

Exhibit F – Approved Septic Plan



ONSITE SANITATION City of Portland – Bureau of Development Services
 1900 SW 4th Avenue, Portland, Oregon 97201 – 503-823-6892 – TTY 503-823-6868 – www.portlandoregon.gov/bds
SEPTIC REVIEW CERTIFICATION (Land Use/Planning)

Land Use/Planning and Zoning approval involving new construction or addition to any building(s), any change in use, and the creation of a new parcel or property line adjustment requires approval by the Sanitarian.

STEP 1- Complete the following:

Address of Proposed Work: 12424 NW SPRINGVILLE ROAD, PORTLAND, OR 97229
 Property Map & Tax Lot #: 2400, SECTION 16, T1N, R1W Alternate Acct #: R RSU1639, R32430
 Description of proposed work for this Septic Planning Review Proposed new 10 bedroom home on 84 ACRE FARM
 Change in number of bedrooms? Yes No # of existing bedrooms 0 # of bedrooms at completion 10
 Applicant's Name SCOTT REED
 Applicant E-mail Scottlogreed@yahoo.com
 Mailing Address 6460 NW McGUIRE TERRACE Phone _____
 City Portland, OR State OR ZIP 97229

Permit No.

22-153678-SE

Date

8/11/22

STEP 2- Submit with current **Sanitation Evaluation application**, for each lot affected along with all required checklist items listed on the application. Refer to the current Sanitation Evaluation application for current fee for Septic Planning Review "with site visit".

Sanitation Evaluation Application available for download at [www.portlandoregon.gov/bds/Septic - Sanitation Evaluation Application or Multnomah County Land Use Planning Office](http://www.portlandoregon.gov/bds/Septic-Sanitation-Evaluation-Application-or-Multnomah-County-Land-Use-Planning-Office)

Mail or deliver completed Sanitation Evaluation Submittal package to:
 City of Portland, Bureau of Development Services, Trade Permits
 1900 SW 4th Ave., First Floor, Portland, OR 97201
 For questions please call 503-823-6892

STEP 3- Review: After submittal, allow up to 20 business days for submittal application package review

STEP 4- Site Visit: Sanitarian will contact you with any questions and/or time of site visit

STEP 5- Sign Off: Based on present knowledge of the area, and current regulations of the State of Oregon Department of Environmental Quality (DEQ), the Sanitarian hereby finds that the above proposal is:

- Approved - will not impact the existing system. The following is **REQUIRED** prior to Building Permit issuance:
- Septic Installation Permit Authorization Notice

Conditions/Comments:

Proposed 10 bedroom NSFR poses no concern to septic.
Certain drain/groundwater interceptor of septic system to have drain rock brought up to grade to divert potential runoff from driveway. No agricultural/vineyard use allowed on primary & replacement drainfield areas.
Lindsay Reschke 8/11/22 No site visit, large property + clear
 Multnomah County Sanitarian Date

STEP 6- Return: to Multnomah County Land Use Office with this signed form and site plan (floor plans if applicable)

Recent Site Eval.

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22-153678-SE

Placement of
GWL Rock to be
placed to grade
to grade to grade
from driveway

SCOTT & STACY REED
6460 NW MCREODOR
TERRACE
PORTLAND, OR 97229
503.391.6985

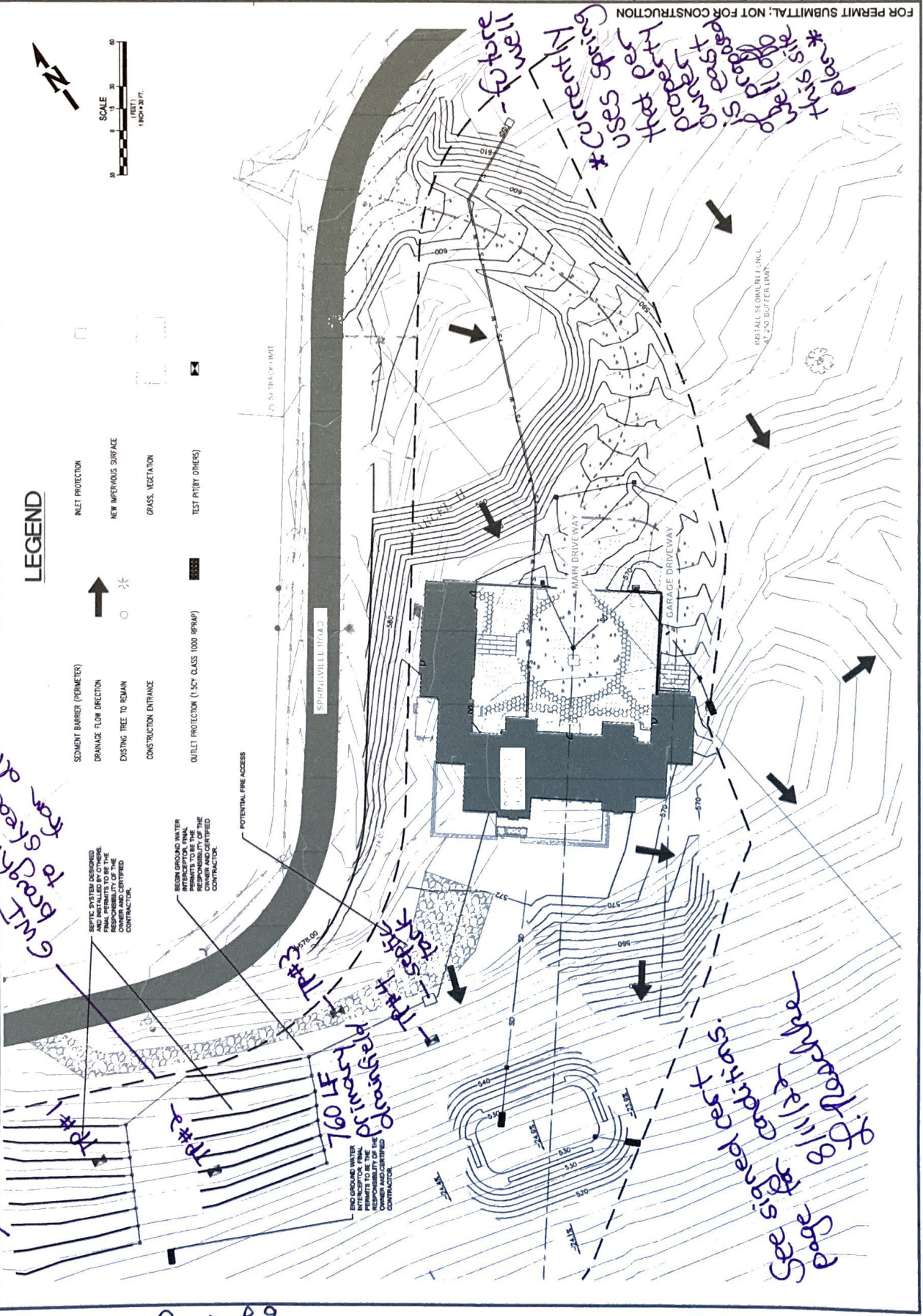
12424 NW SPRINGVILLE ROAD
PORTLAND, OREGON 97229

