



**Multnomah Rural  
Fire Protection  
District No. 10**

September 21, 2022

Mr. David Peters, P.E.  
Bull Run Filtration Project  
Portland Water Bureau  
1120 SW 5<sup>th</sup> Ave. 106544  
Portland OR 97204

Dear Mr. Peters,

Please find enclosed the completed Fire Service Agency Review Form related to the Portland Water Bureau's proposed water filtration plant within the service area of Multnomah Rural Fire Protection District 10 (RFPD 10).

As you know, the Board of Directors for RFPD 10 authorized the release of the Fire Service Agency Review Form at its September 13, 2022 meeting. Additionally, the Board directed that it be made clear to the Portland Water Bureau and Multnomah county Land Use Planning Division that release of this limited review form should in no way be interpreted as an approval or implied approval of the proposed facility by RFPD 10.

Consistent with the Multnomah County Comprehensive Plan (Strategy 11.17-2), RFPD 10 Directors are continuing to evaluate the proposed plant and its impacts on the service we provide and the health and safety of the residents of the rural community and our first responders. At the appropriate time, RFPD 10 intends to submit testimony for consideration in the land use process.

Submitted on Behalf of the Board

Michael McKeel, Chair

cc: Ms. Lisa Estrin, Multnomah County Land Use Planning Division



**Land Use Planning Division**  
 1600 SE 190<sup>th</sup> Ave, Ste 116  
 Portland OR 97233  
 Ph: 503-988-3043 Fax: 503-988-3389  
 multco.us/landuse

**FIRE SERVICE AGENCY  
 REVIEW**

**TO THE APPLICANT:** Take this form to the Structural Fire Service Provider\* that serves your property along with the following:

- A site plan drawn to scale showing the subject property, its improvements, location of fire hydrants and driveway information; **A - Site Plan.pdf**
- A floor plan of the proposed development; and **B - Floor Plans.pdf**
- A fire flow report from your water purveyor (if applicable) [Not applicable for Properties served by MCRFD#14 customers] **C - Water Supply TM.pdf**
- After the fire official signs this form, include it with your application material. See Fire Code Application Guide for fire-related access standards and fire flow information.

\*If your property is not served by a structural fire service provider, your project is to be reviewed by the appropriate building official serving your property.

Address of Site Unassigned, SE Carpenter Lane (Located across from 35319 SE Carpenter Lane)

Map & Tax Lot: SECTION 22 1S 4E, TL 400 56.87 ACRES  
SECTION 22 1S 4E, TL 100 36.62 ACRES 'R' number R994220980 & R994220820

Description of Proposed Use: Water filtration facility including admin and maintenance buildings, communications facilities, treatment processes, and general, chemical, and equipment storage.  
 Total Square Footage of Building (including roof projections, eaves & attached structures): varies, see Table in A

Applicant Name: City of Portland Water Bureau - Attn: Lyda Hakes Phone: 503-865-4713

Mailing Address: 1120 SW 5th Avenue Rm 405

City: Portland State: OR Zip Code: 97204 Email: lyda.hakes@portlandoregon.gov

**STRUCTURAL FIRE SERVICE AGENCY REVIEW**

Fire Agency completing this form: Gresham Fire Emergency Services Date of Review Jan 25, 2022

- The subject property is located within our service boundaries or is under contract.
- The subject property is outside of our service boundaries and will not be providing fire protection services via contract. (Additional review is not needed.)

**\*\* Access Review by Structural Fire Service Agency Providing Service \*\***

- The proposed development is in compliance with the fire apparatus access standards of the Oregon Fire Code standards as implemented by our agency.
- The following access improvements must be completed prior to issuance of the building permit and be re-inspected by our agency before flammable materials are placed on the property.

See the attached document

- The proposed development is **not** in compliance with the adopted Fire Service Agency's access standards. The proposed building/structure is required to have a fire sprinkler system installed in compliance with Section 903.1.3 (NFPA 13D) of the Oregon Fire Code.

