

Construction Permit No: ROW-CONST-2025-0002

Effective Date:

MULTNOMAH COUNTY DEPARTMENT OF COMMUNITY SERVICES
TRANSPORTATION PLANNING AND DEVELOPMENT PROGRAM

Construction Permit

August 21, 2025

Under the provisions of Multnomah County Code (“MCC”) Sections 27.055, 27.056, 29.506, and 29.572, and Multnomah County Road Rules (“MCRR”) 18.200, this Construction Permit (the “Permit”) is hereby issued by Multnomah County Transportation Planning and Development Program (“County”) to:

PORTLAND WATER BUREAU

1120 SW 5TH AVE, RM 405, PORTLAND, OR 97204

CONTACT: ROBERT FRALEY

CONTACT PHONE: 503-823-3573

CONTACT EMAIL: Robert.fraley@portlandoregon.gov

(“Developer”). This Permit is issued for the construction of the improvements within the County controlled rights-of-way or easements, as described in EXHIBIT A, attached hereto and made a part of this document.

A. General Permit Requirements:

1. The County shall approve all plans, drawings, and other design documents prior to the construction of any improvements as described in the Exhibit A.
2. NO PARTIAL IMPROVEMENTS SHALL BE CONSTRUCTED WITHIN THE COUNTY RIGHT-OF-WAY.
3. ANY EXCAVATION, ROCKING, OR PAVING SHALL ONLY BE ALLOWED AS A PART OF A CONTINUOUS, TIMELY OPERATION TOWARD COMPLETION OF THE WORK AS DESCRIBED IN THE EXHIBIT “A.” NO PAVING SHALL BE ALLOWED UNTIL ALL CURB, EXCAVATION, ROCK, DRAINAGE, AND UTILITY WORK, HAS BEEN COMPLETED WITHIN THE AREA TO BE PAVED, AND THEN ONLY AS A PART OF THE CONTINUOUS, TIMELY COMPLETION OF THE ENTIRE PAVING PROJECT, AS SHOWN ON THE APPROVED PLANS.
4. The County reserves the right to prohibit any further connections, withhold occupancy permits, or remove or block any existing connections between the facilities covered by this Permit and adjacent properties, if the Developer does not provide or complete all items of this Permit to the County's satisfaction.

B. The County agrees to do the following:

1. Establish the amounts of the Administration Fee, Performance Guarantee, and Maintenance Guarantee.
2. Review plans, drawings, and other design documents for conformance with design and drafting criteria. Upon approval of the plans, provide the Developer with copy sets of plans and specifications, and schedule a pre-construction meeting.
3. Establish a reasonable length of time for construction activities within the right-of-way. Issue "First Notification" to authorize the beginning of construction activities, and start the calendar day count
4. Issue "Second Notification" to stop the calendar day count if the County deemed the project to be substantially complete in accordance to the contract documents so that the work can be used for its intended purpose.
5. Perform all required final construction supervision, inspection, and testing if needed.
6. Inspect completed facility for acceptance of construction work, and if facilities are accepted issue the "Third Notification" to release the Performance Guarantee.
7. Conduct final inspection prior to expiration of Maintenance Guarantee, and if facilities are accepted issue the "Fourth Notification" to release the Maintenance Guarantee.
8. Administration required for processing and accepting facility as a County or Service District maintained facility, where applicable.

C. The Developer agrees to do the following:

1. Deposit with the County an Administration Fee, of **\$ See Exhibit A** prior to scheduling the pre-design meeting. Following acceptance by the County of the completed improvements, this fee may be adjusted up or down to reflect the actual costs incurred by the County. Over-payment will be refunded to the Developer. Under-payment will result in billing the Developer for the difference between the actual costs incurred and the initial fee.
2. Before issuance of the "First Notification" provide to the County a properly executed Performance Guarantee in the amount of **\$ See Exhibit A**. This guarantee shall be submitted to the County Engineer. The Performance Guarantee shall guarantee the completion of the improvements described in Exhibit A and shall remain in full force and effect until the Developer receives the "Third Notification" or termination of this Construction Permit whichever comes first.
3. Before issuance of the "Third Notification" provide to the County a properly executed Maintenance Guarantee, in the amount of **\$ See Exhibit A**. The guarantee shall be submitted to the County Engineer. The guarantee shall not expire for two (2) years from date Developer receives the "Third Notification" or receives the "Fourth Notification", whichever comes later. The Maintenance Guarantee shall guarantee the repair or

replacement of any improvements constructed under this permit which become unsatisfactory to the County because of workmanship or materials used during their construction or that are damaged by project workmen or equipment completing the related adjacent construction.

4. Complete all construction activities, to include all "As-Built" information, within eighteen (18) months of the issuance date of the "Third Notification".
 5. Obtain the services of a consulting Engineer, registered in the state of Oregon, WHO WILL BE FURNISHED A COPY OF THIS PERMIT BY THE DEVELOPER. The Developer or Consultant shall furnish to the County a fully executed "Consulting Engineer's Statement" (see attachment), AND SCHEDULE A PRE-DESIGN MEETING WITH THE COUNTY PRIOR TO COMMENCING ANY DESIGN WORK. If Developer should change consulting engineers prior to acceptance of plans a new fully executed "Consulting Engineer's Statement" must be furnished to the County before the project can continue. Any compensation paid to the Engineer for services rendered in performance of Developer's obligations under this Permit may not be included as part of the Administration Fee.
 6. Convey all right-of-way dedications and easement dedications as required by this Construction Permit to the appropriate governing body, free of all encumbrances, before issuance of the "First Notification."
 7. Developer shall defend, save, hold harmless, and indemnify County and its officers, employees, and agents from and against all claims, suits, actions, losses, damages, liabilities, costs, and expenses of any nature whatsoever, including attorney fees, resulting from, arising out of, or relating to the activities of Developer or its officers, employees, agents, contractors, subcontractors under this Permit. Developer shall have control of the defense and settlement of any claim that is subject to this paragraph. However, neither the Developer nor any attorney engaged by the Developer shall defend the claim in the name of the County or any department of the County, nor purport to act as legal representative of the County or any of its departments without receiving from the Multnomah County Attorney's Office, authority to act as legal counsel for the County, nor shall Developer settle any claim on behalf of the County without the approval of the Multnomah County Attorney's Office. County may, at its election and expense, assume its own defense and settlement.
- D. Developer shall ensure that any Consulting Engineer ("Engineer") retained by the Developer to provide services under this Permit complies with the following requirements:
1. The Engineer must work directly with the County Engineer, and provide engineering services in the same manner as if the Engineer had been retained by the County.
 2. Design the project, including complete plans and specifications, in conformance with MCC 29.500, the Multnomah County Design and Construction Manual, and design standards adopted thereunder. All plans submitted for review shall be submitted on 24 inch by 36 inch sheets. Plans shall be produced using English units and quantities.
 3. Perform or obtain all survey work according to County standards, as required for design and construction of the project. Perform any additional construction staking or material testing

as directed by the County. The Engineer shall document any changes to the approved design that occur during construction, and submit any additional work required for preparation of "as-built" plans.

4. After production of "as-built" plans, the Engineer shall provide to the County an electronic copy of the drawings, to include the base topographic survey data, with the "as-built" mylars.
5. Detail on the plans items of esthetic or historic significance, including trees, inside the right-of-way or within ten (10) feet of the right-of-way line that may be disturbed or destroyed by the project.
6. Detail on the plans all underground utilities to be constructed as part of this Permit as a composite utility plan. All information is to be furnished by the respective utilities, and approved by them.
7. Obtain DEQ and appropriate city approval of sanitary sewers, if applicable, and furnish copy of approval to the County prior to the County's approval of plans.
8. The Engineer shall make all changes to the plans as may be required for County approval of the plans. After all changes have been made, the Engineer shall submit a stamped and signed plans either electronically or on double mat mylar or photocopied mylars on double mat mylars and one set of 11 inch by 17 inch paper. If mylars are hand produced or pen plotted, mylars are to be produced in black ink.

E. Developer shall ensure that any Construction Contractor ("Contractor") retained by the Developer to provide services under this Permit complies with the following requirements:

1. Before the pre-construction meeting, Contractor shall notify all affected utilities and coordinate their work within the project.
2. At the time of the pre-construction meeting, the Contractor shall provide to the County the following documents:

Traffic control plans

Insurance Certificate with Multnomah County as additional insured

Construction work schedule

List of contractors' contact numbers for emergencies

List of subcontractors

List of material suppliers

Gradation, Abrasion, Sand Equivalent, Fracture, and Degradation Tests for Aggregate

Mix Design for Concrete and Asphalt

Material Certifications

All documents shall conform to the requirements of the current ODOT Oregon Standard Specifications for Construction.

3. All activities, including work to be performed and materials to be used in the performance of work as described in the Exhibit/s, shall conform to the current ODOT Oregon Standard

Specifications for Construction except as modified by Multnomah County Special Provisions.

4. Maintain all erosion control measures at all times.
5. Complete all construction activities within the right-of-way within the period specified in the "First Notification" and complete any corrective work as detailed in the "Second Notification" within twenty (20) calendar days from the date of the "Second Notification". Failure to meet these deadlines shall be grounds for the County to proceed under Section F (2) of this Permit.

F. Time Extension/Forfeiture

1. The County may, in its sole discretion, grant time extensions to the time limits described in this Permit. Any request for a time extension shall be in writing, and state the reasons for the extension. An approved extension may require an additional Administration Fee and may also require a new Performance Guarantee in an increased amount necessary to cover current estimated construction costs. Before the County grants any time extension, the Developer shall furnish proof that all Fees and Guarantees have met the requirements of Sections C (1) and C (2) for the new date being requested.
2. The County may, in its sole discretion, require forfeiture of the Performance Guarantee and complete the project for any of the following:
 - a) Failure to complete construction by the date established in Section C (4)
 - b) Failure to complete construction activities within the time limit established in the "First Notification."
 - c) Failure to complete the corrective work within 20 calendar days of the date of the "Second Notification."
 - d) Failure to abide by the other terms of this Permit.
3. If the Performance Guarantee is insufficient to reimburse the County for its costs to complete the project under paragraph 2 of this section, the County shall bill the Developer for any excess costs.

I (We) have read and hereby accept the terms of this Construction Permit.

By David Peters
Developer

26 August 2025
(Date)

David Peters
Developer (Print Name)

Tax ID No.

Accepted for Multnomah County, Oregon

By Graham Martin
Graham Martin
Interim Transportation Development Manager

27 August 2025
(Date)

By Jon Henrichsen
Jon Henrichsen, PE
Transportation Division Director

29 August 2025
(Date)

Digital signed by Jon Henrichsen
DN: c=US, e=jon.henrichsen@multco.us, o=Multnomah County Transportation
Division, ou=Transportation Division Director/County Engineer, cn=Jon Henrichsen
Reason: I am approving this document
Date: 2025.08.29 10:54:48-0700

Construction Permit No: ROW-CONST-2023-0003.3

Effective Date:

EXHIBIT "A"

To make frontage/road improvements as part of the Notice of Decision document T3-2022-16220 Hearings Officer's Decision and fulfills the following Conditions of Approval D.5.b.iii, D.5.c.i, D.5.c.iii, D.6.g, D.6.i, E.1.xii, E.1.xiii, E.1.xvi, E.1.xix, and E.1.xxii.

