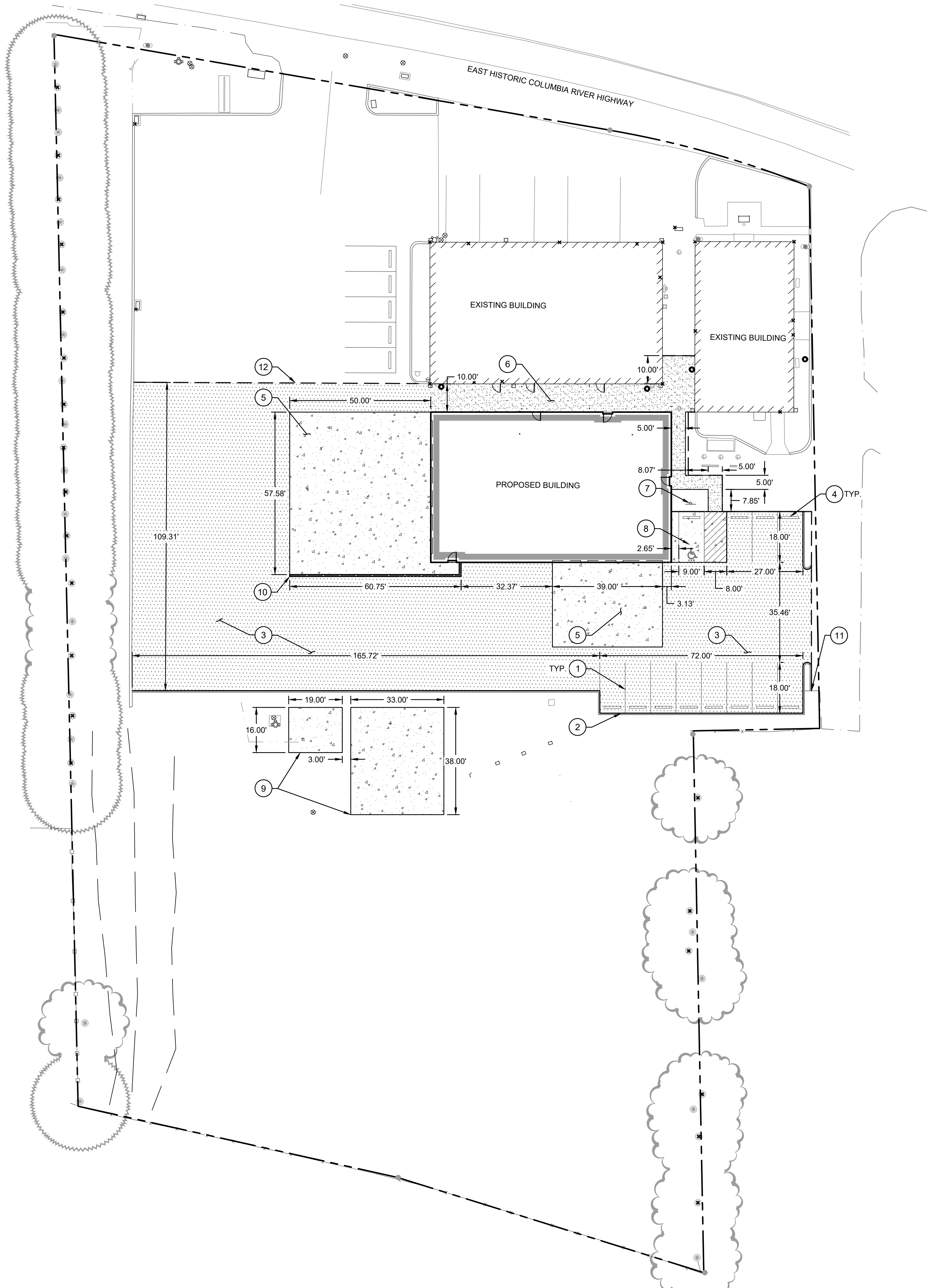
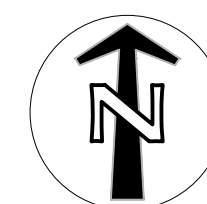
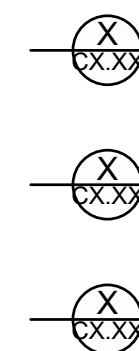
KEY NOTES

- STRIPING
- STANDARD CURB
- ASPHALT PAVEMENT
- WHEEL STOP
- HEAVY CONCRETE
- CONCRETE SIDEWALK
- ADA PARKING SIGN
- ADA PARKING STALLS
- CONCRETE PAD
- RETAINING WALL
- CURB ENDING
- SAWCUT



SHEET LEGEND

---	PROPERTY LINE
[Pattern]	CONCRETE SIDEWALK
[Pattern]	STANDARD ASPHALT PAVEMENT
[Pattern]	HEAVY CONCRETE



REV	DATE	ISSUE TITLE

PROJECT MANAGER:	EME
DESIGNER:	ABT
DRAWN BY:	ATOMLINSON
PROJECT NO:	24-C012
DATE:	01/10/2025
SCALE:	AS SHOWN

SHEET NOTES

- SLOPES PROVIDED ON SLOPE ARROW ARE FOR REFERENCE ONLY.
- LANDINGS ON ACCESSIBLE ROUTES SHALL NOT EXCEED 1.5% IN ANY DIRECTION.
- ALL ACCESSIBLE ROUTES SHALL COMPLY WITH CURRENT ADA ACCESSIBILITY GUIDELINES FOR BUILDING AND FACILITIES (ADAAG).
- ALL WALKWAYS FROM ACCESSIBLE UNITS ARE DESIGNED TO NOT REQUIRE HANDRAILS. THEREFORE, RAMPS WITH SLOPES STEEPER THAN 5.0% AND LESS THAN 8.33% SHALL NOT EXCEED 0.5' RISE OR 6.0' LENGTH.
- TOP OF CONCRETE OUTSIDE DOOR = FF ELEV. MINUS 0.02' SLOPE LANDING 1.5% AWAY FROM BLDG.