SPRINGVILLE RESIDENTIAL

FOR PERMIT SUBMITTAL: NOT FOR CONSTRUCTION



PROJECT NO. 22-153678
DATE: AUG 2022
DRAWN BY: TJREED
CHECKED BY: BME
SCALE: AS SHOWN
SHEET COUNT: 6 OF 14
SHEET NUMBER: C-301

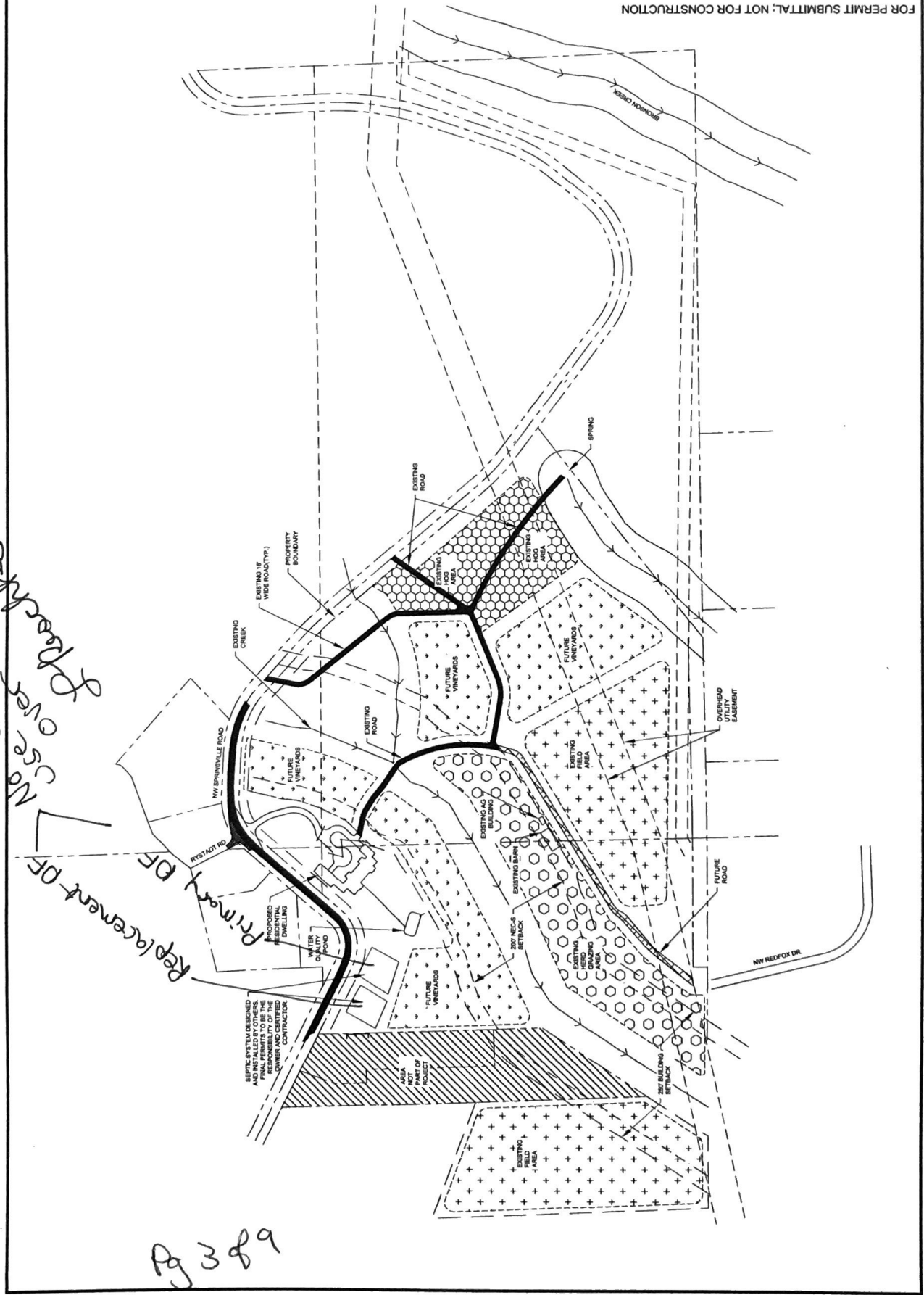


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22-153678-SE
REV 4

No agricultural
use over vineyard
areas
of March 2022

12424 NW SPRINGVILLE ROAD PORTLAND, OREGON 97229	SPRINGVILLE RESIDENTIAL	12424 NW SPRINGVILLE ROAD PORTLAND, OREGON 97229
SCOTT & STACY REED 8480 NW MCGREGOR TERRACE PORTLAND, OR 97229 942.391.8885	EXISTING & FUTURE FARM USE	SCOTT & STACY REED 8480 NW MCGREGOR TERRACE PORTLAND, OR 97229 942.391.8885