The improvements are to consist of the following:

1. Road improvements as shown in the attached Construction Plan.

Furnish Administration Fee in amount of \$ 235,150.00 (please see Section C (1) of Construction Permit). Administration Fee must accompany signed Project Permit. If writing a check, please make check payable to: MULTNOMAH COUNTY.

Furnish Performance Guarantee in amount of \$ See Indemnity Agreement (please see Section C (2) of Construction Permit).

Furnish Maintenance Guarantee in amount of \$ See Indemnity Agreement (please see Section C (3) of Construction Permit).

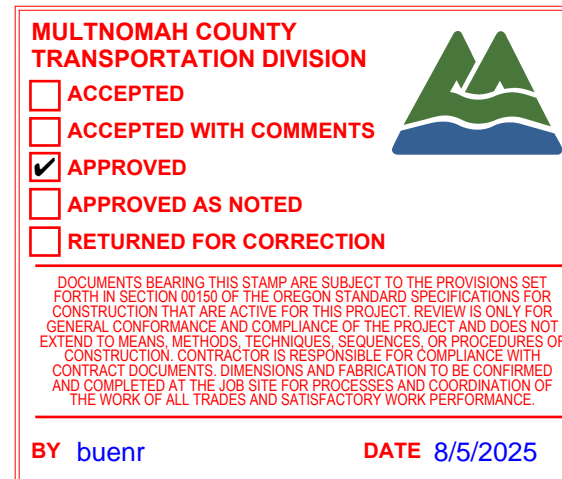
Both the Performance Guarantee and the Maintenance Guarantee can be provided in the form of an indemnity agreement between the City and County in a form approved by the County Attorney.

Cottrell - Lusted Roads Pavement Rehabilitation Project

General Notes

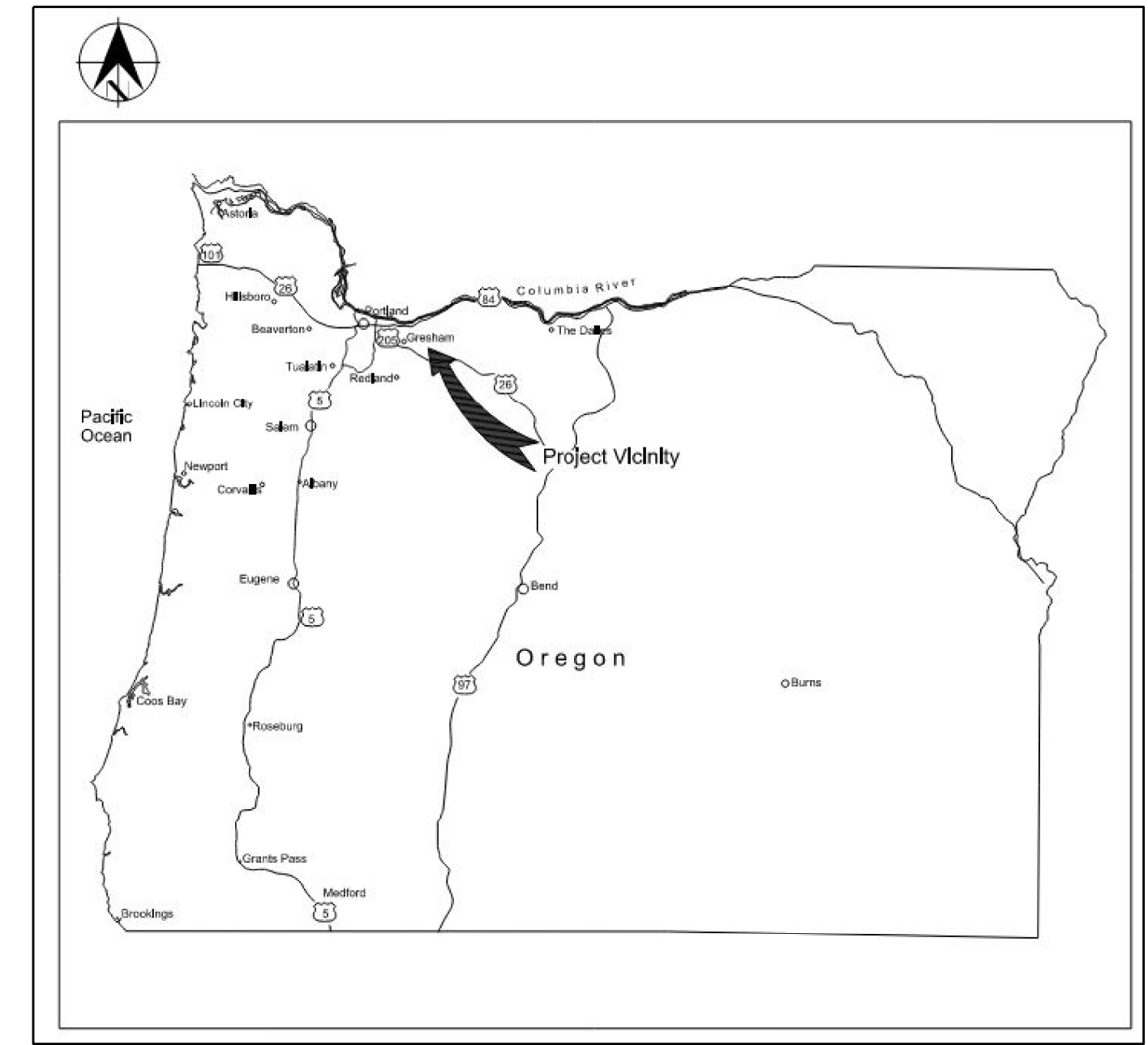
- ATTENTION: Oregon law requires you to follow rules adopted by the Oregon Utility Notification Center. Those rules are set forth in OAR 952-001-0010 through OAR 952-001-0090. You may obtain copies of the rules by calling the Center. The Center business number is 503-232-1987. Excavators are required to notify the Center at least 2 business days, but not more than 10 business days, before commencing an excavation. To comply, call 811.
- All elevations are in reference to the City of Portland Datum. To convert from NGVD29(1947) datum to the City of Portland datum, add 1.375 feet. To Convert from NAVD88 to City of Portland datum, subtract 2.10 feet.
- Contractor to provide "As Constructed" drawings indicating all changes in grade, alignment, fittings and materials installed or any other utilities or obstacles not indicated on these plans.
- Locations of existing utilities are based on best available information supplied by the utilities and shall be considered approximate only. As required by state law, the contractor shall obtain utility locates prior to commencing construction.
- Do not remove any trees without approval from Owners Representative.
- All disturbed and cut areas shall be restored by covering with seed mix per Specifications Section 01030.
- All occurrences of "Left" or "Right" on these plans, refer to the direction from centerline, looking up station.
- Except where otherwise indicated in plans, pave to existing edge of pavement.
- All utilities and culverts to be protected.
- Striping details refer to ODOT TM500, TM503 and TM530.
- Asphalt Roadway See Paving Details, Sheets 5 and 6.
- Pavement Transitions:
 - New asphalt to existing roadway - ODOT RD610 or as noted.
 - New asphalt to shoulder - ODOT RD615 or as noted.
 - New asphalt to paved approach - Detail 3 Sheet 5 or 6, or as noted
 - New asphalt to gravel approach - Detail 4 Sheet 5 or 6, or as noted.
- SE Lusted Road Centerline Striping (Sheets 16-19)
 - Replicate existing striping.
 - Center of paved roadway, not center of ROW.

Range
Start - 05+75G: NPR
05+75G - 07+07G: D
07+07G - 13+95G: NPL
13+95G - 22+86G: YB
22+86G - End: NPR



List of Drawings

- Title Sheet 1
- General Notes Sheet 2
- Erosion Control Standard Details Sheet 3
- Traffic Control Sheet: Land Use Traffic Control Plan Conditions 4
- Paving Details Sheet: In-Place Cement Treated Base 5
- Paving Details Sheet: Grind and Inlay 6
- ODOT Standard Drawings Detail Sheet: RD610, RD615 & RD715 7
- ODOT Standard Drawings Detail Sheet: TM500, TM503 & TM530 8
- Blank Sheet 9
- SE Cottrell Rd (South) - Roadway Plan Sheet Sta 14+94E to 20+33E 10
- SE Cottrell Rd (South) - Roadway Plan Sheet Sta 20+33E to 30+33E 11
- SE Cottrell Rd (South) - Roadway Plan Sheet Sta 30+33E to 34+30E 12
- SE Cottrell Rd (North) - Roadway Plan Sheet Sta 0+00F to 9+14F 13
- SE Cottrell Rd (North) - Roadway Plan Sheet Sta 9+14F to 20+81F 14
- SE Cottrell Rd (North) - Roadway Plan Sheet Sta 20+81F to 29+10F 15
- SE Lusted Rd - Roadway Plan Sheet Sta 0+00G to 7+80G 16
- SE Lusted Rd - Roadway Plan Sheet Sta 7+80G to 17+80G 17
- SE Lusted Rd - Roadway Plan Sheet Sta 17+80G to 25+70G 18
- SE Lusted Rd - Roadway Plan Sheet Sta 25+70G to 28+00G 19