KEY NOTES

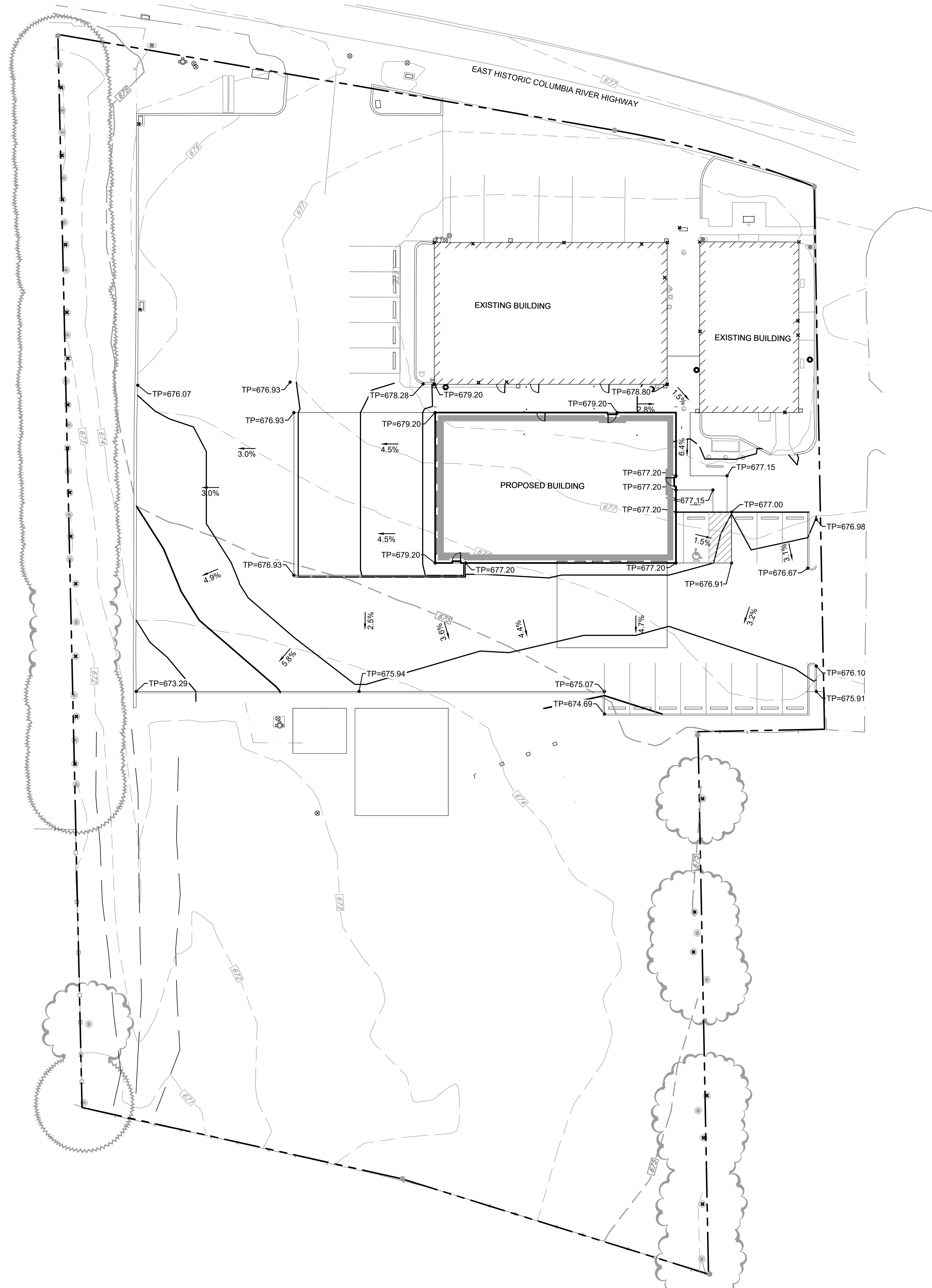
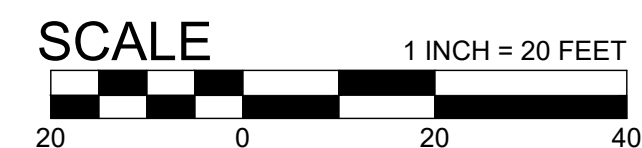
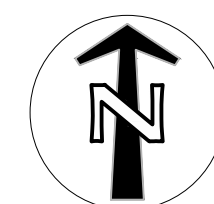
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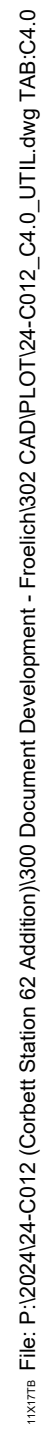
GRADING LABEL LEGEND

CALLOUT	DESCRIPTION
X.X%	GRADING SLOPE AND DIRECTION (DOWNHILL)
XX.XX XX	SPOT ELEVATION DESCRIPTION LISTED BELOW. NO DESCRIPTION MEANS TP OR TG
BOW	BACK OF WALK
BW	BOTTOM OF WALL
EG	EXISTING GRADE
FF	FINISHED FLOOR
FL	FLOW LINE
G	GUTTER
RIM	RIM OF STRUCTURE
TC	TOP OF CURB
TG	TOP OF GROUND
TP	TOP OF PAVEMENT
TW	TOP WALL

SHEET LEGEND

	DRAINAGE FLOW DIRECTION
	GRADE BREAK
	EX. CONTOUR MINOR
	EX. CONTOUR MAJOR
	CONTOUR MINOR (FG)
	CONTOUR MAJOR (FG)
	CONVEYANCE SWALE





LAND USE SET

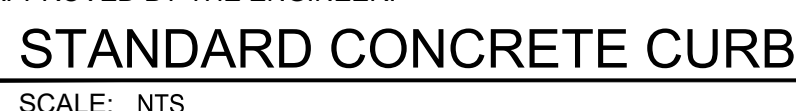
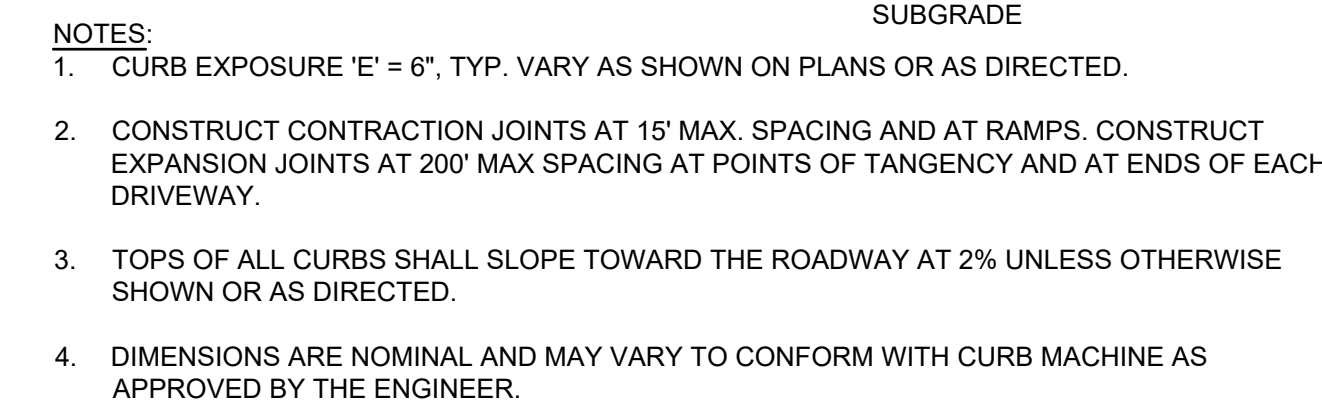
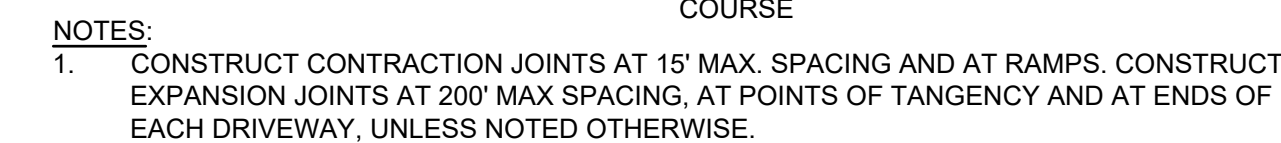
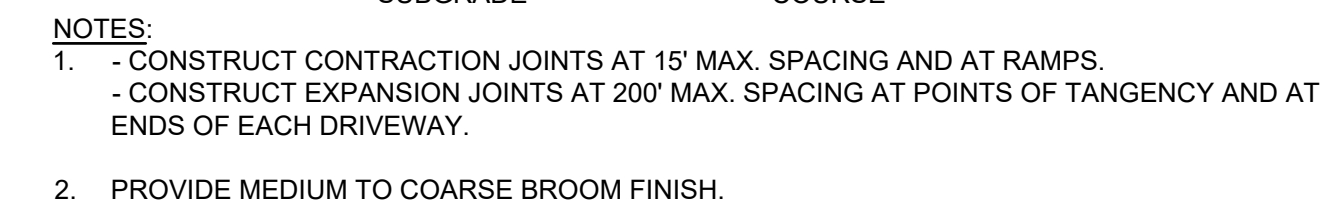
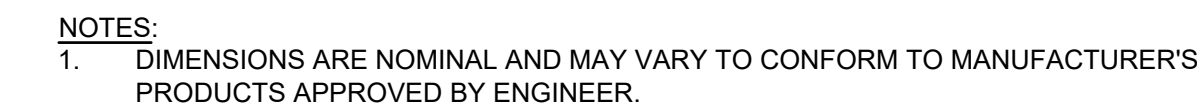
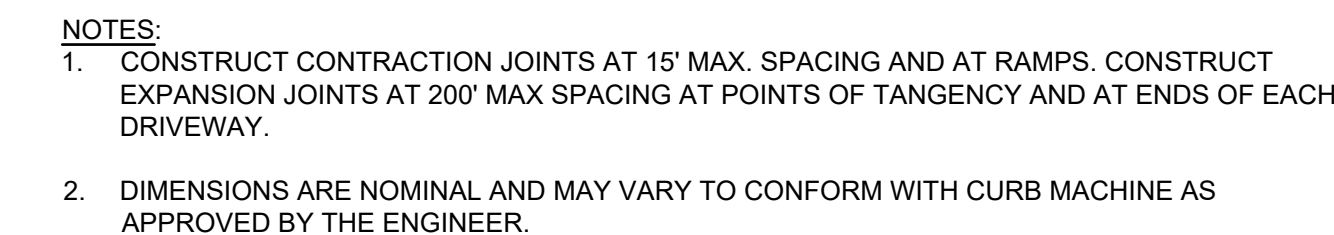
36930 EAST HISTORIC COLUMBIA RIVER HWY
CORBETT OR 97040