**Fire Official:** Please sign or stamp the presented site plan & floor plan and attach it to this form.

Robert Mather DFMU

Signature & Title of Fire Official

## STRUCTURAL FIRE SERVICE AGENCY REVIEW, cont.

### \*\* Fire Flow by Structural Fire Service Agency Providing Service \*\*

The structure, building or addition is exempt from the fire flow standards of the OFC B-105.2.

- The proposed non-commercial structure is **less than 3,600 sq. ft.** (including the horizontal projections of the roof) and there is 1,000 gallons per minute of fire-flow available at 20 psi from public water lines. No mitigation measures are necessary.
- The proposed non-commercial structure is **more than 3,600 sq. ft.** (including the horizontal projections of the roof) and the fire-flow & flow duration at 20 psi is available from public water lines or private well and is in compliance with minimums specified in Appendix B, Table B105.1 of the Oregon Fire Code. No mitigation measures are necessary.
- The existing fire-flow & flow duration available from public water lines or private well is not adequate to serve the proposed non-commercial structure in compliance with Appendix B of the Oregon Fire Code. The following mitigation measures are necessary\* and must be installed prior to occupancy or use of the structure.
  - A monitored fire alarm must be installed.
  - Class A or non-combustible roof materials must be installed.
  - Defensible space of 30 feet around the structure/building/addition.
  - A defensible space of 100 feet around the structure/building/addition due to slopes greater than 20 %.
  - A fire sprinkler system meeting Section 903.1.3 (NFPA13D) of the Oregon Fire Code shall be installed.
  - Other \_\_\_\_\_

\* The above required structural features are required by the Oregon Fire Code and shall be shown clearly on all building plans.

### Commercial/Industrial Buildings & Uses.

- The minimum fire flow and flow duration is available from public water lines or private well as specified in Appendix B, Table B105.1. No mitigation measures are required.
- The minimum fire flow & flow duration is not available from public water lines or private well as specified in Appendix B, Table B105.1. The following mitigation measures are required:

*See attached*

*Robert D. Matus DFMU*

Signature & Title of Fire Official

To the Fire Official:

- Land Use Planning has determined that the proposed building will qualify as an Exempt Farm Structure and the property owner has indicated that the building will be used solely for farm purposes and they intend on using the provision under ORS 455.315 and will not be obtaining a building permit for its construction.

Multnomah County Land Use Planning



1333 NW Eastman Parkway, Gresham, Oregon 97030-3813  
Phone 503-618-2355 • Fax 503-666-8330  
GreshamOregon.gov/fire

Fire Service Agency Review:

January 25, 2022

Portland Water Bureau  
Filtration Facility  
SE Carpenter Lane  
Gresham, Oregon

**Plan Review Comments / Multnomah County**

1. Prior to construction material arriving on site, provide a temporary address of 6" at the property entrance. Prior to building final, a permanent 6" address shall be installed. Refer to the Addressing Guide attached. *OFC 505 & ORSC319*
2. Access roads shall be a minimum of 20 feet wide, or where the building height exceeds 30 feet to the highest roof surface the fire access roadway shall be 26 feet wide or where a fire hydrant is placed along the fire access roadway. Fire access around buildings that exceed 30 feet in height shall have clear aerial apparatus access that is within 15 feet and no more than 30 feet of the building along the entire length of the buildings over thirty feet in height. A clear height of 13 feet 6 inches shall be provided off the road surface. The roadway shall be all weather driving capabilities and support fire apparatus weighing 75,000lbs. *503.2*
3. A secondary emergency access road is required based on the size of this project and square footage of the buildings being proposed. The requested or proposed ten-foot road surface and five-foot shoulders is **not allowed for commercial projects** the minimum width of the roadways shall be 20 feet wide and shall be all weather surface and able to support 75,000 lbs. Fire hydrants shall be spaced along this roadway every 1000 feet where no buildings are built and then the roadway width shall be increase to 26 feet wide twenty feet on each side of the fire hydrant. Two separate fire access roads are required and shall be separated by at least ½ the diagonal lot distance **See appendix D**
4. The fire access roadway grade shall not exceed 10%. *503.2.7*
5. Required fire flow from the nearest fire hydrant is 1,500 gpm at 20 psi for 3 hours for the buildings being protected per 903.3.1.1 NFPA 13 based 28,614 square feet V-B building square feet. Fire flow is calculated from the Oregon Fire Code App B. Please keep in mind the required fire flow is required to be on site and approved prior to the building being built and or combustible materials come on site for building the buildings. *507.3 & Appendix B*