Location Map

NTS

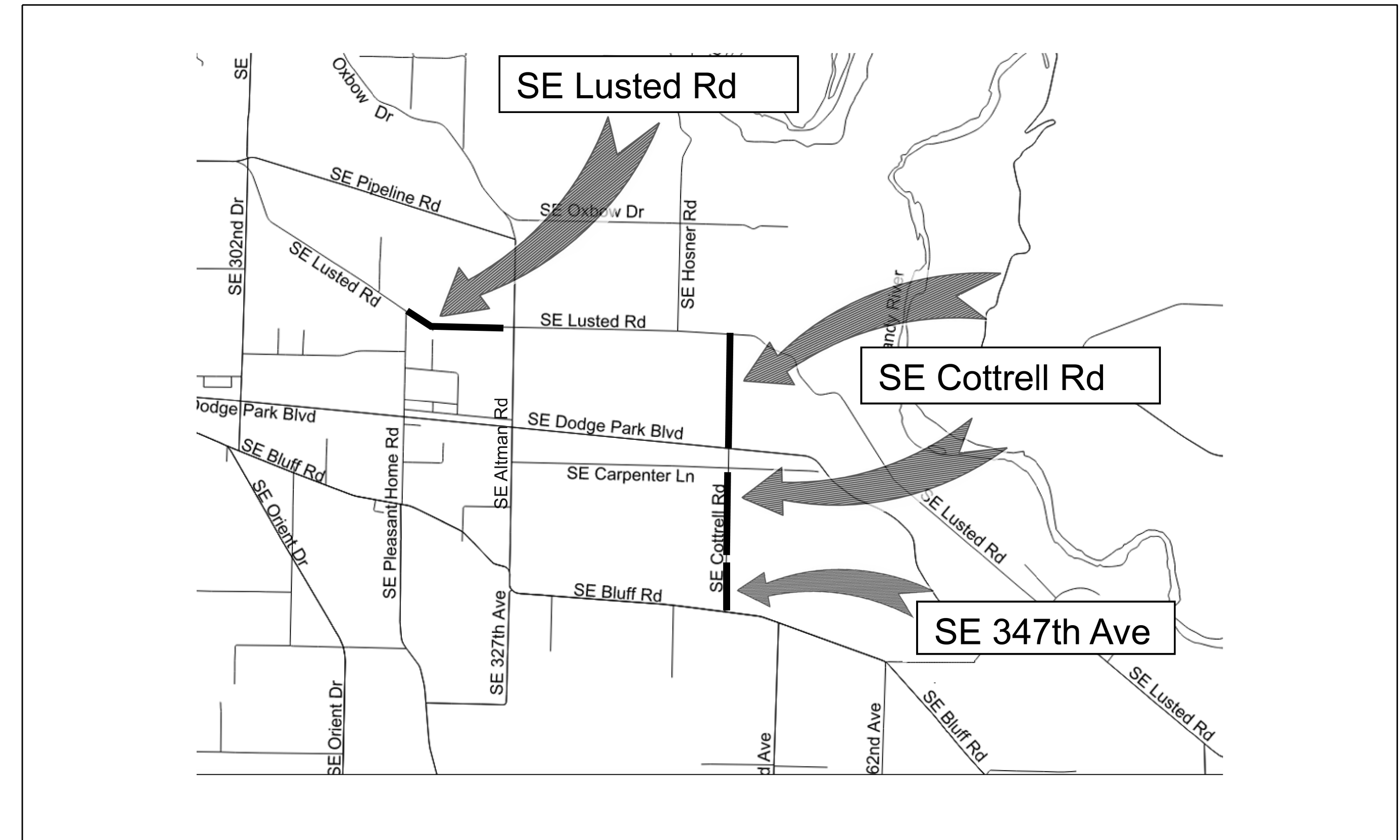
Legend

| | Existing | Proposed |
|-----------------------------------|-----------------|-----------------|
| Entrance Apron Limits | ---*---*---*--- | ---*---*---*--- |
| Proposed Drain | --- | --- |
| Ditch | ---DITCH--- | ---DITCH--- |
| Culvert | ---W---W--- | ---W---W--- |
| Right of Way Line (Property Line) | ---R/W--- | --- |
| Overhead Lines | --- | --- |
| Streambed Centerline | --- | --- |
| Edge of Gravel | ---EG--- | ---EG--- |
| Edge of Pavement (Driveways) | ---EP--- | ---EP--- |
| Left Edge of Pavement | --- | --- |
| Control Line | --- | --- |
| Right Edge of Pavement | --- | --- |
| Approximate top of cut | --- | --- |
| Grade Break | --- | --- |
| Tree Line | --- | --- |
| Survey Control Point | △ | △ |
| Fence | ---x---x--- | --- |
| Utility Pole | ● | ● |
| Temp Sed Fence | ---*---*--- | --- |
| Bio Bags | □ | □ |
| Catch Basin Inlet | ■ | ■ |
| Sawcut | ---SAW--- | ---SAW--- |



Project Map

NTS



Vicinity Map

NTS

7/10/2025 2:46:32 PM \\wbf11group5\Engineering\CAD\Projects\W022200 - W02299\W02229 - SE_Cottrell_Rd\Multnomah Package\W02229_2.dgn

| No | Date | Description | Appd |
|----------|---------|-------------|------|
| Revision | | | |
| Survey | Unknown | Unknown | |

| | |
|------------------------------|---------------------------|
| Designed By BJK | Program Mgr DMC |
| CAD Checked By GWE | Const Mgr TG |
| Checked By JDB | Const Supr JDT |
| Project Mgr KMA | Date |



Kenneth M. Ackerman
Kenneth M. Ackerman, Chief Engineer, PE No 19424
Date 3/20/2025

Kenneth M. Ackerman
Kenneth M. Ackerman, Principal Engineer, PE No 19424
Date 3/20/2025



Pavement Rehabilitation Project
SE Cottrell Rd
From SE Bluff Rd To SE Lusted Rd
SE Lusted Rd
From SE Pleasant Home Rd To SE Altman Rd
Title Sheet

SAP Project No
W02229
1/4 Section
3963, 3865, 3765,
3763, 3762, 3665,
3663, 3662
Sheet No
1 of 19

General Notes

ALL WORK AND MATERIALS SHALL BE IN ACCORDANCE WITH THE PLANS, CONTRACT DOCUMENTS, DETAILS, AND THE SPECIFICATIONS FOR CONSTRUCTION.

CONTRACTOR SHALL FIELD VERIFY ALL EXISTING UTILITY LOCATIONS ELEVATIONS, SLOPES, AND LENGTHS PRIOR TO CONSTRUCTION. EXISTING UNDERGROUND UTILITY LOCATIONS ARE COMPILED FROM THE BEST AVAILABLE RECORDS. THE ENGINEER OR UTILITY COMPANIES DO NOT GUARANTEE THE ACCURACY OR THE COMPLETENESS OF SUCH RECORDS. ADDITIONAL UTILITIES MAY EXIST WITHIN THE WORK AREA. DEPTHS ARE APPROXIMATE ONLY AND MAY VARY IN DEPT AND DISTANCE FROM THAT INDICATED ON THE PLANS. NOTIFY ENGINEER OF ANY DISCREPANCIES. NO DELAYS WILL BE ALLOWED DUE TO NEGLIGENCE TO COORDINATE WITH UTILITY COMPANIES. CONTRACTOR MUST POT HOLE UTILITIES PRIOR TO CONSTRUCTION AND COORDINATE WITH UTILITY COMPANIES TO RELOCATE FACILITIES AS REQUIRED. THE CONTRACTOR SHALL NOTIFY THE ENGINEER PRIOR TO PROCEEDING WITH CONSTRUCTION. ANY CHANGES IN PUBLIC FACILITIES WITHIN THE JURISDICTION OF THE COUNTY MUST BE REVIEWED AND APPROVED BY COUNTY.

IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO PROCURE ALL APPLICABLE PERMITS, LICENSES, AND CERTIFICATES RELATIVE TO THE TRADES TO COMPLETE THE PROJECT AND FOR THE USE OF SUCH WORK WHEN COMPLETED. COMPLIANCE SHALL BE AT ALL LEVELS, FEDERAL, STATE, COUNTY, AND LOCAL RELATING TO THE PERFORMANCE OF THIS WORK.

OREGON LAW REQUIRES THE CONTRACTOR TO FOLLOW RULES ADOPTED BY THE OREGON UTILITY NOTIFICATION CENTER. THOSE RULES ARE SET FORTH IN OAR 952-001-0010 THROUGH OAR 952-001-0090. COPIES OF THE RULES MAY BE OBTAINED BY CALLING THE CENTER (ONE CALL UTILITY LOCATE NUMBER 503-246-6699). ALL EXCAVATORS MUST COMPLY WITH ALL PROVISIONS OR ORS 757.541 TO 757.751 INCLUDING NOTIFICATION OF ALL OWNERS OF UNDERGROUND FACILITIES AT LEAST 48 BUSINESS HOURS, BUT NOT MORE THAN 10 BUSINESS DAYS BEFORE COMMENCING ANY EXCAVATION.

THE CONTRACTOR SHALL MAKE PROVISIONS TO KEEP ALL EXISTING UTILITIES IN SERVICE AND PROTECT THEM DURING CONSTRUCTION. THE CONTRACTOR SHALL IMMEDIATELY REPAIR OR REPLACE ANY DAMAGED UTILITIES USING MATERIALS AND METHODS APPROVED BY THE UTILITY OWNER. NO SERVICE INTERRUPTIONS SHALL BE PERMITTED WITHOUT PRIOR WRITTEN AGREEMENT WITH THE UTILITY PROVIDER.

THE CONTRACTOR SHALL SCHEDULE A PRE-CONSTRUCTION MEETING WITH MULTNOMAH COUNTY AND THE LOCAL AGENCY PRIOR TO THE START OF CONSTRUCTION. THE CONTRACTOR SHALL PROVIDE TWO (2) WEEKS NOTICE TO SCHEDULE A PRE-CONSTRUCTION MEETING.

CONTRACTOR SHALL NOTIFY THE ENGINEER, MULTNOMAH COUNTY, AND THE CITY PUBLIC WORKS/CITY ENGINEER 48 HOURS IN ADVANCE OF STARTING CONSTRUCTION AND 24 HOURS BEFORE RESUMING WORK AFTER SHUTDOWNS EXCEPT FOR NORMAL RESUMPTION OF WORK FOLLOWING SATURDAYS, SUNDAYS, OR HOLIDAYS.

CONTRACTOR SHALL REMOVE AND DISPOSE OF WASTE MATERIALS IN SUCH A MANNER AS TO MEET ALL APPLICABLE REGULATIONS. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO LOCATE AN APPROPRIATE SITE.

FOR UNANTICIPATED CONTAMINATION ENCOUNTERED DURING CONSTRUCTION IN THE COUNTY RIGHT-OF-WAY, THE PERMITTEE/APPLICANT OR ITS AGENT SHALL BE RESPONSIBLE FOR ALL COSTS ASSOCIATED WITH THE MANAGEMENT AND DISPOSAL OF CONTAMINATED MEDIA ENCOUNTERED. THE PERMITTEE IS ALSO RESPONSIBLE FOR ALL RESULTANT DELAYS.

CONTRACTOR SHALL NOT USE THE PUBLIC RIGHT-OF-WAY FOR STORAGE OF EQUIPMENT, MATERIALS, CONSTRUCTION TRAILERS, AND CONSTRUCTION VEHICLES UNLESS OTHERWISE APPROVED.

IT IS THE OBLIGATION OF THE CONTRACTOR TO OBTAIN WRITTEN APPROVAL FROM PRIVATE PROPERTY ,IF APPLICABLE, FOR USE OF PRIVATE PROPERTY FOR CONSTRUCTION STAGING AND TO RESTORE PRIVATE PROPERTY TO A CONDITION SATISFACTORY TO PROPERTY OWNER AT PROJECT COMPLETION.

CONTRACTOR SHALL PROVIDE A STAGING PLAN. CONSTRUCTION VEHICLES SHALL ONLY PARK ON A LOCATION INDICATED ON THE CONSTRUCTION STAGING PLAN.

HOURS OF CONSTRUCTION SHALL BE 7:00 AM TO 6:00 PM, MONDAY THROUGH FRIDAY. CONSTRUCTION IS PROHIBITED ON SATURDAY AND SUNDAY AND HOURS OUTSIDE THE NORMAL HOURS OF OPERATION UNLESS OTHERWISE APPROVED IN WRITING. CONSTRUCTION ACTIVITIES INCLUDE ALL FIELD MAINTENANCE OF EQUIPMENT, REFUELING, AND PICK UP AND DELIVERY OF EQUIPMENT AS WELL AS THE ACTUAL CONSTRUCTION ACTIVITY.

THE CONTRACTOR SHALL HAVE A MINIMUM OF ONE (1) SET OF APPROVED CONSTRUCTION PLANS ON THE JOB SITE AT ALL TIMES DURING CONSTRUCTION.

CONTRACTOR SHALL PERFORM ALL WORK NECESSARY TO COMPLETE THIS PROJECT IN ACCORDANCE WITH THE PLANS AND SPECIFICATIONS INCLUDING SUCH INCIDENTALS AS MAY BE NECESSARY TO MEET THE INTENT OF THE PROJECT CONTRACT DOCUMENTS, PLANS AND APPLICABLE AGENCY REQUIREMENTS AND OTHER WORK NECESSARY TO PROVIDE A COMPLETE PROJECT IN AN ACCEPTABLE MANNER.