CORBETT FIRESTATION 62
ADDITION

336930 EAST HISTORIC COLUMBIA RIVER HWY
CORBETT, OR, 97019

SHEET TITLE:
DETAILS

C5.0



PRE-APPLICATION MEETING NOTES

Land Use Planning Division



www.multco.us/landuse ▪ Email: land.use.planning@multco.us ▪ Phone: (503) 988-3043

MEETING #: PA-2024-0005

APPLICANT: Peter Findley Fry

LOCATION: 36930 E Hist Columbia River Hwy, Corbett

Property ID # R661079

Map, Tax lot: 1N4E35BA -02201

Alt. Acct. # R665600200

BASE ZONE: Gorge General Rural Center (GGRC)

OVERLAYS: None

KEY VIEWING AREAS: Historic Columbia River Highway (including the Historic Columbia River Highway State Trail), Larch Mountain (including Sherrard Point), Larch Mountain Road

LANDSCAPE SETTING: Village

PROPOSAL: A Pre-Application Meeting is to be held on the date below to discuss the applicable Multnomah County Land Use Code, Comprehensive Plan Policies, and application requirements for a Conditional Use for Fire Station.

MEETING TIME AND PLACE

Thursday, July 25, 2024 at 10:30 am – 11:55 am

The referenced pre-application meeting is an Informational Meeting and is not a Public Hearing. The meeting will be held virtually via the Google Meet platform.

CONTACT: After the meeting, if you have any questions regarding the criteria, the process, or the next steps, contact Rithy Khut at rithy.khut@multco.us or (503) 988-0176

- **The following is for informational purposes only. No approvals or conclusions have been drawn about this project. Until such time as the necessary Land Use Applications are submitted and reviewed, no decisions will be or have been made regarding the project's compliance with the land use regulations of Multnomah County.**

Vicinity Map

N↑



OUTLINE OF THE PRE-APPLICATION MEETING'S PURPOSE AND PROCESS

1. Meeting Purpose:

- The Pre-Application meeting is to provide information to an applicant for a land use action that will assist them in completing the application.
- The objectives of the meeting are to clarify the proposal, inform the applicant of the applicable procedures and approval criteria, and to identify all known issues.
- A Pre-Application meeting is a standard requirement for all applications that require a public hearing.

2. Meeting Structure:

- This is not a public hearing and no decisions will be made. The meeting is meant to be informal in nature.
- The Multnomah County planning staff will be responsible for conducting the meeting. Staff will begin the meeting by asking for introductions of those in attendance.
- The applicant will be responsible for explaining their proposal. This explanation is especially helpful to the public who have not seen the application materials, and is an opportunity to share relevant information with their neighbors.
- Planning staff will be responsible for reviewing the applicable procedures and approval criteria and to identify all known issues.
- Members of the public and other agency representatives will be provided the opportunity to ask questions about the proposal and will be asked to identify any relevant issues.

- After the Pre-Application meeting, and after the application has been deemed “complete” by responding to each approval criteria, you will receive a notice announcing the date, time, and place of the Public Hearing. Failure to participate at the Pre-Application meeting will not preclude your involvement at the first scheduled hearing on the completed application.
- **Notwithstanding any representations by County staff at a Pre-Application meeting, staff is not authorized to waive any requirements of Multnomah County Code (MCC). Any omission or failure by staff to recite to an applicant all relevant applicable land use requirements shall not constitute a waiver by the County of any standard or requirement. [MCC 39.1120(C)]**

SUMMARY OF APPLICABLE PERMITS, CODES, POLICIES & FEES

These Multnomah County Code sections can be found at <https://www.multco.us/landuse/zoning-codes/> under the link **Chapter 38: Columbia River Gorge National Scenic Area and Chapter 39: Multnomah County Zoning Code** and Multnomah County Comprehensive Plan Policies can be found at <https://www.multco.us/landuse/comprehensive-plan/> under the link **Multnomah County Comprehensive Plan**.

Zoning Requirements	Code Section	Fees ¹
Gorge General Rural Center (GGRC)	<i>General Provisions:</i> MCC 38.0015 Definitions, Parcel MCC 38.0030 Existing Uses and Discontinued Uses MCC 38.0045 Review and Conditional Use Applications – Submittal Requirements MCC 38.0560 Code Compliance and Violations <i>Gorge General Rural Center (GGRC):</i> MCC 38.2430(A) Conditional Uses – Fire Station MCC 38.2460(C) and (E) Dimensional Requirements MCC 38.2485 Off-Street Parking and Loading	N/A
Required Land Use Permits (Type III Process ²)	Code Sections	Fees ¹
Conditional Use	MCC 38.7300 Review and Conditional Uses <i>Off-Street Parking and Loading:</i> MCC 38.4100 through MCC 38.4215	<i>Initial payment of \$4,237 required and held as deposit or full recovery deposit estimate³</i>
Notice Fee		\$319
Notice Hearing Sign (will be required to be posted on the property frontage)		\$35 each

Required Land Use Permits (Type II Process ²)	Code Sections	Fees ¹
National Scenic Area (NSA) Site Review	<i>Site Review Criteria:</i> MCC 38.7035 GMA Scenic Review Criteria MCC 38.7045 GMA Cultural Resource Review Criteria MCC 38.7053 GMA Water Resources Review Criteria MCC 38.7065 GMA Wildlife Review Criteria MCC 38.7070 GMA Rare Plant Review Criteria MCC 38.7080 GMA Recreation Resource Review Criteria	\$3,108
Development Codes (Type I Process ²)	Code Sections	Fees ¹
Ground Disturbance Standards	MCC 39.6210 Permits Required MCC 39.6220 Minimal Impact Project Permit - or - MCC 39.6225 Erosion and Sediment Control Permit MCC 39.6235 Stormwater Drainage Control	 \$76 \$788 \$76
	Erosion Control Inspection	\$288
Flood Development	MCC 39.5000 through MCC 39.5055	\$822

*Additional fees may need to be paid after the conclusion of the land use process to ensure compliance with conditions of approval and to allow zoning review of the building plans

¹ Land Use Planning's complete fee schedule can be found at <https://www.multco.us/landuse/land-use-planning-fees/>

² See MCC 38.0530 Summary of Decision-Making Processes

³ If a **DEPOSIT** is requested, either the minimum deposit fee will be paid or a full recovery deposit estimate fee requested. Land Use Planning staff will track their time for this application and the cost of the application will be determined once the decision is final. Any remaining deposit will be refunded. If the cost to process the application exceeds the deposit amount, additional money will be collected.