6. If a gate is installed across the driveway, it must meet the Gresham Fire Gate Policy. Fire access will need to be reviewed and approved prior to gate installation. A Knox lock box is to be required where the gate is a power operated gate or where a manual gate is used shall have a Knox pad lock installed and a gate keeper style multiple pad lock device installed where more than one pad lock is installed. **503.5**
7. Fire Lane marking will be required along the fire access roads and shall either be sign and or painted curbs or a combination of both. The layout shall be approved by GFES. OFC D103.

Thanks,

Robert Mottice  
Captain DFM II  
Gresham Fire & Emergency Services  
[GFES@GreshamOregon.gov](mailto:GFES@GreshamOregon.gov)  
503-618-2355



Land Use Planning Division  
 1600 SE 190<sup>th</sup> Ave, Ste 116  
 Portland OR 97233  
 Ph: 503-988-3043 Fax: 503-988-3389  
 multco.us/landuse

**FIRE SERVICE AGENCY  
 REVIEW**

**TO THE APPLICANT:** Take this form to the Structural Fire Service Provider\* that serves your property along with the following:

- A site plan drawn to scale showing the subject property, its improvements, location of fire hydrants and driveway information;
- A floor plan of the proposed development; and
- A fire flow report from your water purveyor (if applicable) [Not applicable for Properties served by MCRFD#14 customers]
- After the fire official signs this form, include it with your application material. See Fire Code Application Guide for fire-related access standards and fire flow information.

\*If your property is not served by a structural fire service provider, your project is to be reviewed by the appropriate building official serving your property.

Address of Site 33304 SE Lusted RD

Map & Tax Lot: SECTION 21 1S 4E, TL 900 'R' number R342513

Description of Proposed Use: (35.56 ac) Finished water intertie in the northeast corner of the taxlot. The intertie will include below-grade vault with piping and valving, an above-ground electrical support building, parking area, and landscaping.

Total Square Footage of Building (including roof projections, eaves & attached structures): Vault = 5,349 sf  
Electrical bldg = 1,022 sf

Applicant Name: City of Portland Water Bureau - Attn: Lyda Hakes Phone: 503-865-4713

Mailing Address: 1120 SW 5th Avenue Rm 405

City: Portland State: OR Zip Code: 97204 Email: Lyda.Hakes@portlandoregon.gov

**STRUCTURAL FIRE SERVICE AGENCY REVIEW**

Fire Agency completing this form: Gresham Fire / Fire District 10 Date of Review 7-12-2022

- The subject property is located within our service boundaries or is under contract.
- The subject property is outside of our service boundaries and will not be providing fire protection services via contract. (Additional review is not needed.)

**\*\* Access Review by Structural Fire Service Agency Providing Service \*\***

- The proposed development is in compliance with the fire apparatus access standards of the Oregon Fire Code standards as implemented by our agency.
- The following access improvements must be completed prior to issuance of the building permit and be re-inspected by our agency before flammable materials are placed on the property.

See attached comments

- The proposed development is **not** in compliance with the adopted Fire Service Agency's access standards. The proposed building/structure is required to have a fire sprinkler system installed in compliance with Section 903.1.3 (NFPA 13D) of the Oregon Fire Code.

**Fire Official:** Please sign or stamp the presented site plan & floor plan and attach it to this form.

Robert Mathews Captain DFM II  
 Signature & Title of Fire Official

See Other Side

**STRUCTURAL FIRE SERVICE AGENCY REVIEW, cont.**

**\*\* Fire Flow by Structural Fire Service Agency Providing Service \*\***

The structure, building or addition is exempt from the fire flow standards of the OFC B-105.2.