IT IS THE CONTRACTOR'S RESPONSIBILITY TO VISIT THE SITE AND VERIFY ALL EXISTING CONDITIONS BEFORE THE START OF WORK. THE CONTRACTOR SHALL TAKE ALL NECESSARY FIELD MEASUREMENTS AND OTHERWISE VERIFY DIMENSIONS AND EXISTING CONSTRUCTION CONDITIONS INDICATED AND/OR SHOWN ON THE PLANS. SHOULD ANY ERROR OR INCONSISTENCY EXIST, THE CONTRACTOR SHALL NOT PROCEED WITH THE WORK AFFECTED UNTIL REPORTED TO THE PROJECT ENGINEER FOR CLARIFICATION OR CORRECTION.

ANY INSPECTION BY THE CITY, COUNTY, STATE, FEDERAL AGENCY OR PROJECT ENGINEER SHALL NOT, IN ANY WAY, RELIEVE THE CONTRACTOR FROM ANY OBLIGATION TO PERFORM THE WORK IN COMPLIANCE WITH THE APPLICABLE CODES, REGULATIONS, PROJECT CONTRACT DOCUMENTS AND CITY, COUNTY AND STATE STANDARDS.

PRIOR TO BEGINNING WORK, THE CONTRACTOR SHALL PRESENT A LIST AT THE PRE-CONSTRUCTION MEETING OF SUB-CONTRACTORS, A PROJECT SCHEDULE, ALL MATERIALS SUBMITTALS, ALL SHOP DRAWINGS, A TRAFFIC CONTROL PLAN AND A LIST OF AT LEAST THREE (3) PEOPLE RESPONSIBLE FOR MAINTAINING TRAFFIC CONTROL DURING NON-WORK PERIODS. ALL SUBMITTALS MUST BE READY AT TIME OF PRE-CONSTRUCTION MEETING.

THE CONTRACTOR SHALL COORDINATE WITH PGE OR UTILITY POLE OWNER FOR TEMPORARY SUPPORT OR RELOCATION FOR UTILITY POLES IN CLOSE PROXIMITY TO THE WORK.

AREAS OF CONSTRUCTION SHALL BE STRIPPED BY REMOVING TOPSOIL, AND OTHER MATERIALS NOT SUITABLE FOR COMPACTION. STRIPPED MATERIALS SHALL NOT BE USED FOR ROADWAY EMBANKMENT OR STRUCTURAL FILL. ALL FILL SHALL BE CONSIDERED STRUCTURAL FILL. FILL AREAS TO BE INSPECTED BY THE COUNTY OR PROJECT ENGINEER PRIOR TO PLACEMENT OF FILL OR BASE MATERIALS.

ADJUST ALL WATER VALVE BOXES, MANHOLE AND CLEAN OUT RIMS, AND METER BOXES TO MATCH FINISHED GRADE.

CONTRACTOR SHALL PROTECT EXISTING MONUMENTS, BENCHMARKS, PROPERTY CORNERS AND GOVERNMENT CORNERS WHERE FEASIBLE. IF MONUMENTS ARE DISTURBED OR DESTROYED, NOTIFY THE PROJECT ENGINEER.

THE CONTRACTOR SHALL CONTROL TRAFFIC THROUGH THE PROJECT SITE IN CONFORMANCE WITH THE LATEST EDITION OF THE "MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD)" AND "OREGON SUPPLEMENTS" TO MUTCD.

IF TEMPORARY ROAD CLOSURES ARE REQUIRED, CONTRACTOR SHALL NOTIFY PROPERTY OWNERS AND OCCUPANTS AFFECTED BY THE CLOSURE BY MAIL OR DOOR HANGER AT LEAST 48 HOURS PRIOR TO ROAD CLOSURE. ROADS SHALL BE REOPENED AT THE END OF EACH DAY TO ALL ACCESS TO ALL PROPERTIES.

THE CONTRACTOR SHALL TAKE NO ADVANTAGE OF ANY ERRORS, OMISSIONS, OR DISCREPANCIES IN THE PLANS. WHEN ERRORS, OMISSIONS, OR DISCREPANCIES ARE FOUND, THE ENGINEER AND THE COUNTY SHALL BE NOTIFIED. WORK PERFORMED BY THE CONTRACTOR AS A RESULT OF AN ERROR, OMISSION, OR DISCREPANCY IN THE PLANS SHALL BE AT CONTRACTOR'S RISK AND EXPENSE WHEN SUCH ERROR, OMISSION, OR DISCREPANCY HAS NOT BEEN BROUGHT TO THE ATTENTION OF THE ENGINEER AND THE COUNTY.

ENGINEER SHALL BE CONTACTED PRIOR TO ANY VARIATION FROM THE APPROVED PLANS.

SUBSEQUENT SETTLEMENT OR CRACKING OF FINISHED SURFACE WITHIN THE WARRANTY PERIOD SHALL BE CONSIDERED TO BE A FAILURE OF THE SUBGRADE AND REPAIRED AT NO COST TO THE COUNTY AND IN A MANNER ACCEPTABLE TO THE COUNTY.

PRIOR TO FINAL ACCEPTANCE AND PAYMENT, THE CONTRACTOR SHALL CLEAN THE WORK SITE AND ADJACENT AREAS OF ANY DEBRIS, DISCARDED ASPHALTIC CONCRETE MATERIAL OR OTHER ITEMS DEPOSITED BY THE CONTRACTOR'S PERSONNEL DURING THE PERFORMANCE OF THE CONTRACT.

CONTRACTOR SHALL PROVIDE AS-BUILT INFORMATION TO THE COUNTY ONCE APPROVED BY PORTLAND WATER BUREAU.

STANDARD EROSION AND SEDIMENTATION CONTROL:

UNDER NO CONDITION SHALL SEDIMENT BE WASHED INTO THE STORM SEWER SYSTEM OR DRAINAGE WAYS.

STORM DRAIN INLETS, CATCHBASINS, AND AREA DRAINS SHALL BE PROTECTED USING THE APPROVED BEST MANAGEMENT PRACTICE (BMP) AT ALL TIMES DURING CONSTRUCTION.

EFFECTIVE EROSION CONTROL, DUST CONTROL, AND DRAINAGE CONTROL IS REQUIRED AT ALL TIMES. THE COUNTY MAY ORDER STOPPAGE OF WORK TO EFFECT CORRECTIVE ACTION AT ANY TIME.

APPLY TEMPORARY AND PERMANENT SOIL STABILIZATION MEASURES ON ALL DISTURBED AREAS AS GRADING PROGRESSES.

CONSTRUCTION ACTIVITIES MUST AVOID OR MINIMIZE EXCAVATION AND CREATION OF BARE GROUND FROM OCTOBER 1 THROUGH MAY 31.

DURING WET WEATHER PERIODS TEMPORARY STABILIZATION OF THE SITE MUST OCCUR AT THE END OF EACH WORK DAY IF RAINFALL IS FORECAST IN THE NEXT 24 HOURS.

ALL EROSION AND SEDIMENT CONTROLS NOT IN THE DIRECT PATH OF WORK MUST BE INSTALLED PRIOR TO ANY LAND DISTURBANCE.

PRESERVE EXISTING VEGETATION AND RE-VEGETATE OPEN AREAS WHEN PRACTICABLE BEFORE AND AFTER GRADING OR CONSTRUCTION.

ALL TEMPORARY SEDIMENT CONTROLS MUST REMAIN IN PLACE UNTIL PERMANENT VEGETATION OR OTHER PERMANENT COVERING OF EXPOSED SOIL IS ESTABLISHED.

SEDIMENT CONTROLS MUST BE INSTALLED AND MAINTAINED ON ALL DOWN GRADIENT SIDES OF THE CONSTRUCTION SITE AT ALL TIMES DURING CONSTRUCTION.

WATERTIGHT TRUCKS MUST BE USED TO TRANSPORT SATURATED SOILS FROM THE CONSTRUCTION SITE. AN APPROVED EQUIVALENT IS TO DRAIN THE SOIL ON-SITE AT A DESIGNATED LOCATION USING APPROPRIATE BMP'S; SOIL MUST BE DRAINED SUFFICIENTLY FOR MINIMAL SPILLAGE.

TEMPORARY STABILIZATION OR COVERING OF SOIL STOCKPILES MUST OCCUR AT THE END OF EACH WORK DAY OR OTHER BMP'S MUST BE IMPLEMENTED TO PREVENT TURBID DISCHARGES TO SURFACE WATERS.

DEVELOP AND MAINTAIN ONSITE A WRITTEN SPILL PREVENTION AND RESPONSE PROCEDURE.

ANY USE OF TOXIC OR OTHER HAZARDOUS MATERIALS MUST INCLUDE PROPER STORAGE, APPLICATION, AND DISPOSAL.

THE PERMITTEE MUST PROPERLY PREVENT AND MANAGE HAZARDOUS WASTE, USED OILS, CONTAMINATED SOILS, CONCRETE WASTE, SANITARY WASTE, LIQUID WASTE, OR OTHER TOXIC SUBSTANCES DISCOVERED OR GENERATED DURING CONSTRUCTION.

SIGNIFICANT AMOUNTS OF SEDIMENT WHICH LEAVE THE SITE MUST BE CLEANED UP WITHIN 24 HOURS AND PLACED BACK ON THE SITE AND STABILIZED OR PROPERLY DISPOSED. THE CAUSE OF THE SEDIMENT RELEASE MUST BE FOUND AND PREVENTED FROM CAUSING A REOCCURRENCE OF THE DISCHARGED WITHIN THE SAME 24 HOURS. ANY IN-STREAM CLEAN UP OF SEDIMENT SHALL BE PERFORMED ACCORDING TO THE OREGON DIVISION OF STATE LANDS REQUIRED TIME FRAME.

SEDIMENT MUST NOT BE INTENTIONALLY WASHED INTO STORM SEWERS, DRAINAGE WAYS, OR WATER BODIES. DRY SWEEPING MUST BE USED TO CLEAN UP RELEASED SEDIMENTS.

THE APPLICATION RATE OF FERTILIZERS USED TO REESTABLISH VEGETATION MUST FOLLOW THE MANUFACTURER'S RECOMMENDATIONS. NUTRIENT RELEASES FROM FERTILIZERS TO SURFACE WATERS MUST BE MINIMIZED. TIME RELEASE FERTILIZERS SHOULD BE USED AND CARE SHOULD BE TAKEN IN THE APPLICATION OF FERTILIZERS WITHIN ANY WATER WAY RIPARIAN ZONE.

SEDIMENT MUST BE REMOVED FROM BEHIND SEDIMENT FENCE WHEN VEGETATION HAS REACHED THE HEIGHT OF THE FENCE ABOVE THE GROUND, AND BEFORE FENCE REMOVAL.

SEDIMENT MUST BE REMOVED FROM BEHIND BIO BAGS AND OTHER BARRIERS WHEN IT HAS REACHED A HEIGHT OF TWO (2) INCHES AND BEFORE BMP REMOVAL.

CLEANING OF TRAPPED CATCH BASINS MUST OCCUR WHEN THE SEDIMENT RETENTION CAPACITY HAS BEEN REDUCED BY FIFTY (50) PERCENT, AND AT COMPLETION OF PROJECT.

REMOVAL OF TRAPPED SEDIMENT IN A SEDIMENT BASIN OR SEDIMENT TRAP MUST OCCUR WHEN THE SEDIMENT RETENTION CAPACITY HAS BEEN REDUCED BY FIFTY (50) PERCENT, AND AT COMPLETION OF PROJECT.