KEY ISSUES

1. For the County to be able to approve any land use application for development or building permits, the property must be in full compliance with all applicable codes [MCC 39.1250]. Full Compliance means the property is a Lot of Record, any structures on site were properly reviewed or permitted and conditions from previous land use decisions were satisfied.
 - a. Permit Record: According to the County Assessor's data, the subject property contains multiple "Miscellaneous" improvements that were first assessed in 1968 and 1970. The County permit records show that in 1966, a foundation for a Fire Station was approved under Permit No. 40735 and equipment shelter was reviewed under Permit No. 41111. An alteration for a meeting room was reviewed in 1969 under land use case BC 8-69 and Permit No. 50566. In 1983, a Hose Drying Tower was reviewed and approved under Permit No. 831987. In 1991, paving of the parking lot and curbs was reviewed and approved. In 2010, a Fire Station was approved under land use case T3-2010-875. Zoning Plan Review was reviewed and approved under BP-2012-2341 on June 8, 2012. Most

recently, in 2011 a four (4) lot subdivision was reviewed and approved under land use case T3-2011-2014. The subdivision was recorded on April 3, 2021.

- b. Parcel: The County made a Parcel Determination in land use case T3-2011-2014. As part of the application process, you will need to provide a copy of the most current deed, so staff can confirm the property remains a Parcel.

Conditional Use Permit: (Type III Land Use Permit)

- 2. The Gorge General Rural Center (GGRC) zone provides a pathway for the review for changes to an existing Fire Station use may permit construction of a new building(s). A Conditional Use permit will be required for a review for a Fire Station.

A Conditional Use is a Type III review, where a hearings officer issues a decision on behalf of the County following a public hearing. Planning staff prepares a staff report for the hearings officer recommending whether the proposal complies with the approval criteria. The hearings officer holds a public hearing and determines, based on the evidence in the record, whether the approval criteria are met.

A Conditional Use permit approval is specific to the use or uses approved together with the limitations or conditions as determined by the hearings officer. Approvals are not preliminary. Hours of operation, number of employees, parking, transportation methods, etc. will be set through this process. Your submitted materials need to be very detailed regarding each use and/or accessory use proposed at the time you submit the application.

- a. For changes and new buildings, MCC 38.2430(A) provides a pathway to permit changes to an existing Fire Station use and new buildings associated with the use.
 - i. Your land use application will need to demonstrate how the proposed development will comply with the following development standards for the GGRC zone:
 - 1. A new building and associated development must satisfy the applicable minimum yard dimensions identified in MCC 38.2460(E), which require the following:

Front	Side	Street Side	Rear
30	10	30	30

- a. The front lot line is the one closest and parallel to E Hist Columbia River Hwy. The rear lot line is the south property line, which is the furthest line opposite the front lot line. The side includes all other lot lines.
 - b. The maximum structure height is 35 feet [MCC 38.2460(E)].
- 2. You will need to provide an On-Site Sanitation Septic Review Certification and a Water Service Certification, which are discussed below in Key Issues: Additional Review.
- 3. Your proposal includes newly created or replaced impervious surfaces of 500 sq. ft. or more. You will need to satisfy the County's Stormwater Drainage Control regulations in MCC 39.6235.

- a. These regulations require you to hire a private engineer to sign and stamp the County's current Stormwater Drainage Control Certificate, provide calculations, and decide what type of stormwater drainage control system is needed for your proposed development.
- ii. You will need to provide site plans and information to show your proposal meets the approval criteria of MCC 38.2460, some of which are:
 1. The site size needs of the proposed use; [MCC 38.2460(A)]
 2. The nature of the proposed use in relation to the impacts on nearby properties; and [MCC 38.2460(B)]
 3. Consideration of the purposes of this district. [MCC 38.2460(C)]
- iii. The change the Fire Station use will need to meet the off-street parking and loading requirements of MCC 38.4100 – MCC 38.4215.
 1. As required by MCC 38.4205 Minimum Required Off-street Parking Spaces.
 - a. You will need discuss and provide a parking and loading study, which includes estimates of parking and off-street loading demand based on recommendations of the Institute of Traffic Engineers (ITE) or other acceptable estimates to determine the minimum as a Fire Station is listed as Unspecified Uses in MCC 38.4205(F). [MCC 38.4205(G)]
 2. A parking plot plan meeting the requirements of MCC 38.4120 will be required:
 - a. The plan must show the dimensions, access, circulation layout for vehicles and pedestrians, space markings, the grades, drainage, setbacks, landscaping, and abutting land uses in respect to the off-street parking area.
 - b. You may provide multiple maps showing proposed landscaping, tree removal, existing improvements, proposed improvements, etc. These plans need to be to scale using an architect or engineer scale that is appropriate to the detail level of the proposed plan. [MCC 38.0045 and MCC 38.4120]
 3. The parking spaces must meet the dimensional standards in MCC 38.4175 and improvement standards in MCC 38.4180.
 - a. Surfacing, Curbs and Bumper Rails, Marking, and Drainage will be required to be provided. [MCC 38.4180]
 - b. The parking spaces must be provided on the lot of the use served by such spaces. [MCC 38.4130(A)]
 4. The parking and loading spaces cannot be located or constructed so that use of the space requires a vehicle to back into the right-of-way of a public street [MCC 38.4165(B)].

5. The yard, which abuts upon a street lot line, the yard area cannot be used for a parking or loading space, vehicle maneuvering area, or access drive other than a drive connecting directly to a street perpendicularly [MCC 38.4195(A)].
6. A required yard, which abuts a street lot line, shall not be paved, except for walkways, which do not exceed 12 feet in total width, and not more than two driveways, which do not exceed the width of their curb cuts for each 150 feet of street frontage of the lot. [MCC 38.4195(A)].

National Scenic Area Site Review: (Type II Land Use Permit)

3. The National Scenic Area (NSA) approval criteria address visual, historical, cultural, and natural resources. As such, approval of the NSA Site Review is required for new buildings. An NSA Site Review application is not preliminary; it is based on the submitted written narrative(s) and plan(s).

Once you receive an approval of the NSA Site Review, you will be expected to construct or potentially modify the proposed physical improvements as specified in the decision and as modified by the conditions of approval. It shall be the responsibility of the property owner(s), and/or their agent(s) to comply with these documents and the limitations of approval described herein. Changes to plans or physical development will likely result in the project needing to go back through the NSA Site Review application to see if the changes can be approved.