- The proposed non-commercial structure is less than 3,600 sq. ft. (including the horizontal projections of the roof) and there is 1,000 gallons per minute of fire-flow available at 20 psi from public water lines. No mitigation measures are necessary.
- The proposed non-commercial structure is more than 3,600 sq. ft. (including the horizontal projections of the roof) and the fire-flow & flow duration at 20 psi is available from public water lines or private well and is in compliance with minimums specified in Appendix B, Table B105.1 of the Oregon Fire Code. No mitigation measures are necessary.
- The existing fire-flow & flow duration available from public water lines or private well is not adequate to serve the proposed non-commercial structure in compliance with Appendix B of the Oregon Fire Code. The following mitigation measures are necessary\* and must be installed prior to occupancy or use of the structure.
  - A monitored fire alarm must be installed.
  - Class A or non-combustible roof materials must be installed.
  - Defensible space of 30 feet around the structure/building/addition.
  - A defensible space of 100 feet around the structure/building/addition due to slopes greater than 20 %.
  - A fire sprinkler system meeting Section 903.1.3 (NFPA 13D) of the Oregon Fire Code shall be installed.
  - Other \_\_\_\_\_

\* The above required structural features are required by the Oregon Fire Code and shall be shown clearly on all building plans.

**Commercial/Industrial Buildings & Uses.**

- The minimum fire flow and flow duration is available from public water lines or private well as specified in Appendix B, Table B105.1. No mitigation measures are required.
- The minimum fire flow & flow duration is not available from public water lines or private well as specified in Appendix B, Table B105.1. The following mitigation measures are required:  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

Robert Mottus Captain DFMI  
Signature & Title of Fire Official

To the Fire Official:

- Land Use Planning has determined that the proposed building will qualify as an Exempt Farm Structure and the property owner has indicated that the building will be used solely for farm purposes and they intend on using the provision under ORS 455.315 and will not be obtaining a building permit for its construction.

\_\_\_\_\_  
Multnomah County Land Use Planning



1333 NW Eastman Parkway, Gresham, Oregon 97030-3813  
Phone 503-618-2355 • Fax 503-666-8330  
GreshamOregon.gov/fire

Fire Service Agency Review:

July 12, 2022

Portland Water Bureau  
Finished Water Intertie  
33304 SE Lusted Rd  
Gresham, Oregon

**Plan Review Comments / Multnomah County / Finished Water Intertie**

1. Prior to construction material arriving on site, provide a temporary address of 6" at the property entrance. Prior to building final, a permanent 6" address shall be installed. Refer to the Addressing Guide attached. ***OFC 505 & ORSC319***
2. Access roads shall be a minimum of 20 feet wide, or where the building height exceeds 30 feet to the highest roof surface the fire access roadway shall be 26 feet wide or where a fire hydrant is placed along the fire access roadway. Fire access around buildings that exceed 30 feet in height shall have clear aerial apparatus access that is within 15 feet and no more than 30 feet of the building along the entire length of the buildings over thirty feet in height. A clear height of 13 feet 6 inches shall be provided off the road surface. The roadway shall be all weather driving capabilities and support fire apparatus weighing 75,000lbs. ***503.2***
3. The fire access roadway grade shall not exceed 10%. ***503.2.7***
4. Required fire flow from the nearest fire hydrant is 1,500 gpm at 20 psi for 3 hours for the buildings being protected per 903.3.1.1 NFPA 13 based 28,614 square feet V-B building square feet. Fire flow is calculated from the Oregon Fire Code App B. Please keep in mind the required fire flow is required to be on site and approved prior to the building being built and or combustible materials come on site for building the buildings. ***507.3 & Appendix B***
  - a. Hydrant(s) is in 538 feet to the west. Provides the required fire flow.
5. If a gate is installed across the driveway, it must meet the Gresham Fire Gate Policy. Fire access will need to be reviewed and approved prior to gate installation. A Knox lock box is to be required where the gate is a power operated gate or where a manual gate is used shall have a Knox pad lock installed and a gate keeper style multiple pad lock device installed where more than one pad lock is installed. ***503.5***