DEQ MUST APPROVE OF ANY TREATMENT SYSTEM AND OPERATIONAL PLAN THAT MAY BE NECESSARY TO TREAT CONTAMINATED CONSTRUCTION DEWATERING OR SEDIMENT AND TURBIDITY IN STORMWATER RUNOFF.

SHOULD ALL CONSTRUCTION ACTIVITIES CEASE FOR THIRTY (30) DAYS OR MORE, THE ENTIRE SITE MUST BE TEMPORARILY STABILIZED USING VEGETATION OR A HEAVY MULCH LAYER, TEMPORARY SEEDING, OR OTHER METHOD.

SHOULD CONSTRUCTION ACTIVITIES CEASE FOR FIFTEEN (15) DAYS OR MORE ON ANY SIGNIFICANT PORTION OF A CONSTRUCTION SITE, TEMPORARY STABILIZATION IS REQUIRED FOR THAT PORTION OF THE SITE WITH STRAW, COMPOST, OR OTHER COVERING THAT WILL PREVENT SOIL OR WIND EROSION UNTIL WORK RESUMES ON THAT PORTION OF THE SITE.

PAVING:

THE CONTRACTOR SHALL ADJUST ALL VALVES BOXES, MANHOLES, AND WATER METERS TO FINISHED GRADE.

THE CONTRACTOR SHALL SAWCUT STRAIGHT MATCHLINES TO CREATE A CLEAN BUTT JOINT BETWEEN THE EXISTING AND NEW PAVEMENT. SEAL ALL NEW PAVEMENT JOINTS WITH RUBBERIZED SEALANT.

AGGREGATE BASE SHALL BE COMPACTED PER THE CURRENT OREGON STANDARD SPECIFICATIONS FOR CONSTRUCTION. CONTRACTOR TO HAVE AGGREGATE BASE COMPACTION TESTING CONDUCTED BY A QUALIFIED TESTING FACILITY PRIOR TO PLACEMENT OF ASPHALT CONCRETE WITHIN THE PUBLIC RIGHT-OF-WAY. TEST REPORTS TO BE PROVIDED TO MULTNOMAH COUNTY.

ASPHALT CONCRETE SHALL BE COMPACTED PER THE CURRENT OREGON STANDARD SPECIFICATIONS FOR CONSTRUCTIONS. CONTRACTOR TO HAVE ASPHALT CONCRETE COMPACTION TESTING CONDUCTED BY A QUALIFIED TESTING FACILITY FOR ALL ASPHALT PAVEMENT PLACED WITHIN THE PUBLIC RIGHT-OF-WAY. TEST REPORTS TO BE PROVIDED TO MULTNOMAH COUNTY.

ALL EXCAVATIONS WITHIN A PAVED STREET OPEN TO TRAFFIC SHALL BE TEMPORARILY RESURFACED AT THE END OF EACH WORK DAY AND PRIOR TO ALLOWING VEHICULAR TRAFFIC ONTO EXCAVATED AREAS. CONTRACTOR SHALL BE RESPONSIBLE FOR PLACING, MAINTAINING, AND REMOVING TEMPORARY SURFACING MATERIALS. NO MEASUREMENT WILL BE MADE FOR TEMPORARY SURFACING MATERIALS AND IS CONSIDERED INCIDENTAL TO THE OVERALL CONSTRUCTION.

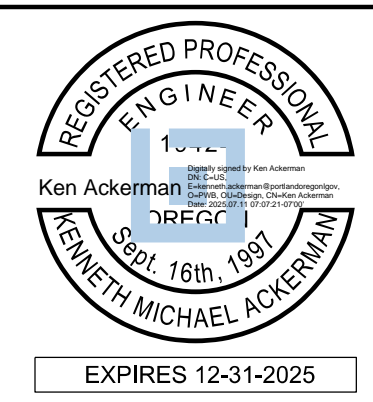
LONGITUDINAL JOINTS SHALL FALL ON EITHER LANE LINES OR FOG LINES.

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| Checked By JDB | Const Supvr <i>JDT</i> |
| Project Mgr KMA | Date |

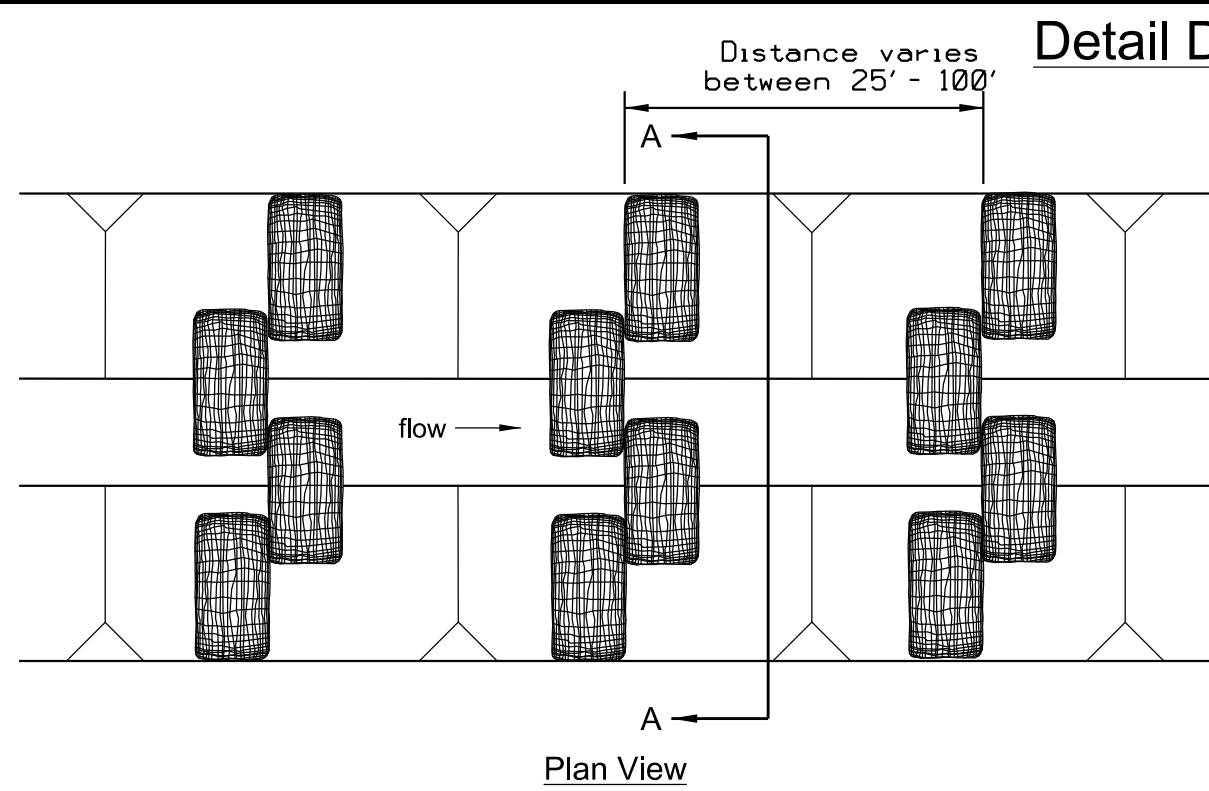


Kenneth M. Ackerman
Kenneth M. Ackerman, Principal Engineer, PE No 19424
3/20/2025
Date

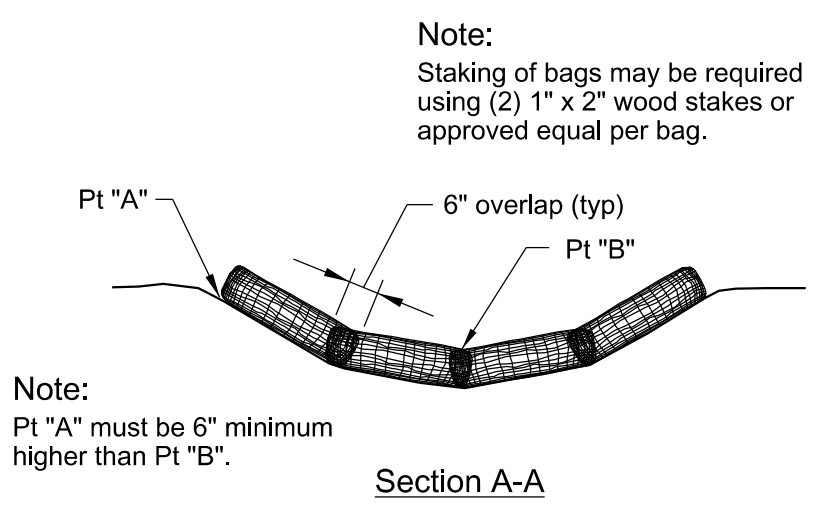


Pavement Rehabilitation Project
SE Cottrell Rd
From SE Bluff Rd To SE Lusted Rd
SE Lusted Rd
From SE Pleasant Home Rd To SE Altman Rd
General Notes Sheet

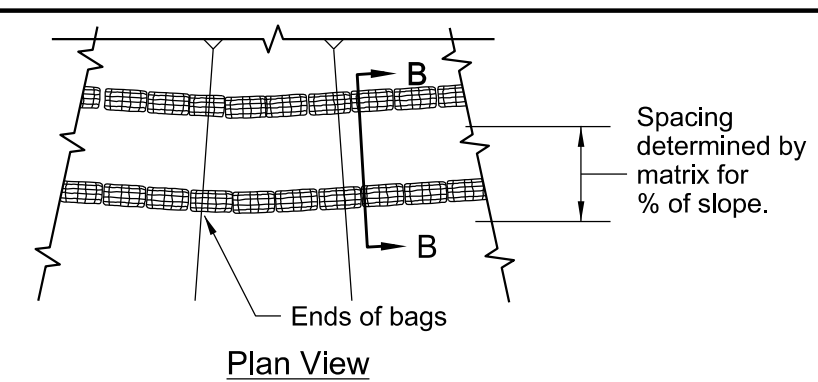
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3663, 3662
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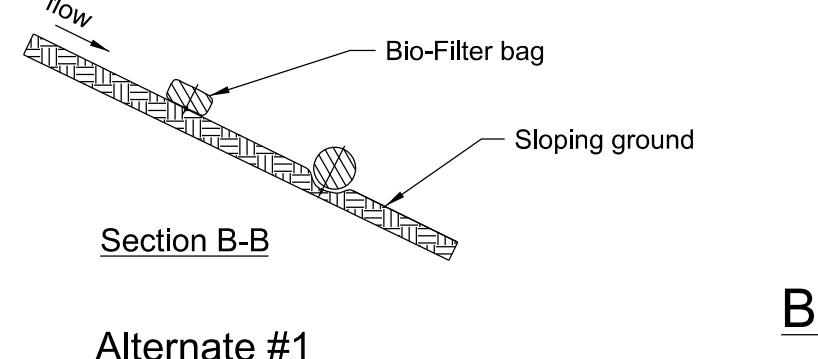
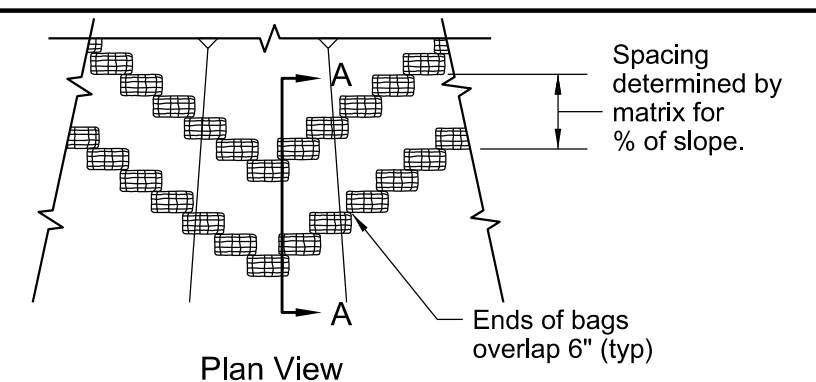
Detail Drawing 4.2O