FOR PERMIT SUBMITTAL: NOT FOR CONSTRUCTION		FOR PERMIT SUBMITTAL: NOT FOR CONSTRUCTION

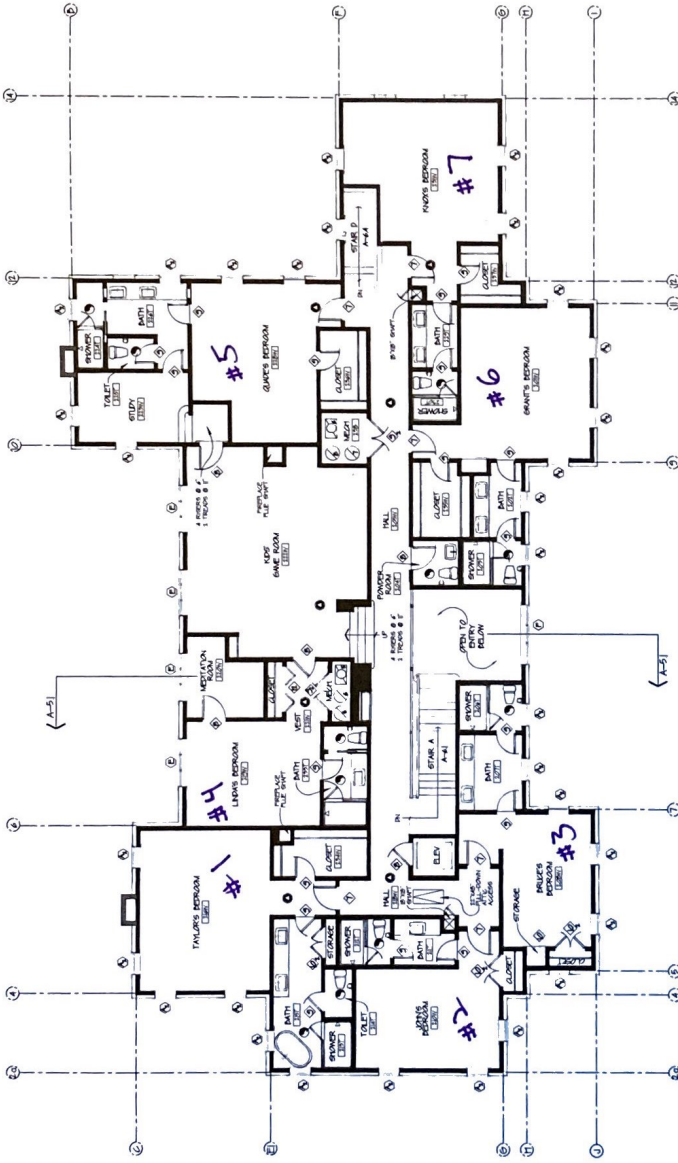


Ag 389

Aug 2022

14 of 14
C-701

22-153678-SE



- Floor Finish Schedule**
- N Concrete floor - smooth troweled, finish with clear urethane
 - S Ceramic tile with 1/8" grout, set in 1/2" bed of mortar, finished with clear urethane
 - W Tongue and groove advanced wood flooring
 - T Tile flooring to be selected by Owner. Refer to manufacturer's instructions.
 - C Carpet to be selected by Owner. Refer to manufacturer's instructions.