Thanks,

Robert Mottice  
Captain DFM II  
Gresham Fire & Emergency Services  
[GFES@GreshamOregon.gov](mailto:GFES@GreshamOregon.gov)  
503-618-2355

No.	Date	Author	Description



PRELIMINARY NOT FOR CONSTRUCTION



WARNING  
IN FIELD USE ONLY  
FOR THE INDUSTRY  
OF WATER SUPPLY



PORTLAND WATER BUREAU

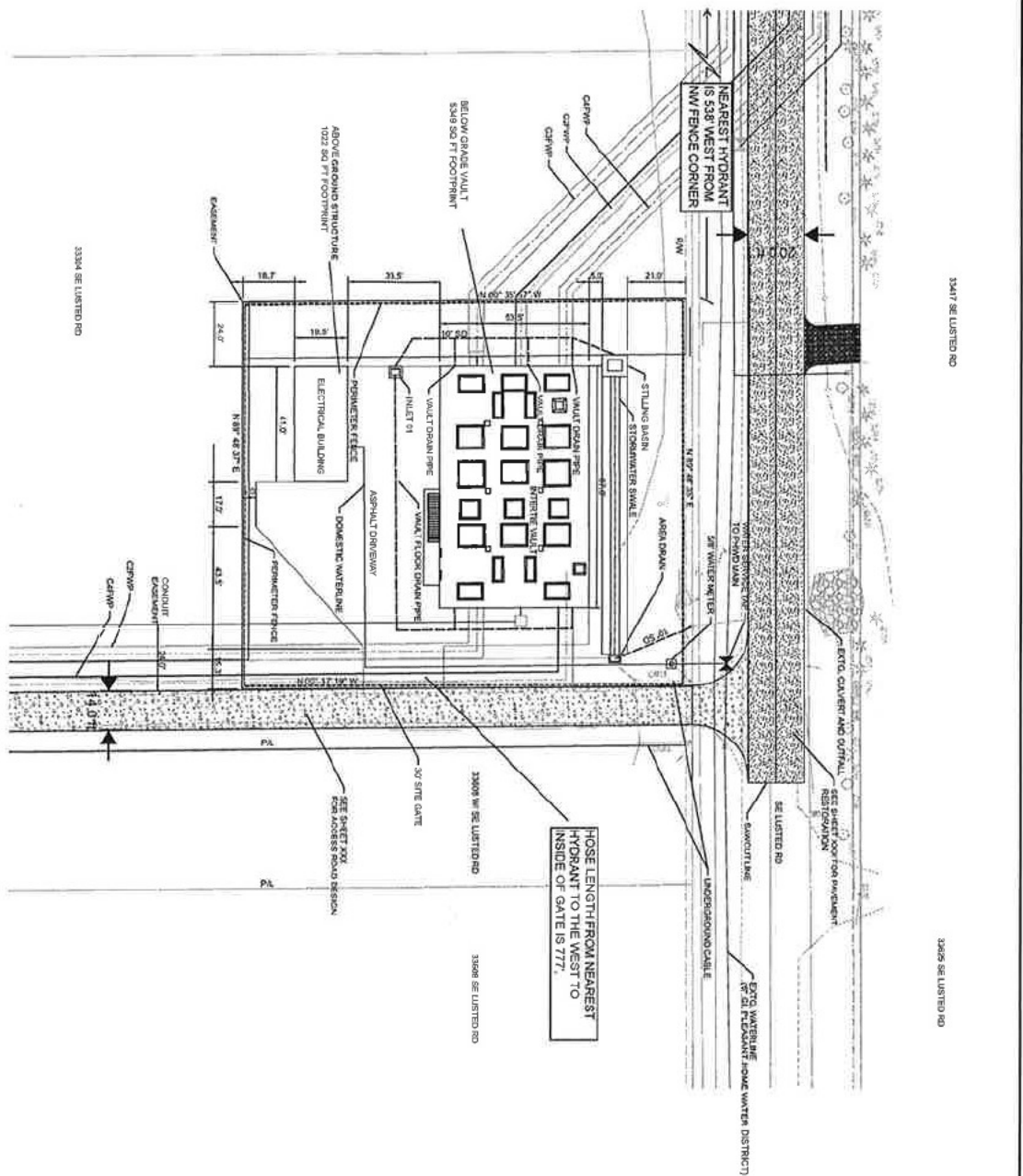
FROM FOREST TO FAUCET



Bull Run Filtration Pipelines  
FINISHED WATER INTERTIE  
CIVIL  
SITE PLAN

W02563  
EMERIO  
FWI-C-1001

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GENERAL SHEET NOTES

- 1. SEE ARCHITECTURAL SHEETS FOR INTERTIE WALL
- 2. SEE ELECTRICAL SHEETS FOR ELECTRICAL
- 3. SEE LAYOUT SHEETS FOR CONDUIT PROFILES AND DETAILS
- 4. SEE LANDSCAPE SHEETS FOR PLANTED VARD AND SO

Δ CONSTRUCTION NOTES

- 1. SHEET KEYNOTES APPLY TO SPECIFIC DRAWING ELEMENTS ON THE SHEET THEY ARE LOCATED