- a. You will need to provide the required application information listed in MCC 38.0045.
 - i. The materials you will be required to submit includes:
 1. A scaled site plan;
 2. Depths and location of all proposed ground disturbance and ditching;
 3. Elevation drawings; the amount of grading on slopes over 10 percent;
 4. Location of all perennial or intermittent streams or wetlands; and
 - b. GMA Scenic Review:
 - i. The structures, buildings, and development must be:
 1. New buildings must be sited to retain existing topography and minimize grading activities. [MCC 38.7035(A)(1)].
 2. New buildings must also be compatible with the general scale (height, dimensions and visible mass of similar buildings that exist within ¼ mile of the property. Your application will need to include a table describing the scale of nearby outbuildings. This information may be obtained from the County Division of Assessment, Recording & Taxation.
 - a. New buildings that are 1,500 square feet or less are exempt from this requirement. [MCC 38.7035(A)(2)].
 - ii. The subject property is topographically visible from various Key Viewing Areas (KVAs), including the Historic Columbia River Highway (including the Historic Columbia River Highway State Trail), Larch Mountain (including Sherrard Point), Larch Mountain Road. As such, any proposed developments will be required to achieve the “Visually Subordinate” scenic standard.

As defined in MCC 38.0015, “Visually Subordinate” means: The relative visibility of a structure or use where that structure or use does not noticeably contrast with the surrounding landscape, as viewed from a specified vantage point (generally a Key Viewing Area). Structures which are visually subordinate may be partially visible, but are not visually dominant in relation to their surroundings.

1. The exterior of structures on lands seen from Key Viewing Areas (KVAs) shall be:
 - a. Composed of non-reflective materials or materials with low reflectivity. Metal that does not have a textured flat coating is typically found to have a high reflectivity rating. If you will be proposing metal, you will need to provide a sample of the material so we can verify that it is a low-reflective material. [MCC 38.7035(B)(8)]
 - b. Paint colors shall be of dark earth-tones found in the surrounding landscape. [MCC 38.7035(B)(10)]
2. The silhouette of new buildings shall remain below the skyline of a bluff, cliff, or ridge as visible from KVAs. [MCC 38.7035(B)(13)]
3. All exterior lighting on the property and buildings must meet the specific lighting standards. To be compliant all exterior lighting on the property and on buildings shall be directed downward and sited, limited in intensity, shielded, or hooded in a manner that prevents lights from being highly visible from KVAs. [MCC 38.7035(B)(9)]
 - a. Shielding and hooding materials shall be composed of nonreflective, opaque materials.

You should show any existing exterior lighting locations on the site plan or on a lighting plan. Photographs of all existing lighting need to be provided if you believe they are already compliant.

- b. For existing fixtures, you may be able to attach a shield to the fixture depending on their shape. Please take photographs of the existing lights and included them in the plan.
 - c. For new lights, you need to provide lighting details and model #s. If you will be installing shield, documentation on the types to be used will be necessary. Illumination from the light fixtures shall be contained within the boundaries of the subject property. Not all light fixtures will meet the County’s code.
- iii. As part of the application, you will need to submit in material samples and color chips of the structures so that planning staff can evaluate the proposal for its design (color, reflectivity, size, shape, height, architectural and design details, and other elements. [MCC 38.7035(B)(4)]

1. Please provide sample materials information and/or images of the sample materials, as part of your application.

Feature	Materials Proposed	Proposed Color
Siding	Type	Provide color chips from manufacturer
Trim	Type	Provide color chips from manufacturer
Roofing type and color	Type and color	Provide sample from manufacturer
Window Frames	Type and color	Manufactures brochure
Reflectivity Rating of Windows	Manufactures brochure	NA
Doors	Type and color	Provide color chips from manufacturer
Exterior Light Fixtures	Type and color	Manufactures brochure

2. Refer to the Scenic Implementation Resources Handbook for examples. This handbook can be found at <http://www.gorgecommission.org/resources-documents/landowner-resources/building-in-the-scenic-area/>.
 - a. The handbook provides examples of the requirements and important considerations when building in the Gorge National Scenic Area.
- iv. Plantings could potentially be required for screening development, you will need to meet the following:
 1. Any vegetation planted shall need to be sized to provide sufficient screening to meet the scenic standard within five years or less from the commencement of construction.
 2. Landscaping shall be installed as soon as practicable, and prior to project completion
 3. Use of plant species native to the landscape setting shall be encouraged. Where non-native plants are used, they shall have native appearing characteristics. [MCC 38.7035(B)(14)]
- v. As the structures and development are located in the Village landscape setting you must meet the requirements of MCC 38.7035(C)(6) as applicable.
 1. Parking shall be limited to rear or side yards of buildings to the maximum extent practicable. [MCC 38.7035(C)(6)(c)]
 2. Landscape requirements of parking shall meet the requirements of MCC 38.7035(C)(6)(f)]
 3. Your proposal is encouraged to follow planned unit development approaches, featuring consolidated access, commonly-shared landscaped open areas, etc. [MCC 38.7035(C)(6)(e) and MCC 38.7035(C)(6)(g)-(i)]
 - a. It is encouraged that your proposal uses building materials reinforcing the Village Setting's character, such as wood, logs, or stone, and reflective of community desires.
 - b. It is encouraged that your proposal uses architectural styles characteristic of the area (such as 1½ story dormer roof styles in Corbett), and reflective of community desires.

- c. It is encouraged that your proposal uses design features which create a "pedestrian friendly" atmosphere, such as large shop windows on the ground floor of commercial buildings, porches along ground floors with street frontage, etc.
- 4. Except as is necessary for site development or safety purposes, the existing tree cover screening the development from Key Viewing Areas shall be retained. [MCC 38.7035(C)(6)(k)]
- c. GMA Cultural Resource Review
 - i. Cultural Resource Reconnaissance Surveys are required for all proposed uses except as listed in MCC 38.7045(A)(1). After you submit your application, Staff and Partner agencies will determine if additional requirements will need to be met.
 - ii. Some of buildings on the property are over 50 years of age. Any building 50 years or older is potentially a cultural resource (historic resource). The buildings must be evaluated for significance by the State Historic Preservation Office (SHPO). At this time, we have no evidence that the evaluation was ever undertaken. Currently, you have a couple options:
 - 1. Hire a contract architectural historian to evaluate the structure. If the structure is found to be 'Not Eligible,' the application is easier and does not require much more historical work. If the structure is found to be 'Eligible,' then you will need to have a "finding of effect", that can be done by the consulting architectural historian. The exterior of the structure is the focus of the review.
 - 2. Have the United States Forest Service evaluate the structure. Under this option the timing of the evaluation is dependent on staff availability.
- d. GMA Water Resources Review, GMA Wildlife Review, GMA Rare Plant Review, Recreation Resource Review Criteria
 - i. Preliminary review does not indicate Water Resources, Wildlife, Rare Plant, or Recreation Resource are located on the property. After you submit your application, Staff and Partner agencies will determine if additional requirements will need to be met.

GROUND DISTURBANCE ACTIVITY REQUIREMENTS (TYPE 1 PERMIT)

If mechanical ground disturbance will occur to establish the building, structure, or use, the property owner will need to apply for either an Erosion and Sediment Permit, or a Minimal Impact Project (MIP) permit depending on the final project proposal.