- GENERAL PLAN NOTES:**
- 1.107 **Structural Steel Members**
 - Steel members shall be A36 steel unless otherwise noted.
 - All steel members shall be painted with a minimum of two coats of primer and two coats of finish paint.
 - Steel members shall be galvanized to meet the requirements of the applicable code.
 - Steel members shall be protected from corrosion in accordance with the applicable code.
 - 1.108 **Structural Steel Connections**
 - Connections shall be designed in accordance with the applicable code.
 - Connections shall be painted with a minimum of two coats of primer and two coats of finish paint.
 - Connections shall be protected from corrosion in accordance with the applicable code.
 - 1.109 **Structural Steel Fabrication**
 - Steel members shall be fabricated in accordance with the applicable code.
 - Steel members shall be painted with a minimum of two coats of primer and two coats of finish paint.
 - Steel members shall be protected from corrosion in accordance with the applicable code.
 - 1.110 **Structural Steel Erection**
 - Steel members shall be erected in accordance with the applicable code.
 - Steel members shall be painted with a minimum of two coats of primer and two coats of finish paint.
 - Steel members shall be protected from corrosion in accordance with the applicable code.

10 BR total
7 BR
2 Kitchens

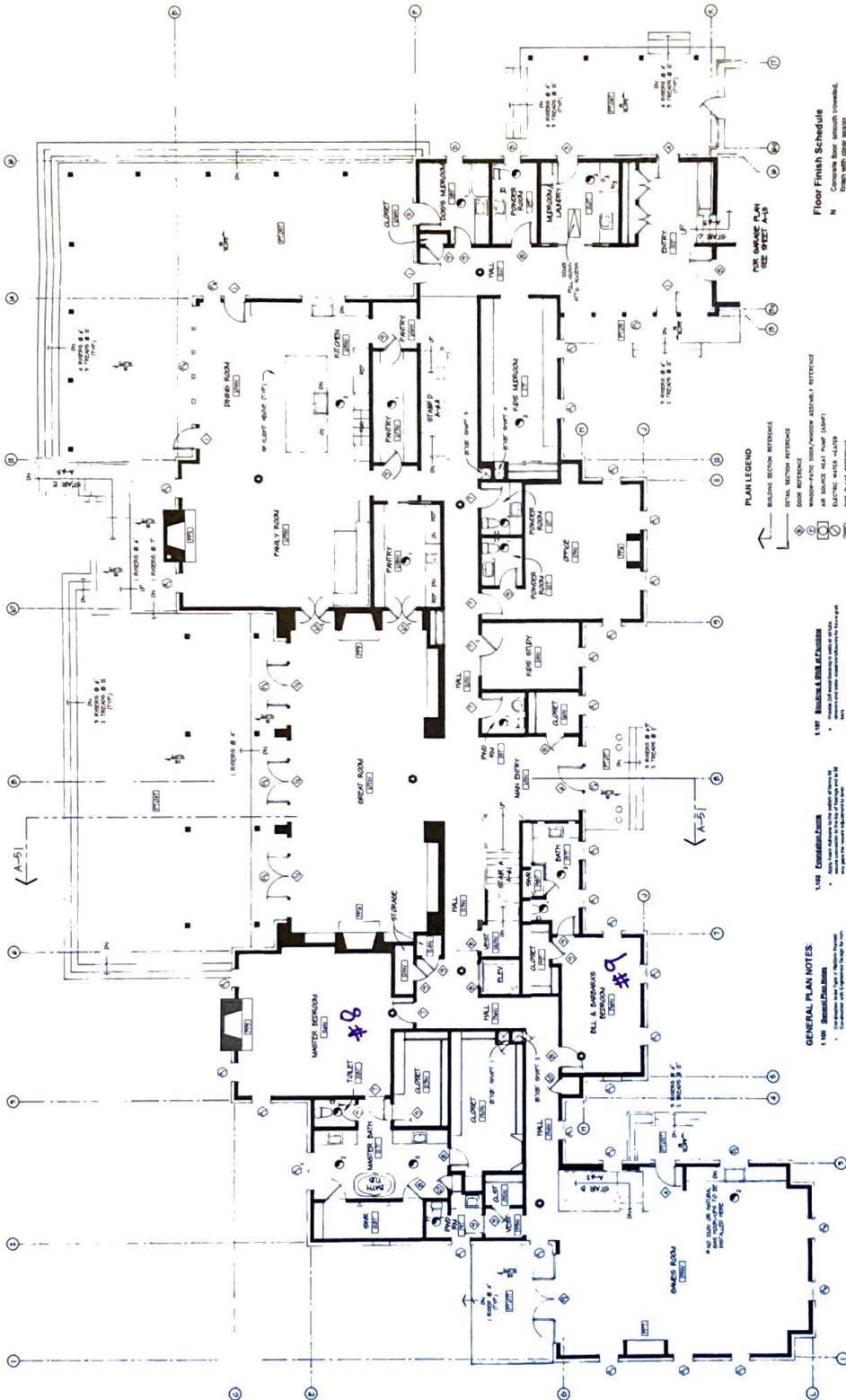
- PLAN LEGEND**
- BUILDING SECTION REFERENCE
 - DETAIL SECTION REFERENCE
 - ROOM REFERENCE
 - ▭ WALL REFERENCE
 - ▭ WINDOW REFERENCE
 - ▭ DOOR REFERENCE
 - ▭ GLASS REFERENCE
 - ▭ FLOOR REFERENCE
 - ▭ CEILING REFERENCE
 - ▭ ROOF REFERENCE
 - ▭ EXTERIOR REFERENCE
 - ▭ INTERIOR REFERENCE
 - ▭ FINISH REFERENCE
 - ▭ MATERIAL REFERENCE
 - ▭ EQUIPMENT REFERENCE
 - ▭ MECHANICAL REFERENCE
 - ▭ ELECTRICAL REFERENCE
 - ▭ PLUMBING REFERENCE
 - ▭ FIRE REFERENCE
 - ▭ SAFETY REFERENCE
 - ▭ SIGNAGE REFERENCE
 - ▭ FURNITURE REFERENCE
 - ▭ LANDSCAPE REFERENCE
 - ▭ SITE REFERENCE
 - ▭ UTILITY REFERENCE
 - ▭ OTHER REFERENCE