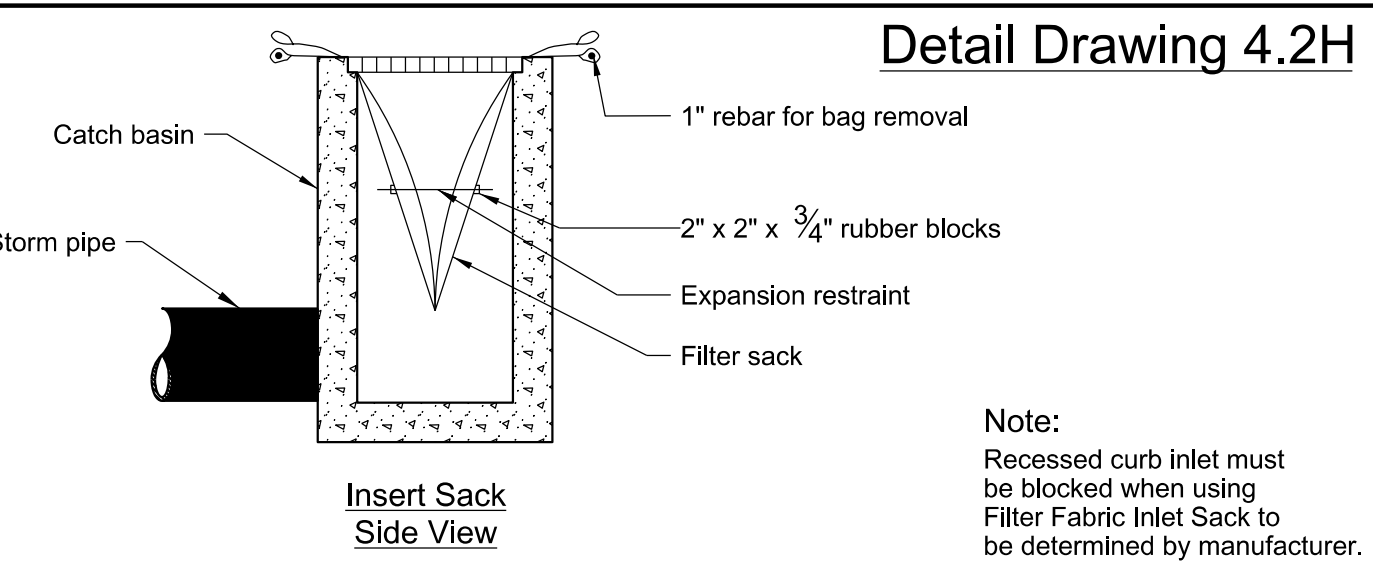
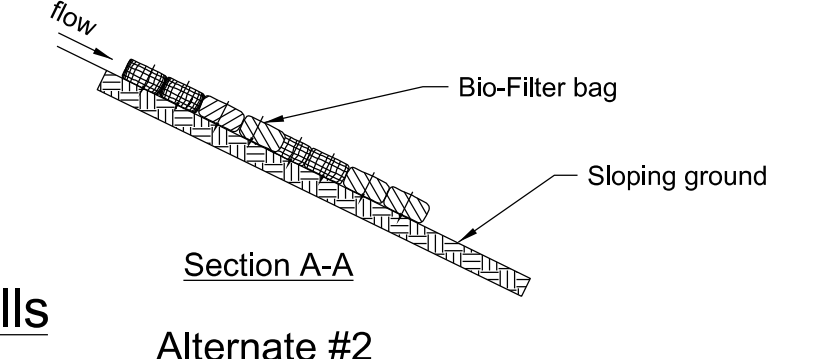
Bio-Filter Bags for Ditches and Swales



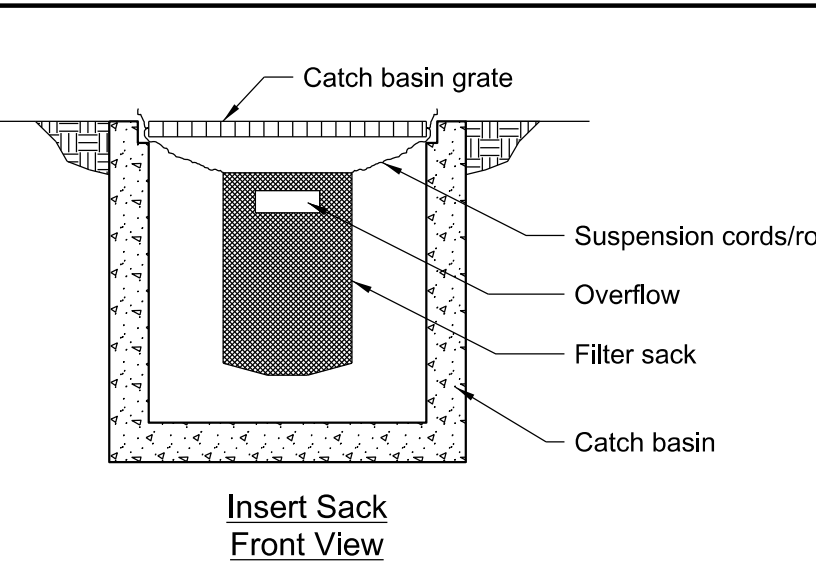
Detail Drawing 4.2B



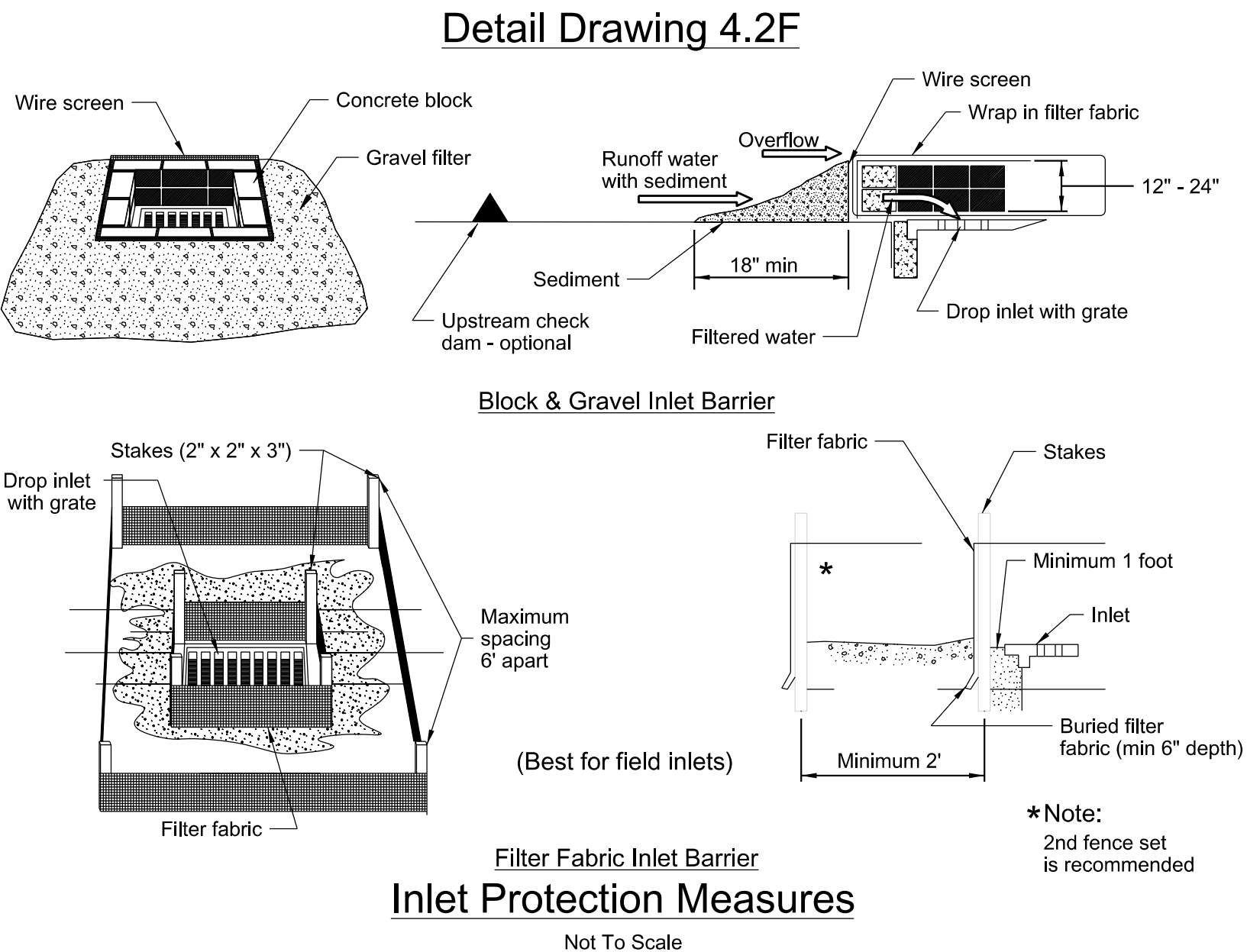
Slope Installations: Bio-Filter Bags & Fiber Rolls



Detail Drawing 4.2H



Filter Fabric Inlet Protection



Filter Fabric Inlet Barrier Inlet Protection Measures

County Standard Erosion And Sedimentation Control Notes:

STANDARD EROSION AND SEDIMENTATION CONTROL:

UNDER NO CONDITION SHALL SEDIMENT BE WASHED INTO THE STORM SEWER SYSTEM OR DRAINAGE WAYS.

STORM DRAIN INLETS, CATCHBASINS, AND AREA DRAINS SHALL BE PROTECTED USING THE APPROVED BEST MANAGEMENT PRACTICE (BMP) AT ALL TIMES DURING CONSTRUCTION.

EFFECTIVE EROSION CONTROL, DUST CONTROL, AND DRAINAGE CONTROL IS REQUIRED AT ALL TIMES. THE COUNTY MAY ORDER STOPPAGE OF WORK TO EFFECT CORRECTIVE ACTION AT ANY TIME.

APPLY TEMPORARY AND PERMANENT SOIL STABILIZATION MEASURES ON ALL DISTURBED AREAS AS GRADING PROGRESSES.

CONSTRUCTION ACTIVITIES MUST AVOID OR MINIMIZE EXCAVATION AND CREATION OF BARE GROUND FROM OCTOBER 1 THROUGH MAY 31.

DURING WET WEATHER PERIODS TEMPORARY STABILIZATION OF THE SITE MUST OCCUR AT THE END OF EACH WORK DAY IF RAINFALL IS FORECAST IN THE NEXT 24 HOURS.