- 4. The Minimal Impact Project (MIP) permit standards are found at MCC 39.6220 and are for small projects that meet the following conditions:
 - a. Less than 10,000 sq. ft. of ground surface will be disturbed;
 - b. Disturbed areas are not within 200 ft. from the top of the bank of a water body;
 - c. Unsupported finished slopes will be less than 33% grade (3 Horizontal: 1 Vertical) and will not exceed four ft. in height;
 - d. Slopes before development where ground disturbance is proposed are 10% grade or less;

- e. The ground disturbing activity will involve less than 10 cubic yards of fill and the fill will be composed of earth materials only;
- f. Fill will not be used to physically support a building requiring a structural building permit;

For the MIP permit, you will need to provide the materials listed in MCC 39.6220(A), meet the standards in MCC 39.6220(B) and use erosion and sediment control best management practices. When you are ready to submit building plans for zoning review, you will need to demonstrate compliance with the MIP permit standards.

5. If your project cannot meet the MIP permit standards, an Erosion and Sediment Control (ESC) permit will be required for the proposed development.
 - a. For the ESC Permit, you will need to fill out the most current Application form, state that you are applying for an ESC permit, and then submit it to the Permit Portal along with the required materials listed in MCC 39.6225(A).
 - i. Your Erosion and Sediment Control plan must comply with the standards listed in MCC 39.6225(B).
 - ii. You will need to document the fill materials, compaction methods, locations and volume of proposed cuts and location and volume of proposed fills, and the erosion control measures that you will be utilizing for your project.
 - iii. The ESC application can be submitted after any Type III Land Use Permit(s) are issued, but must reflect any physical improvement or ground disturbance alterations required by the Type III approval.

KEY ISSUES: ADDITIONAL REVIEW

6. You will need to submit the following service provider forms to the respective service provider for your area. Do not submit the unsigned forms to Land Use Planning for completion. The service provider will return a “packet” with a copy of the completed review form to you along with any supplemental documents. This packet must be submitted as part of your land use application. Please keep a copy of the packet(s) for your records.
 - b. **Fire Service Agency Review** – The Fire Service Agency serving your property must review your project to ensure compliance with the Oregon Fire Code.
 - c. **On-Site Sanitation Septic Review** – The County Sanitarian must review your proposal and verify that it meets applicable environmental quality regulations.
 - d. **Water Service Certification** – ensures that there is a water source for the property.
 - e. **Transportation Planning Review** – Transportation Planning ensures that Oregon Department of Transportation Rules on access and driveway spacing are satisfied. Please see contact ODOT Permits office in the ‘Applicant Checklist’ below.

PREPARING YOUR APPLICATION:

1. **Application Form:** When filling out the Application Form, you must state in the ‘Application Request’ section what you are proposing. For example, “We are requesting change to an existing Fire Station use to construct a new building.” In the Permit Request section, you would check the specific permits that you are applying for. In addition, all property owners must sign the form. If

not all the property owners will fit on the form, you may provide a Letter of Authorization with additional property owners' signatures. [MCC 39.1115]

2. **Application Narrative:** You will need to prepare a written narrative providing a clear and complete description of your proposal and specifically addressing each applicable code section [see the 'Summary of Applicable Permits, Codes...' section of these notes]. In your narrative, list the code reference you are responding to, then your response to that criterion. At the end of your response, you may reference any documents (i.e. Site Plan) included in your application that support your response. An example of the narrative format is shown below:

National Scenic Area Site Review:

MCC 38.12345(A)(1): All required site plans and information listed in (A)(1) are included in this application. See Exhibits 4 – 12.

MCC 38.12345(A)(2): The proposed new single-family dwelling is designed in a location to retain the existing topography. The location will result in minimal grading activities. See the site plan included as Exhibit 2.

MCC 38.12345(B)(2): The exterior lighting for the proposed building will be directed downward. The included building plans (Exhibit 2) show the location of the exterior lighting. The design specifications of the exterior lighting (Exhibit 3) show that the lighting is hooded, shielded, and composed of non-reflective and opaque materials.

3. **Site Plan(s) / Building Plan(s):** Prepare your site plan(s) and building plan(s) according to the requirements listed in the 'Application Checklist' below and the various permit sections. Please note that additional requirements apply for certain permit types (NSA, GH, etc.). The applicable code sections for each permit type outline any additional site plan / building plan requirements. Please ensure that your plan clearly identifies what is existing and proposed.
4. **Other Documents:** Prepare all other documents, including those documents listed in the 'Application Checklist' below. Make sure your service provider forms include all documents returned to you by the service provider after they complete their review.

APPLICATION SUBMITTAL

Please refer to the checklist below as you prepare to submit your application packet. Visit our website at <https://www.multco.us/landuse/application-materials-and-forms> for all referenced application and service provider forms.

When ready to submit your application packet, visit our website and follow the steps in "Type II or III Application" under "Submit Comment Requests." Our website will direct you to the Permit Portal. At the Portal, select the 'Land Use Planning' category. Select the 'LUP Type III,' click 'Apply,' and follow the instructions.

After you submit your application, a preliminary review will occur. If your application meets the minimum requirements to process your application you will receive an invoice in the Permit Portal for associated fees. Your application is not "received" until we receive full payment of your invoice.

If your application does not meet the minimum requirements for processing, the request will be closed after a 30-day grace period.

Application Checklist		Required	Included
1.	Completed Application Form: signed by the applicant and all property owners. State each specific permit(s) and or review(s) you are requesting.	X	
2.	Narrative: Written narrative providing a clear and complete description of your proposal and specifically addressing each applicable code section in the summary table on pp. 3 - 4 of these notes.	X	
3.	Scaled Site Plan: The site plan shall be drawn to scale using either an engineer scale (i.e., 1:10 or 1:20) or architect scale (i.e., 1' = 1/2" or 1' = 1/8"). The site plan for shall include the following: ☐ Boundaries, dimensions, address, and size of the subject parcel; ☐ Date, north arrow, scale; ☐ Location of watercourses or drainage features on or near the property. ☐ Location, size, and label of all proposed and existing buildings and structures; distances from buildings and structures to property lines (measured to nearest point of the building); and buildings to be removed; ☐ Location of the existing well and septic system (tank, drainfield & replacement field) and storm water system (existing and/or proposed); ☐ Contour lines and topographic features such as ravines or ridges; ☐ Proposed fill, grading, site contouring or other landform changes; ☐ Location and predominant species of existing vegetation on the parcel, areas where vegetation will be removed, and location and species of vegetation to be planted, including landscaped areas; ☐ Location and width of existing and proposed driveways, and service corridors; ☐ Location of abutting public right-of-way with distances from the right-of-way line to the centerline of the adjoining road; and ☐ Location and width of existing, proposed, and/or altered access points/driveway cuts to the property.	X	
4.	Floor plans of the buildings to be permitted drawn to scale using either an engineer scale (i.e., 1:10 or 1:20) or architect scale (i.e., 1' = 1/2" or 1' = 1/8"). The floor plans should include dimensions and room use noted, such as kitchen, bathroom, bedroom, garage, etc.	X	
5.	Building/Structure Elevations (side views) drawn to scale using either an engineer scale (i.e., 1:10 or 1:20) or architect scale (i.e., 1' = 1/2" or 1' = 1/8") of new buildings, additions or structures, with all height dimensions, and relationship to existing and finished grade adjacent to the building/structure	X	
6.	Parcel status: Submit a chain of title / title plant report that includes a copy of current deed for the property & first deed that described the subject property in its current configuration	X	
7.	Stormwater Drainage Control Certificate , calculations and site plan reviewed and signed by an Oregon Registered Professional Engineer	X	
8.	Septic Review Certification Form , site plan, and supplemental materials signed by the County Sanitarian	X	