SCALE: 1/8"=1'-0"
SECOND FLOOR REFERENCE PLAN
SPRINGWOOD ACRES
 12460 NW SPRINGVILLE ROAD, PORTLAND, OREGON
A-2.1
 SCOTT AND STACY REED

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10/28/2014



Room	Area	Notes
101	10' x 10' x 10'	10' x 10' x 10'
102	10' x 10' x 10'	10' x 10' x 10'
103	10' x 10' x 10'	10' x 10' x 10'
104	10' x 10' x 10'	10' x 10' x 10'
105	10' x 10' x 10'	10' x 10' x 10'
106	10' x 10' x 10'	10' x 10' x 10'
107	10' x 10' x 10'	10' x 10' x 10'

GENERAL PLAN NOTES

- 1.010 **General Notes**
 - All work shall be in accordance with the applicable building codes and regulations.
 - All materials shall be of the highest quality and shall be approved by the architect.
 - All work shall be completed in a timely manner and shall not cause any inconvenience to the owner.
- 1.020 **Foundation**
 - Foundation shall be in accordance with the applicable building codes and regulations.
 - Foundation shall be constructed of concrete and shall be reinforced with steel.
 - Foundation shall be finished with a smooth surface.
- 1.030 **Roofing**
 - Roofing shall be in accordance with the applicable building codes and regulations.
 - Roofing shall be constructed of asphalt/fluoropolymer shingles.
 - Roofing shall be installed over a waterproof membrane.
- 1.040 **Interior Finishes**
 - Interior finishes shall be in accordance with the applicable building codes and regulations.
 - Interior finishes shall be installed in a timely manner and shall not cause any inconvenience to the owner.
 - Interior finishes shall be approved by the architect.

PLAN LEGEND

- 1.050 **Construction**
 - 1.051 **Foundation**
 - 1.051.01 Foundation
 - 1.051.02 Foundation
 - 1.051.03 Foundation
 - 1.052 **Roofing**
 - 1.052.01 Roofing
 - 1.052.02 Roofing
 - 1.052.03 Roofing
 - 1.053 **Interior Finishes**
 - 1.053.01 Interior Finishes
 - 1.053.02 Interior Finishes
 - 1.053.03 Interior Finishes
- 1.060 **Structural Elements**
 - 1.060.01 Structural Elements
 - 1.060.02 Structural Elements
 - 1.060.03 Structural Elements
- 1.070 **MEP**
 - 1.070.01 MEP
 - 1.070.02 MEP
 - 1.070.03 MEP

Floor Finish Schedule

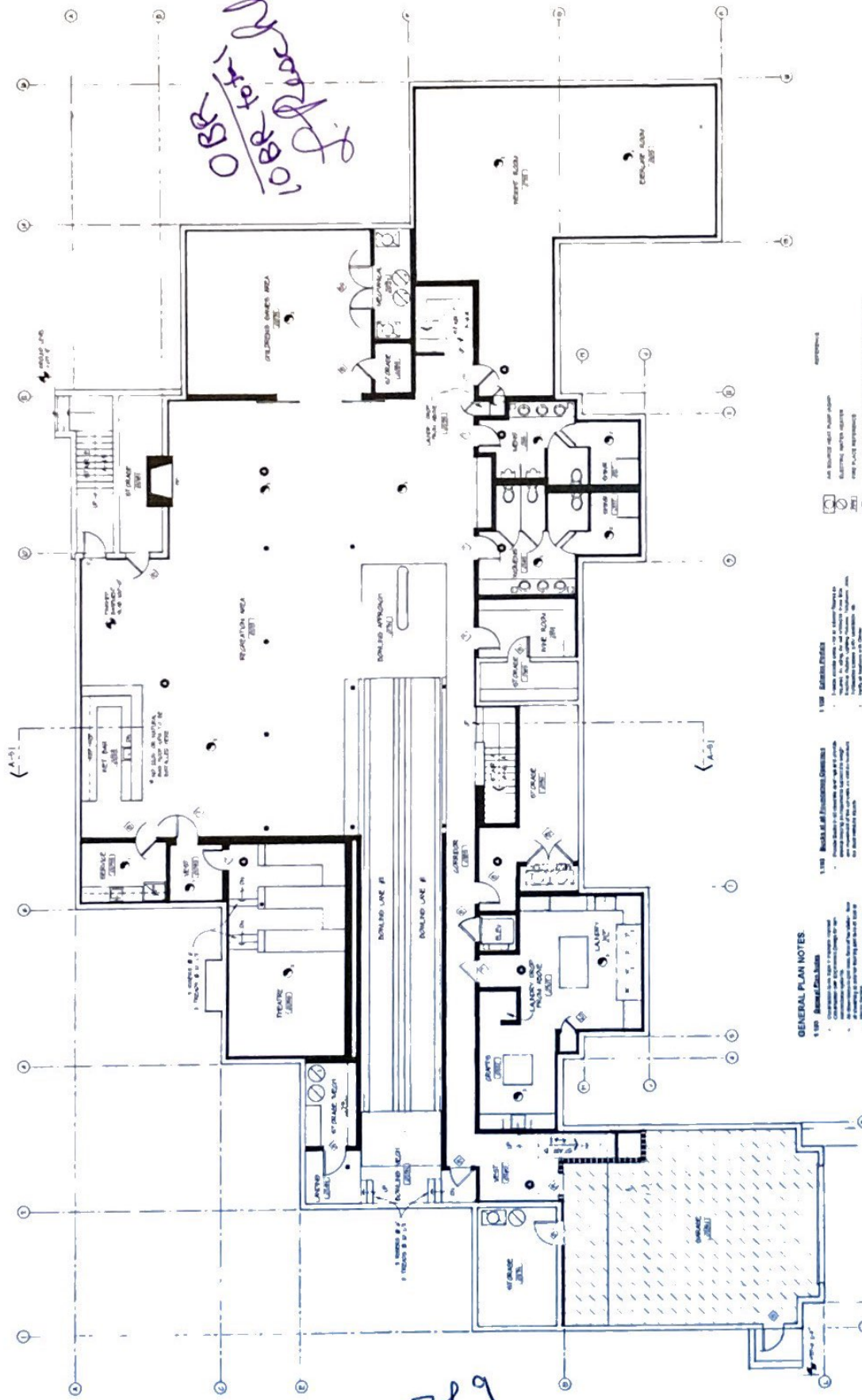
- N Concrete floor with tile
- S Concrete floor with carpet
- W Concrete floor with carpet
- T Concrete floor with carpet
- C Carpet flooring to be installed by Owner