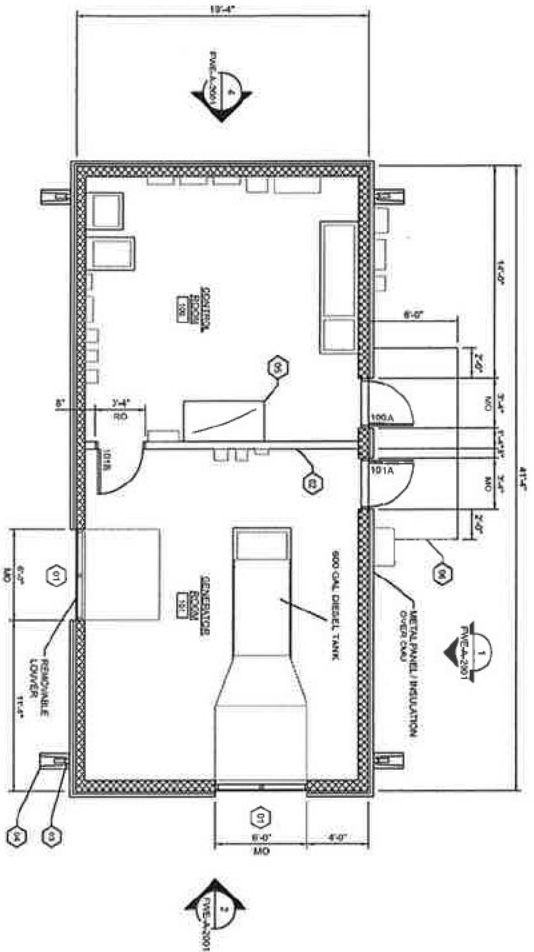
○ SHEET KEYNOTES

- 1. CONSTRUCT ROAD, SEE SHEET XXX
- 2. CONSTRUCT DRIVEWAY APPROACH

LEGEND

- ACR FULL DEPTH RECONSTRUCTION  
ON EXISTING STANDARD SECTION  
ON EXISTING STANDARD SECTION  
GRAVEL  
CONCRETE  
STORM DRAINAGE CULVERT





1 GROUND FLOOR PLAN

GENERAL SHEET NOTES	
1.	GENERATOR: THERE ARE NO KNOWN SERVICE GENERATOR REPLACEMENT LOCATIONS.
2.	LANDSCAPING: SEE LANDSCAPING PLAN.
3.	ACCESSIBILITY: SEE ACCESSIBILITY PLAN. PROJECT INFORMATION IS NOT OPEN FOR PUBLIC USE.
4.	EXPOSED GROUND DISTURBANCE: SEE CIVIL PLAN.
KEYNOTES	
01.	ALUMINUM LOUVER.
02.	HARBATED METAL STUD WALL, FILL WITH BATT INSULATION.
03.	SQUARE METAL DOWNSPOUT - TYPICAL OF 4.
04.	PREPARED CONCRETE SLAB/ROCK - TYPICAL OF 4.
05.	DEEP STUD.
06.	CONCRETE LANDING.