9.	Fire Service Agency Review Form , site plan, and supplemental materials signed by the Fire Official	X	
10.	Oregon Department of Transportation (ODOT) Letter/Permit authorizing the location and size of the driveway access point and specifying if a roadway dedication is needed. Please contact ODOT at (971) 673-1268 (West County) or (503) 667-7441 (East County)	X	
11.	Certification of Water Service form	X	
12.	Off-Street Parking, Loading and Circulation Plan showing the showing the dimensions, access, and circulation layout for vehicles and pedestrians that meets the standards of MCC 38.4100 through MCC 38.4215	X	
Type I Permits		Required	Included
1.	Minimal Impact Project (MIP) Permit (at time of Zoning Review Approval)	Potentially, see #2	
2.	Completed Application Form: signed by all property owners and the applicant along with the required fee(s).	Potentially, see #1	
2.a.	Erosion and Sediment Control (ESC) Permit with required materials and requirements are found in MCC 39.6220 and the approval standards found in MCC 39.6225	Potentially, see #1	

APPLICATION COMPLETENESS

Once an application is submitted, it will be assigned to a planner. The planner has 30 days, by state law, to determine whether the application is complete. If an application is incomplete, the applicant has 180 days, by state law, to submit the requested additional information to make the application complete. If your application is found to be incomplete, we request that you submit the additional information required in one packet rather than trickling information in. This avoids confusion as to whether you intend to submit additional information, and allows us to act on your application more quickly.

ADDITIONAL ASSISTANCE

Please contact Rithy Khut via email at rithy.khut@multco.us or at (503) 988-0176 with any questions regarding these notes. If they are out, they will respond as soon as they are able when they return.

FIRE SERVICE PROVIDER REVIEW

Land Use Planning Division



www.multco.us/landuse • Email: land.use.planning@multco.us • Phone: (503) 988-3043

APPLICANT INSTRUCTIONS

Complete the Applicant section of this form and deliver it to the appropriate Structural Fire Service Provider for your area. After the Fire Service Provider completes their review and returns the form to you, include the form (along with any supplemental documents provided to you) with your land use application.

- ☒ A site plan drawn to scale showing the subject property, its improvements, location of fire hydrants and driveway information;
- ☒ A floor plan of the proposed development; and
- ☐ A fire flow report from your water purveyor (if applicable) [Not applicable for Properties served by MCRFD#14 customers]

If your property is not served by a structural fire service provider, your project is to be reviewed by the appropriate building official serving your property.

After the fire official signs this form, include it with your application material.

TO BE COMPLETED BY THE APPLICANT

Site Address: 36930 E Historic Columbia River Hwy. Corbett

Map, Tax Lot: 351N4E 2201 'R' number: R665600200

Description of Proposed Use: addition of 4500sqft apparatus building

Total Square Footage of Building (including roof projections, eaves & attached structures): 4500

Applicant Name: Corbett Fire - Dave Flood

Mailing Address: PO Box 1, Corbett OR 97019

Phone #: 503-803-5244 Email Address: dflood@corbettfire.com

STRUCTURAL FIRE SERVICE PROVIDER REVIEW

Fire Service Provider completing this form: Corbett Fire Date of Review 1-9-2025

- ☒ The subject property is located within our service boundaries or is under contract.
- ☐ The subject property is outside of our service boundaries and the Provider will not be providing fire protection services via contract. (Additional review is not needed.)

**** Access Review by Structural Fire Service Providing Service ****

- ☒ The proposed development is in compliance with the fire apparatus access standards of the Oregon Fire Code standards as implemented by our Provider.
- ☐ The proposed development is not in compliance with the adopted Fire Service Provider's access standards. The proposed building/structure is required to have a fire sprinkler system installed in compliance with Section 903.1.3 (NFPA 13D) of the Oregon Fire Code.
- ☐ The following access improvements must be completed prior to issuance of the building permit and be re-inspected by our Provider before flammable materials are placed on the property. The access improvements required:

**** Fire Flow by Structural Fire Service Providing Service ****

- ☐ The existing fire-flow & flow duration available from public water lines or private well is adequate to serve the proposed development. No mitigation measures are necessary.
- ☒ The existing fire-flow & flow duration available from public water lines or private well is not adequate to serve the proposed non-commercial structure in compliance with the Oregon Fire Code. The following mitigation measures are necessary* and must be installed prior to occupancy or use of the structure.
- ☐ A monitored fire alarm must be installed.
 - ☐ Class A or non-combustible roof materials must be installed.
 - ☐ Defensible space of 30 feet around the structure/building/addition.
 - ☐ A defensible space of 100 feet around the structure/building/addition due to slopes greater than 20%.
 - ☐ A fire sprinkler system meeting Section 903.1.3 (NFPA13D) of the Oregon Fire Code shall be installed.
 - ☒ Other Complies with NFPA 1142 - requires 20,500 gal. at 500 gpm.

* The above required structural features are required by the Oregon Fire Code and shall be shown clearly on all building plans.

**** Commercial/Industrial Buildings & Uses ****

- ☐ The minimum fire flow and flow duration is available from public water lines or private well as specified in the Oregon Fire Code. No mitigation measures are required.
- ☒ The minimum fire flow & flow duration is not available from public water lines or private well as specified in Oregon Fire Code. The following mitigation measures are required:

Complies with NFPA 1142 (see above)

Fire Official: Please sign or stamp the presented site plan & floor plan and attach it to this form.