ALL EROSION AND SEDIMENT CONTROLS NOT IN THE DIRECT PATH OF WORK MUST BE INSTALLED PRIOR TO ANY LAND DISTURBANCE.

PRESERVE EXISTING VEGETATION AND RE-VEGETATE OPEN AREAS WHEN PRACTICABLE BEFORE AND AFTER GRADING OR CONSTRUCTION.

ALL TEMPORARY SEDIMENT CONTROLS MUST REMAIN IN PLACE UNTIL PERMANENT VEGETATION OR OTHER PERMANENT COVERING OF EXPOSED SOIL IS ESTABLISHED.

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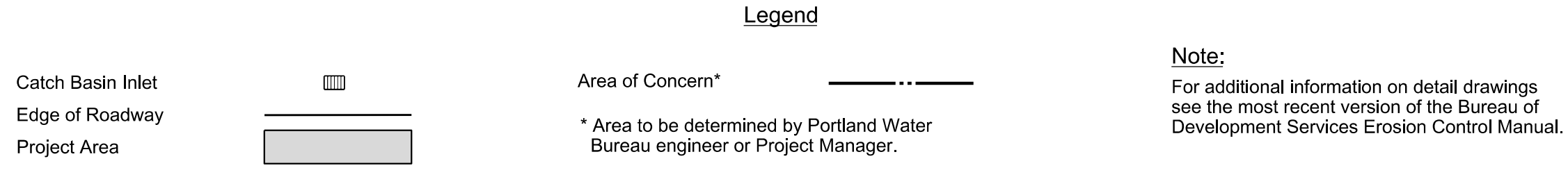
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SIGNIFICANT AMOUNTS OF SEDIMENT WHICH LEAVE THE SITE MUST BE CLEANED UP WITHIN 24 HOURS AND PLACED BACK ON THE SITE AND STABILIZED OR PROPERLY DISPOSED. THE CAUSE OF THE SEDIMENT RELEASE MUST BE FOUND AND PREVENTED FROM CAUSING A REOCCURRENCE OF THE DISCHARGED WITHIN THE SAME 24 HOURS. ANY IN-STREAM CLEAN UP OF SEDIMENT SHALL BE PERFORMED ACCORDING TO THE OREGON DIVISION OF STATE LANDS REQUIRED TIME FRAME.

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Erosion Control Notes

General

- Erosion Control is required for this project. Erosion Control measures (or ESC facilities) must be installed and maintained in accordance with the most recent version of the City of Portland's, Bureau of Development Service Erosion Control Manual, the approved Erosion, Sediment and Pollution Control Plan (ESPCP) and the Special Provisions. Selected Standard drawings from the Erosion Control Manual are reproduced on this sheet. However, a current Erosion Control Manual must be kept on site for installation and maintenance specifications, and for guidance in preparing alternative Erosion Control.
- Approval of the Erosion, Sediment and Pollution Control Plan (ESPCP) does not constitute an approval or permanent road or drainage design (EG: size and location of roads, pipes, restrictors, channels, retention facilities, utilities, etc).
- Approval of the Erosion, Sediment and Pollution Control Plan (ESPCP) does not relieve the Operation Supervisor's/Contractor's responsibility to ensure that the approved Erosion Control best management practices are constructed and maintained to contain sediment and pollutants on the construction site. The implementation of the ESPCP and the construction, maintenance, replacement and upgrading of the ESPCP facilities is the responsibility of the Operations Supervisor/Contractor until all construction is completed and approved, and (where necessary) vegetation/landscaping is established.

At Beginning of Construction

- The boundaries of the clearing limits shown on the plan shall be clearly flagged in the field prior to construction. During the construction period, no disturbance beyond the flagged clearing limits shall be permitted. The flagging shall be maintained by the Operations Supervisor/Contractor for the duration of construction.
- Stabilized construction entrances shall be installed (where necessary) at the beginning of construction and maintained for the duration of the project. Additional measures, such as wheel washes or hand brushing, may also be necessary to insure that all paved areas are kept clean for the duration of the project.
- The ESPCP facilities shown on the plan must be constructed in conjunction with all clearing and grading activities, and in such a manner as to insure that sediment and sediment-laden water do not enter the drainage system, roadways or violate applicable water standards.

During Construction

- The ESPCP facilities shown on the plan are the minimum requirements for anticipated site conditions. During the construction period, the ESPCP facilities shall be upgraded as needed for the unexpected storm events and to ensure that sediment and sediment-laden water do not leave the site.
- The ESPCP facilities shall be inspected daily by the Operations Supervisor/Contractor and maintained as necessary to ensure their continued functioning.
- The ESPCP facilities on inactive sites shall be inspected and maintained a minimum of once a month or within the 24 hours following a storm event.
- Gravel, matting or plating shall be used to protect the ground surface adjacent to water line construction within the project. A durable and temporary access way shall be selected and designed to be effective in preventing erosion, wheel rutting and excessive compaction. The access way, including all imported material, must be removed after construction.
- Storm water inlets that are functioning during the course of construction shall be protected by approved sediment control measures so that sediment-laden water can not enter the inlets without first being filtered.
- At no time shall more than one (1) foot of sediment be allowed to accumulate within a trapped catch basin. All catch basins and conveyance lines shall be cleaned prior to paving. The cleaning operation shall not flush sediment-laden water into the downstream system.
- Any stockpiled soil must be secured and protected throughout the project with soil stabilization measures including sediment barriers and plastic sheeting. Stockpiling within a wetland must be avoided. However, if temporary stockpiling occurs within a wetland, stockpiles must be covered nightly with plastic per the requirements of the attached DSL permit. The Operations Supervisor/Contractor is accountable for the protection of all stockpiles on the site, and those transported from the site. Deposition of soil may be subject to additional regulation requiring permit, review or Erosion and Sediment Control.
- Any soil tracked onto the street from established construction entrances must be swept up and disposed of on site. Streets must not be washed to remove tracked soil.
- An Erosion Control Inspection Log must be kept on site for review by city inspection staff. The log shall conform to the project special specifications.

After Construction

- Erosion control measures shall continue to be monitored, improved and maintained on completed stages of work, until all project work areas are stable.
- A vegetation plan may need to be implemented when necessary. Any replacement vegetative cover planted by Operations Supervisor/Contractor must not include plants listed in either the nuisance or the prohibited plant list, as set forth in the city of Portland plant list.

Sediment Fence Notes

- The filter fabric shall be purchased in a continuous roll cut to length of the barrier to avoid use of joints. When joints are necessary, filter cloth shall be spliced together only at a support post, with a minimum 6-inch overlap, and both ends securely fastened to the post, or overlap 2-inch x 2-inch posts and attach as shown on detail 4.2A.
- The filter fabric fence shall be installed to follow the contours where feasible. The fence posts shall be spaced a maximum of 6 feet apart and driven securely into the ground a minimum of 24 inches.
- The filter fabric shall have a minimum vertical burial of 6 inches. All excavated material from filter fabric fence installation, shall be back filled and compacted, along the entire disturbed area.
- Standard or heavy-duty filter fabric fence shall have manufactured stitched loops for 2-inch x 2-inch post installation. Stitched loops shall be installed on the uphill side of the slope.
- Filter fabric fences shall be removed when they have served their useful purpose, but not before the up slope area has been permanently protected and stabilized.
- Filter fabric fences shall be inspected by the Operations Supervisor/Contractor immediately after each rainfall and at least daily during prolonged rainfall. Any required repairs shall be made immediately.

Note:

Location of inlets are based on aerial mapping. Contractor will be responsible for field verifying locations of all inlets and providing erosion control.

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| Designed By | Program Mgr |
| BJK | DMC |
| CAD Checked By | Const Mgr |
| GWE | TG |
| Checked By | Const Supr |
| JDB | JDT |
| Project Mgr | Date |
| KMA | |

REGISTERED PROFESSIONAL ENGINEER
1942
Ken Ackerman
SINCE 18th, 1991
KENNETH MICHAEL ACKERMAN
EXPIRES 12-31-2025

PORTLAND WATER BUREAU
FROM FOREST TO FAUCET

Kenneth M. Ackerman
Kenneth M. Ackerman, Principal Engineer, PE No 19424
3/20/2025
Date



Pavement Rehabilitation Project
SE Cottrell Rd
From SE Bluff Rd To SE Lusted Rd
SE Lusted Rd
From SE Pleasant Home Rd To SE Altman Rd
Erosion Control Standard Details Sheet

SAP Project No
W02229
1/4 Section
3965, 3865, 3765,
3763, 3762, 3665,
3663, 3662
Sheet No
3 of 19

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Multnomah County Land Use Decision T3-2022-16220 Conditions of Approval:

1. Additions to County Transportation Condition 7

The TCP must include an emergency coordination section that at minimum includes the following:

iv. Satisfy the minimum requirements of the Manual on Uniform Traffic Control Devices for Streets and Highways;

v. Provide construction update reports to emergency responders that include, at a minimum, the following information:

- O. Dates and times of closure/partial closure
- P. Name of contractor and emergency contacts (required on-site contact)
- Q. Purpose of closure
- R. Location of closure and number of lanes
- S. Work hours and times of road closures
- T. Traffic control layout plan
- U. Legend
 - North arrow
 - Street names within a certain distance of the site
 - Physical features such as medians, shoulders, etc.
 - Identified method for passage of emergency response vehicles (including temporary conditions/detour plan)
 - Location of significant construction items such as dumpsters and heavy equipment

vi. The construction update reports must be provided at least weekly unless an alternative frequency is requested by an emergency responder.

The TCP must provide for access through construction zones as follows:

vii. Where no detour is available, such as to access Lusted Flats via Dodge Park Boulevard or to access the only access to a farm field, the applicant shall (1) ensure that work zones allowing a single lane of traffic to pass are wide enough to accommodate farm traffic up to 16 feet wide; and (2) flag farm traffic, service providers, and local residents (within the closure) through otherwise closed work zones.

viii. The Water Bureau shall (1) ensure that work zones allowing a single lane of traffic to pass are wide enough to accommodate emergency vehicles; and (2) flag emergency vehicles through otherwise closed work zones. Access for emergency vehicles shall be provided at all times.

ix. The Water Bureau shall require the contractor to take measures to ensure they can accommodate this traffic through a work zone regardless of the stage of construction. For example, if pipeline construction obstructs a road that cannot be detoured around, the contractor will have on-hand the materials needed to plate the excavation or otherwise allow this traffic to proceed through the work zone.

E.1.h. When construction impacts the public right-of-way in front of a business, post "business open" signs typical of roadway construction projects in any area where road construction and/or pipeline installation is occurring and where business would anticipate visitors.

E.1.m [Carpenter West of Cottrell] Provide "local access only" signage restricting access to Carpenter Lane west of Cottrell Road, as well as including the prohibition on use in the safe driver training.

E.1.r Instruct filtration project construction drivers to avoid specific road segments that have direct access to identified schools. The specific school, streets, types of construction traffic, and hours to be avoided are listed in the table below. These constraints apply only on days when school is in session.