SCALE: 3/8" = 1'-0"
A-1.1
GROUND FLOOR REFERENCE PLAN
SPRINGWOOD ACRES
 1244 NW SPRINGVILLE ROAD, PORTLAND, OREGON
 FOR
SCOTT & STACY REED

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22-153678-SF

1088 Total Area
1088 Total Area



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GENERAL PLAN NOTES

- 1.100 **Basement Construction**
 - 1.100.1 All walls and columns shall be constructed in accordance with the applicable building code.
 - 1.100.2 All walls and columns shall be constructed in accordance with the applicable building code.
 - 1.100.3 All walls and columns shall be constructed in accordance with the applicable building code.
- 1.101 **Interior Finishes**
 - 1.101.1 All interior walls shall be finished with 1/2" gypsum board.
 - 1.101.2 All interior walls shall be finished with 1/2" gypsum board.
 - 1.101.3 All interior walls shall be finished with 1/2" gypsum board.
- 1.102 **Roofs**
 - 1.102.1 All roofs shall be finished in accordance with the applicable building code.
 - 1.102.2 All roofs shall be finished in accordance with the applicable building code.
 - 1.102.3 All roofs shall be finished in accordance with the applicable building code.
- 1.103 **Structural Steel Members**
 - 1.103.1 All structural steel members shall be finished in accordance with the applicable building code.
 - 1.103.2 All structural steel members shall be finished in accordance with the applicable building code.
 - 1.103.3 All structural steel members shall be finished in accordance with the applicable building code.
- 1.104 **Partitions**
 - 1.104.1 All partitions shall be finished in accordance with the applicable building code.
 - 1.104.2 All partitions shall be finished in accordance with the applicable building code.
 - 1.104.3 All partitions shall be finished in accordance with the applicable building code.
- 1.105 **Concrete Slab & Beam Construction**
 - 1.105.1 All concrete slabs and beams shall be finished in accordance with the applicable building code.
 - 1.105.2 All concrete slabs and beams shall be finished in accordance with the applicable building code.
 - 1.105.3 All concrete slabs and beams shall be finished in accordance with the applicable building code.
- 1.106 **Reinforcing Steel & Cast-in-Place**
 - 1.106.1 All reinforcing steel and cast-in-place concrete shall be finished in accordance with the applicable building code.
 - 1.106.2 All reinforcing steel and cast-in-place concrete shall be finished in accordance with the applicable building code.
 - 1.106.3 All reinforcing steel and cast-in-place concrete shall be finished in accordance with the applicable building code.
- 1.107 **Reinforcing Steel & Cast-in-Place**
 - 1.107.1 All reinforcing steel and cast-in-place concrete shall be finished in accordance with the applicable building code.
 - 1.107.2 All reinforcing steel and cast-in-place concrete shall be finished in accordance with the applicable building code.
 - 1.107.3 All reinforcing steel and cast-in-place concrete shall be finished in accordance with the applicable building code.