36930 EHLRH



Signature
Dave Flood
Fire Marshal

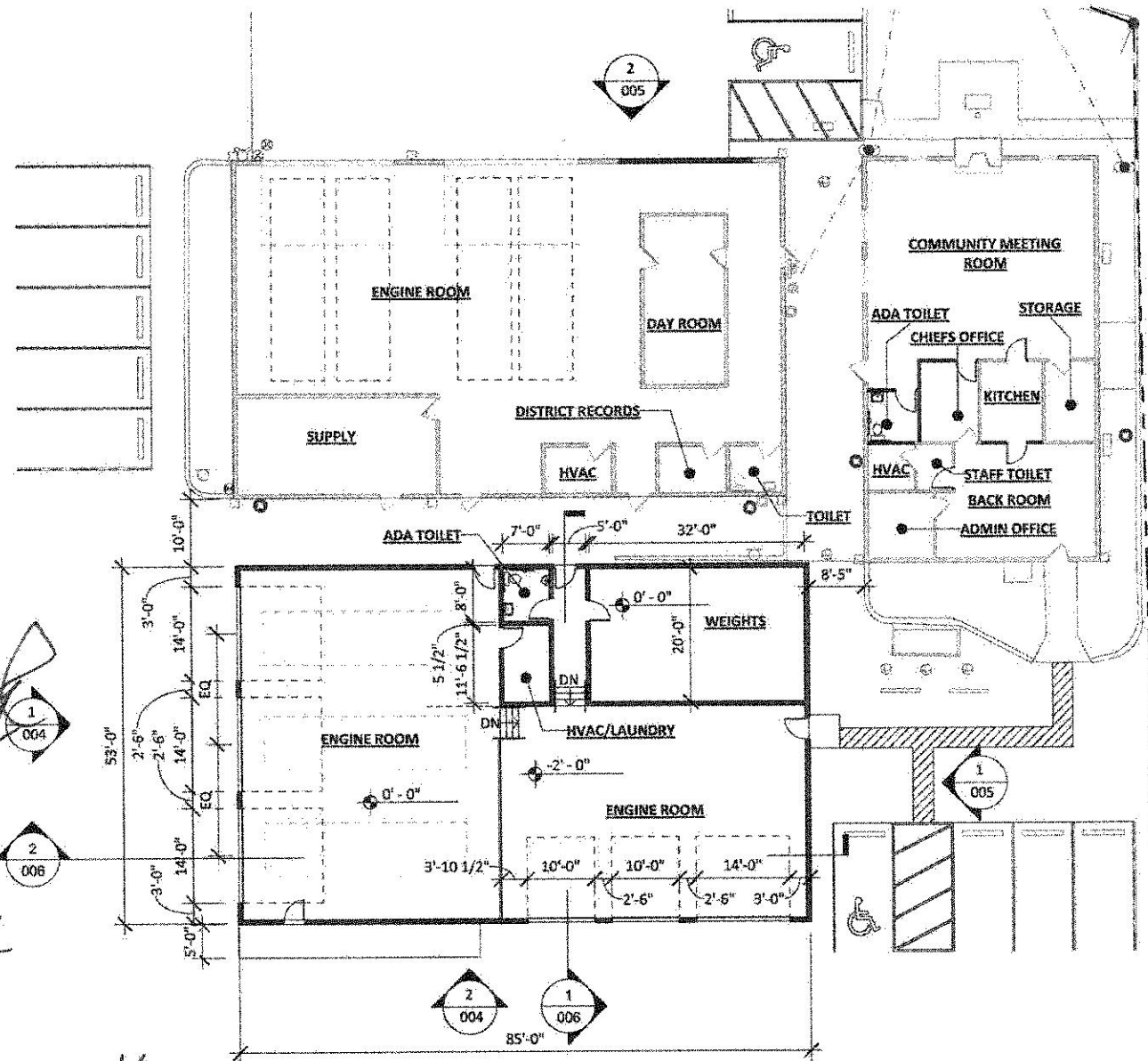
Name & Title of Fire Official

1-9-2025

Date

Approved
Dave Fox
1-9-25

Corbett
Fire
36930 EHKRH



DRAWING LEGEND

- TYP NEW WALL
- TYP EXIST. WALL
- TYP PARTIAL WALL
- PROPERTY LINE
- 4" (UNO)
- TYP NEW DOOR
- TYP EXIST. DOOR

design
architecture and planning
1001 W. 1st Ave. Suite 200
Portland, OR 97201
tel 2024 500 0000
MAIN FIRE STATION
36930 EAST HISTORIC
COLUMBIA RIVER HWY
CONCEPT DOCUMENTS
05.22.2024

FLOOR PLANS

1 GROUND LEVEL FLOOR PLAN
1/16" = 1'-0"

WATER SERVICE CERTIFICATION

Land Use Planning Division



www.multco.us/landuse ▪ Email: land.use.planning@multco.us ▪ Phone: (503) 988-3043

APPLICANT INSTRUCTIONS

Approval of most land uses involving a new, expanded, or altered use or involving the creation of a new parcel requires a determination that the proposed water system is adequate.

- If proposing a **public water system**, provide this form to your water district to complete prior to submitting any land use application. Include the completed form with your land use application.
- If proposing a **private water system**, complete the bottom section of this form. The County will need to determine that the system is adequate to satisfy Comprehensive Plan Policy 11.12:
 - 1) In the initial review of your proposal, if the on-site well or other form of private system is existing at the time of the land use application **OR**
 - 2) After the initial review, but before issuance of a building permit when documentation is provided to the Planning Director that a water system is in place. At that time, public notification may also be given, which may result in a new public hearing.

TO BE COMPLETED BY THE APPLICANT

Site Address: 36930 E. Historic Columbia River Hwy.

Map, Tax Lot: 1NE4E35BA 2201

Proposed Use: Fire Station Total Number of Dwelling Units: 0

Applicant Name: Dave Flood

Mailing Address: PO Box 1, Corbett OR 97019

Phone #: 503-803-5244 Email Address: dflood@corbettfire.com

TO BE COMPLETED BY A WATER PROVIDER OFFICIAL

The Water District will provide service from a line that is 10 PVC inches in size.

The line is located: on the south side of the road

The proposed use should be required to make the following water system improvements:

NA
District Name: Corbett Water District Date: 10/6/25

Official's Name: ANA Linden Official's Title: District Manager

TO BE COMPLETED BY THE APPLICANT IF A PROPOSING A PRIVATE SYSTEM

Describe the Water Source including the location: _____

Describe the Supply of Water (e.g. gallons per minute): _____

KNOW ALL MEN BY THESE PRESENTS, That ROY A. POFFENBERGER, SR.

, hereinafter called the grantor, for the consideration hereinafter stated,
to grantor paid by ROY A. POFFENBERGER, JR.,

, hereinafter called the grantee,
does hereby grant, bargain, sell and convey unto the said grantee and grantee's heirs, successors and assigns, that
certain real property, with the tenements, hereditaments and appurtenances thereunto belonging or appertaining, sit-
uated in the County of Multnomah and State of Oregon, described as follows, to-wit:

Commencing at a point South 89 degrees 27 minutes West 1328.4 feet and
South 2 degrees 24 minutes East 379.12 feet from the Northeast corner of
the Northwest quarter of Section 35, Township 1 North, Range 4 East of
Willamette Meridian (said place of beginning being on the South boundary
of County Road) running thence South 2 degrees 24 minutes East 927.88 feet;
thence North 89 degrees 48 minutes East 642.10 feet; thence North 2 degrees
24 minutes West 823.19 feet more or less to the South line of County Road;
thence Westerly along South side of said County Road 653.4 feet, more or
less to the place of beginning, containing 13.2 acres more or less. To-
gether with a right of way over a forty-foot strip of land running from
the County Road South along the East line of the above described property
to the South line thereof in Multnomah County, Oregon.

To Have and to Hold the same unto the said grantee and grantee's heirs, successors and assigns forever.

And said grantor hereby covenants to and with said grantee and grantee's heirs, successors and assigns, that
grantor is lawfully seized in fee simple of the above granted premises, free from all encumbrances except
conditions, restrictions and easements of record,

and that
grantor will warrant and forever defend the above granted premises and every part and parcel thereof against the law-
ful claims and demands of all persons whomsoever, except those claiming under the above described encumbrances.

The true and actual consideration paid for this transfer, stated in terms of dollars, is \$ -0-
However, the actual consideration consists of or includes other property or value given or promised which is
the whole consideration (indicate which).

In construing this deed and where the context so requires, the singular includes the plural.

WITNESS grantor's hand this 9th day of October, 1970.

STATE OF OREGON, County of Multnomah) ss. October 9, 1970.
Personally appeared the above named ROY A. POFFENBERGER, SR.

and acknowledged the foregoing instrument to be his voluntary act and deed.

(OFFICIAL SEAL)

Before me: *[Signature]*
Notary Public for Oregon
My commission expires 7-18-71

NOTE—The sentence between the symbols Ⓢ, if not applicable, should be deleted. See Chapter 462, Oregon Laws 1967, as amended by the 1967 Special Session.

WARRANTY DEED

ROY A. POFFENBERGER, SR.

TO

ROY A. POFFENBERGER, JR.

AFTER RECORDING RETURN TO

Roy A. Poffenberger, Jr.
PO Box 25

No.

38154

OCT 10 1970

STATE OF OREGON) ss.
Multnomah County)

I, JAMES D. WELDON, Director, Department of Records
and Elections, do hereby certify that the within
instrument of writing was received and recorded in the record of
said County at

10 OCT 16 11 12 39

RECORDED

In Book 755 Page 1610

Witness my hand and seal of office affixed.

JAMES D. WELDON, Director,
Department of Records and
Elections.

Deputy.

ru-
the
led

38154

\$150