NO.	DATE	DESCRIPTION	BY

**Jacobs**

PRELIMINARY  
NOT FOR  
CONSTRUCTION

Discipline	Checked By	Project No.

**WARNING**  
If this sheet is altered, the date and initials of the person making the change should be noted.



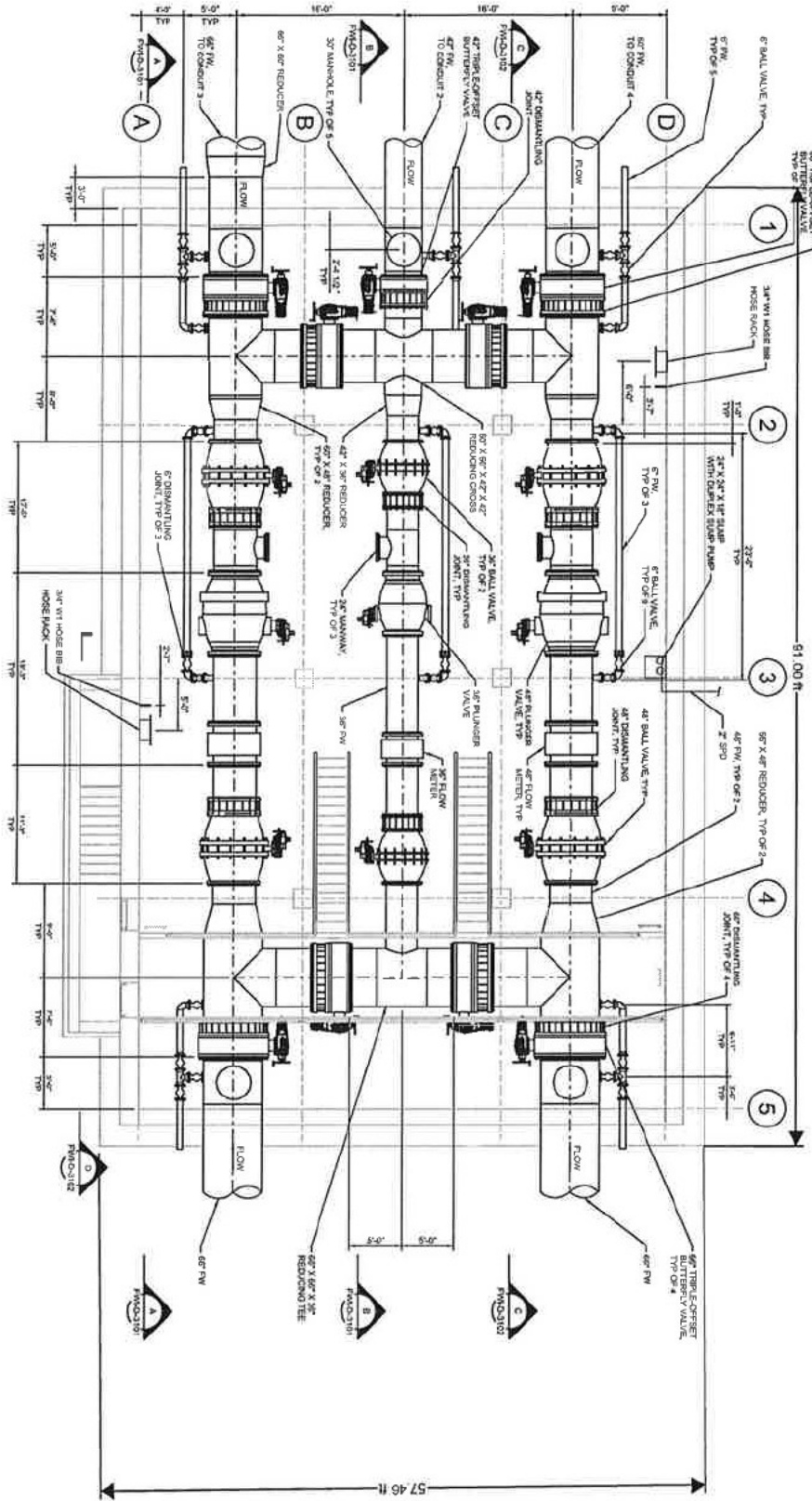
XXXX XXX  
XXXX XXX  
DATE



Bull Run Filtration Pipelines  
FINISHED WATER INTERTIE  
ARCHITECTURAL  
GROUND FLOOR PLAN