Item No.	Quantity	Unit	Description
101	100	Sq. Ft.	1/2" Gypsum Board
102	100	Sq. Ft.	1/2" Gypsum Board
103	100	Sq. Ft.	1/2" Gypsum Board
104	100	Sq. Ft.	1/2" Gypsum Board
105	100	Sq. Ft.	1/2" Gypsum Board
106	100	Sq. Ft.	1/2" Gypsum Board
107	100	Sq. Ft.	1/2" Gypsum Board
108	100	Sq. Ft.	1/2" Gypsum Board
109	100	Sq. Ft.	1/2" Gypsum Board
110	100	Sq. Ft.	1/2" Gypsum Board
111	100	Sq. Ft.	1/2" Gypsum Board
112	100	Sq. Ft.	1/2" Gypsum Board
113	100	Sq. Ft.	1/2" Gypsum Board
114	100	Sq. Ft.	1/2" Gypsum Board
115	100	Sq. Ft.	1/2" Gypsum Board
116	100	Sq. Ft.	1/2" Gypsum Board
117	100	Sq. Ft.	1/2" Gypsum Board
118	100	Sq. Ft.	1/2" Gypsum Board
119	100	Sq. Ft.	1/2" Gypsum Board
120	100	Sq. Ft.	1/2" Gypsum Board

BASMENT REFERENCE FLOOR PLAN
SPRINGWOOD ACRES
 12424 NW SPRINGVILLE ROAD PORTLAND, OREGON
 FOR
SCOTT & STACY REED



A-0.1

SCALE: 1/8" = 1'-0"

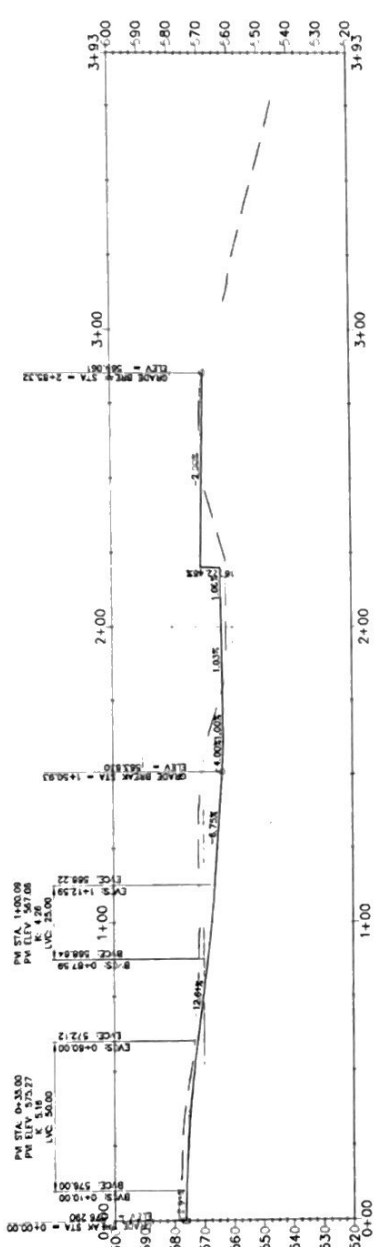
22-153678-SE
DR

SPRINGVILLE RESIDENTIAL
12424 NW SPRINGVILLE ROAD
PORTLAND, OREGON 97229

SCOTT & STACY REED
8480 NW MCCORD DR
PORTLAND, OR 97229
84.331.8885

FOR PERMIT SUBMITTAL; NOT FOR CONSTRUCTION

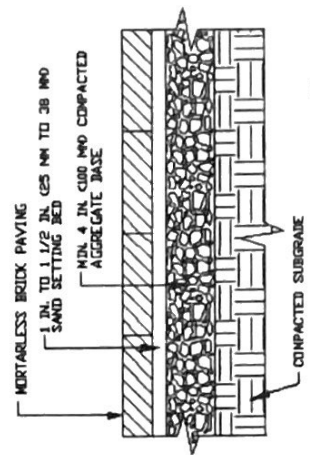
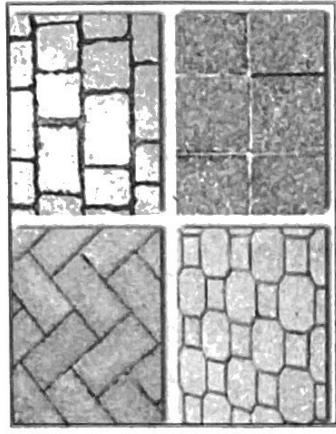
10 of 14
C-502



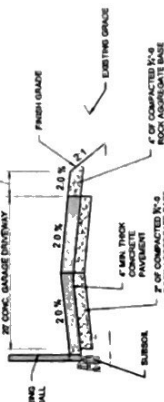
SITE DATUM OF 563.64 = FLOOR ELEV. 100'-0" ON ARCHITECTURAL AND STRUCTURAL DRAWINGS

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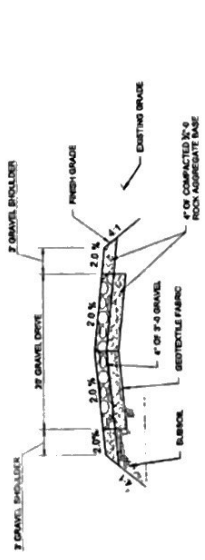
GARAGE DRIVEWAY
SCALE 1"=2'
C-502



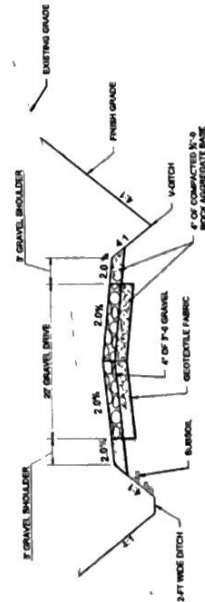
SECTION D-D (SEE SHT C-601)