W02563  
FINISHED WATER INTERTIE  
ARCHITECTURAL  
GROUND FLOOR PLAN

CONFIDENTIAL



GENERAL SHEET NOTES  
 1. FOR Piping SCHEDULE SEE DRAWING GEN-D-000A

CONFIDENTIAL

NO.	DATE	BY	DESCRIPTION

**Jacobs**

PRELIMINARY  
NOT FOR  
CONSTRUCTION

PROJECT NO. W02563  
SHEET NO. FWI-D-1110

WARNING  
 THE INFORMATION CONTAINED  
 HEREIN IS UNCLASSIFIED  
 EXCEPT WHERE SHOWN  
 OTHERWISE



FROM FOREST TO FAUCET



Bull Run Filtration Pipelines  
 FINISHED WATER INTERTIE  
 PROCESS MECHANICAL  
 VALVE PLAN

W02563  
 FWI-D-1110



**MULTNOMAH COUNTY**  
 LAND USE & TRANSPORTATION PROGRAM  
 1600 S.E. 190TH AVENUE  
 PORTLAND OR 97233  
 503-988-3043 FAX 503-988-3389  
 www.co.multnomah.or.us/dbcs/LUT/land\_use

**CERTIFICATION OF WATER SERVICE**

Take this form to the Water District that serves the property.

Address of Site 33304 SE Lusted Road, Gresham, OR 97080 (existing house – not related to our facility)  
 Map & Tax Lot Number SECTION 21 1S 4E, TL 900

If Residential Use, Total Number of Units N/A

Applicant's Name ChristopherBowker@PortlandOregon.gov

Mailing Address 1120 SW 5th Ave, Rm 405 City Portland

State Or Zip Code 97204

**-TO THE APPLICANT-**

Approval of most land uses involving a new or expanded use or involving creation of a new parcel requires a determination that the water system is adequate.

If you propose to use a public water system, deliver this form to the appropriate water district prior to making any land use application. After the water district fills in the following section and returns it to you, include this form with your application.

If you will be using a private water system, complete the bottom section of this form.

**-TO BE COMPLETED BY A DISTRICT OFFICIAL AND RETURNED TO THE APPLICANT-**

The District will provide service from a 6 inch line located on the south side of Lusted Rd

The proposed use should be required to make the following water system improvements: None

Name of District Pleasant Home Water District Name of Official Dan Fraijo

Date 12/10/2021 Office held by Official Manager

**-TO BE COMPLETED BY THE APPLICANT IF A PRIVATE WATER SYSTEM WILL BE USED-**

If you propose to use a private water system, a determination that the system is adequate must be made to satisfy Comprehensive Plan Policy 37. There are two different times that determination can be made:

- (1) In the initial review of your proposal if the on-site well or other form of private system is existing at the time of the land use application, OR
- (2) After the initial review but before issuance of a building permit when documentation is provided to the Planning Director that a water system is in place. At that time public notification will again be given which may result in a new public hearing.

Describe Water Source, Including Location \_\_\_\_\_

Describe Supply of Water Available (i.e., Gallons Per Minute) \_\_\_\_\_



December 10, 2021

Dear Mr. Akerman,

Regarding: Fire Flow at 33234 SE Lusted Rd, Gresham

The following information is for the hydrant located at 33234 SE Lusted Rd.

The available fire flows during peak daily demands with no pumps running are as follows:

Static Pressure – 80 psi

Flow – 1,300 gpm

Residual Pressure – 23 psi (at the lowest point in the distribution system)

Please contact me if you have any questions.

Dan Fraijo

Manager

Pleasant Home Water District