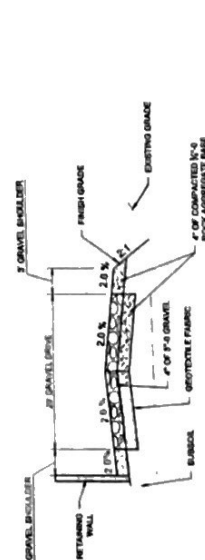
SECTION E-E (SEE SHT C-601)



SECTION A-A (SEE SHT C-601)



SECTION B-B (SEE SHT C-601)



SECTION C-C (SEE SHT C-601)

CONCRETE GARAGE DRIVEWAY SECTION
SCALE 1/8\"/>

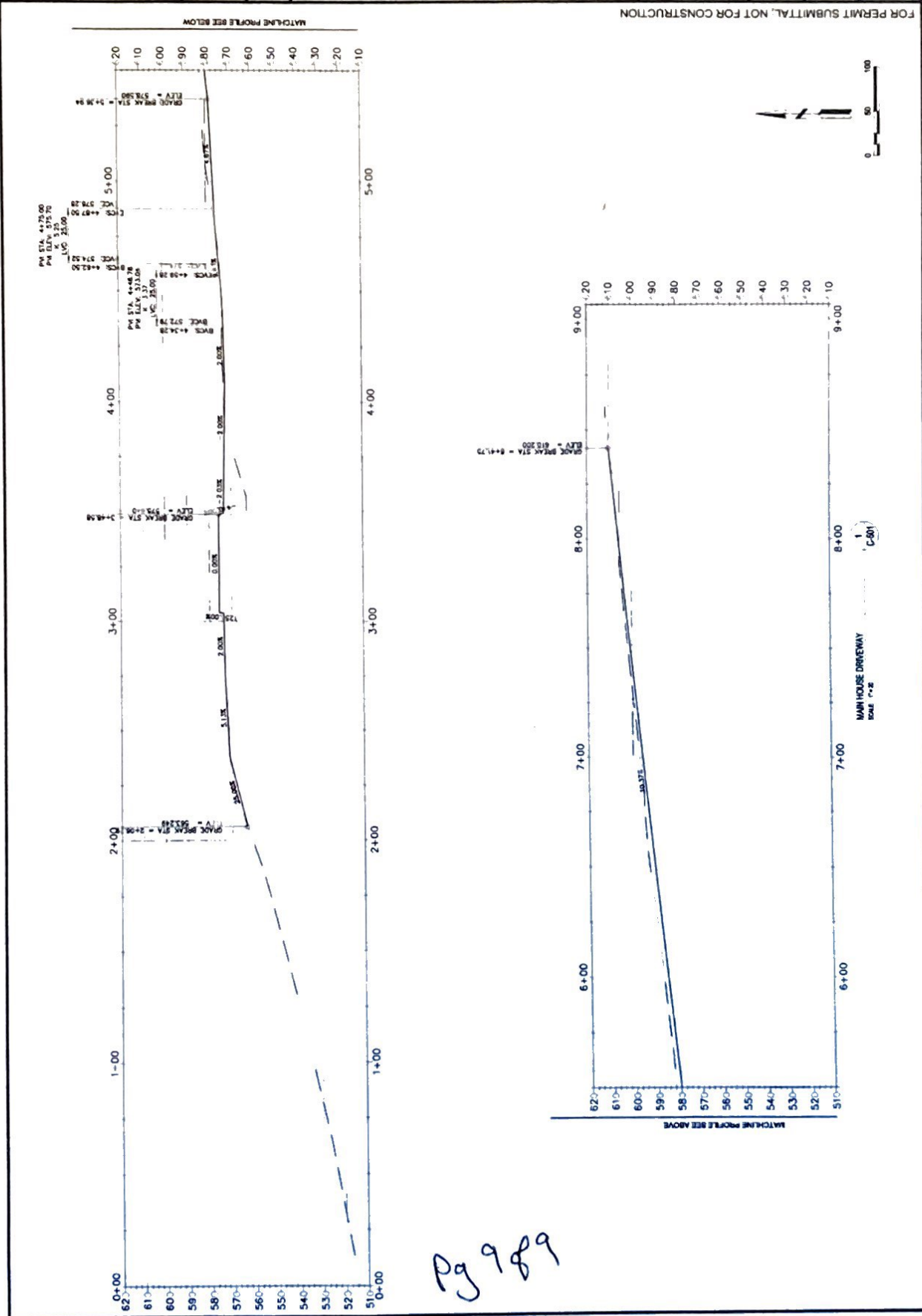
GRAVEL DRIVEWAY SECTION
SCALE 1/8\"/>

22-153678-SE
LR

SPRINGVILLE RESIDENTIAL
12424 NW SPRINGVILLE ROAD
PORTLAND, OREGON 97229

SCOTT & STACY BEED
LAND SURVEYORS
PORTLAND, OREGON 97228
914.391.8865

DATE: 11/14/13
PROJECT: SPRINGVILLE RESIDENTIAL
DRAWN BY: [Signature]
CHECKED BY: [Signature]
SCALE: AS SHOWN
SHEET: 1 OF 14



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