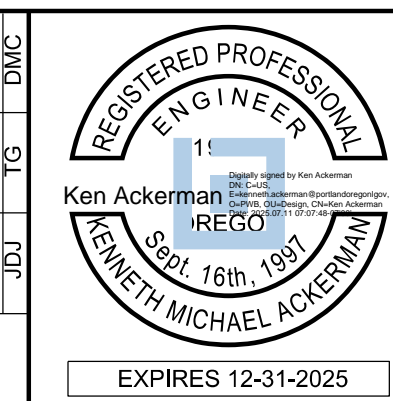
| District | School | Street | Extent | Construction Traffic Type | Avoidance Hours* |
|----------------|------------------------|-------------------------------------|---|----------------------------------|--|
| Oregon Trail | Oregon Trail Academy | SE Proctor Rd | SE Bluff Rd to SE Dodge Park Blvd | All | All |
| | | SE Bluff Rd | Just east of SE 352 nd Ave to SE Bear Creek Ln | Trucks and craft labor commuters | 7:15 to 8:15 am 2:15 to 3:15 pm |
| | Kelso Elementary | SE Kelso Rd | SE Orient Dr to SE Eklund Ave | All | All |
| Gresham-Barlow | Sam Barlow High | SE Lusted Rd | SE 282 nd Ave to SE 302 nd Ave | Trucks Craft labor commuters | All 7:05 to 9:05 am 2:00 to 3:00 pm |
| | | SE 302 nd Ave | SE Lusted Rd to SE Chase Rd | Trucks Craft labor commuters | All 7:05 to 9:05 am 2:00 to 3:00 pm |
| | East Orient Elementary | SE 302 nd Ave | SE Dodge Park Blvd to SE Bluff Rd | All | All |
| | West Orient Middle | SE Short Rd | SE Dodge Park Blvd to SE Orient Dr | All | All |
| | | SE Orient Dr/SE Bluff Rd | SE Short Rd to SE 302 nd Ave | Trucks Craft labor commuters | All 8:35 to 10:35 am 3:05 to 4:05 pm |
| | Kelly Creek Elementary | SE Baker Way/SE 24 th St | SE Williams Dr to SE Chase Rd | All | All |

E.2 (pg. 84)The Water Bureau may not include Carpenter Lane west of Cottrell as a detour option in traffic control plans for signage during construction.

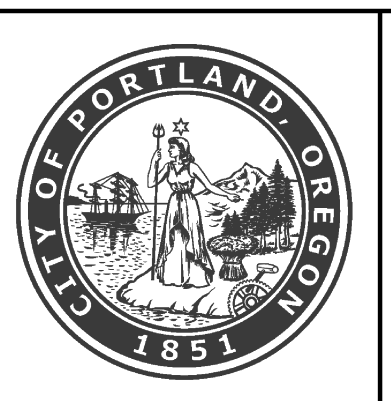
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| Checked By JDB | Const Supvr <i>JDT</i> |
| Project Mgr KMA | Date |



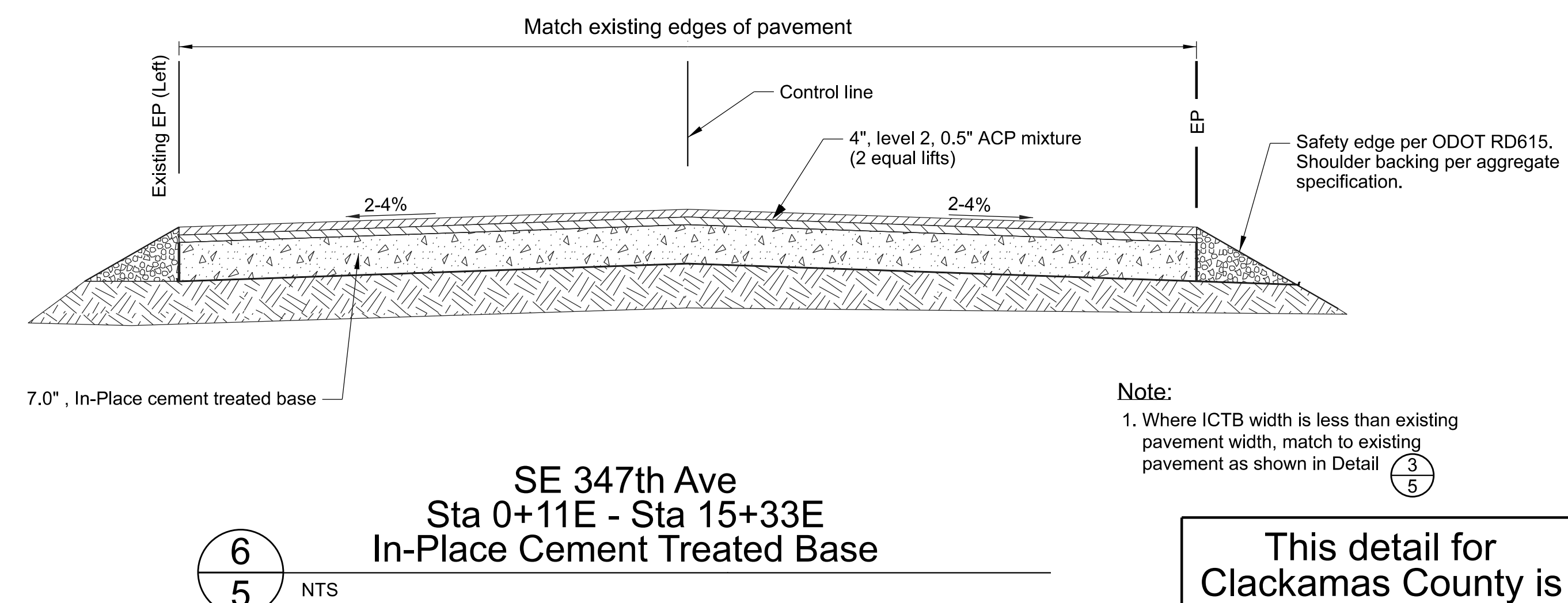
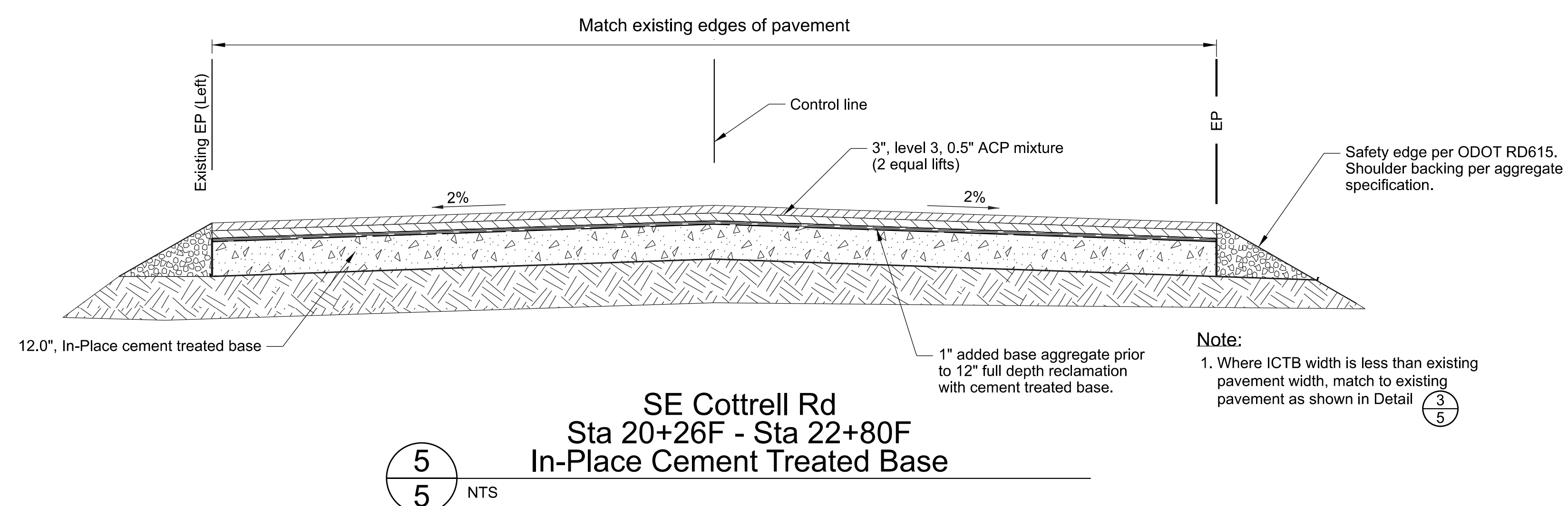
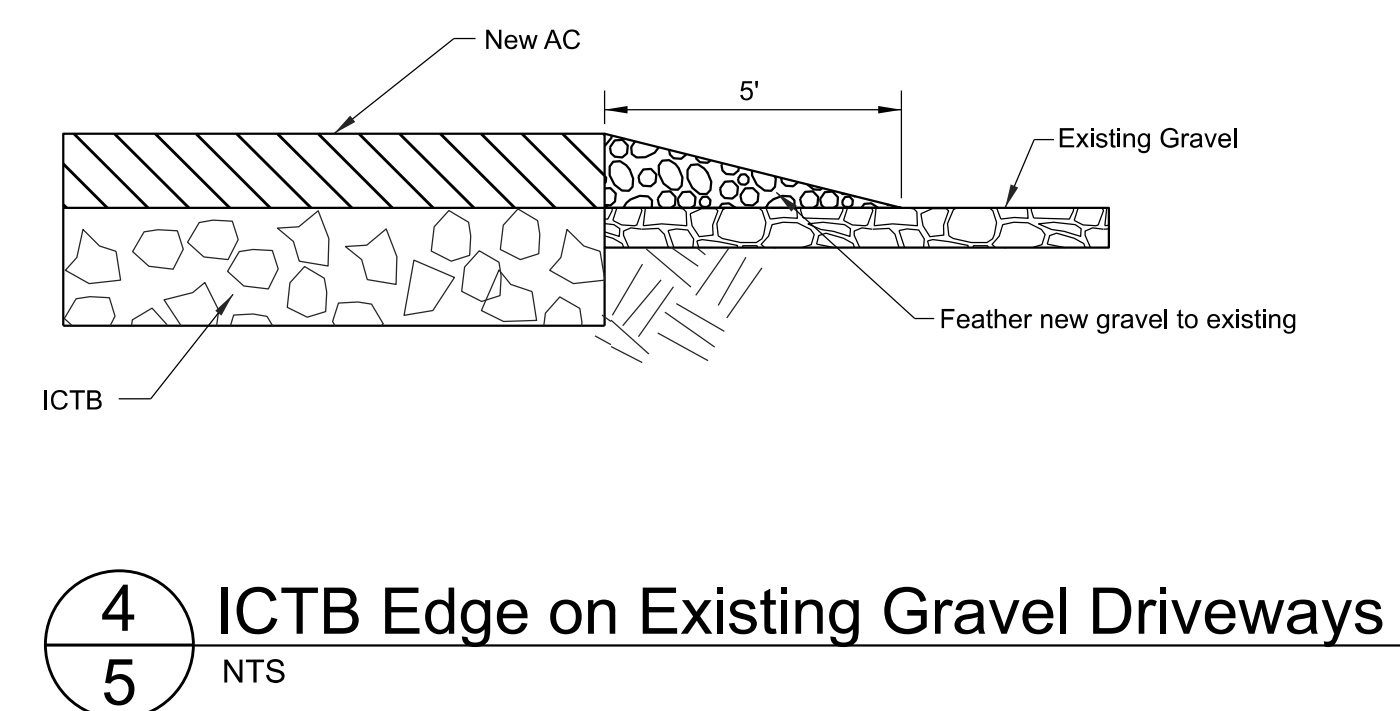
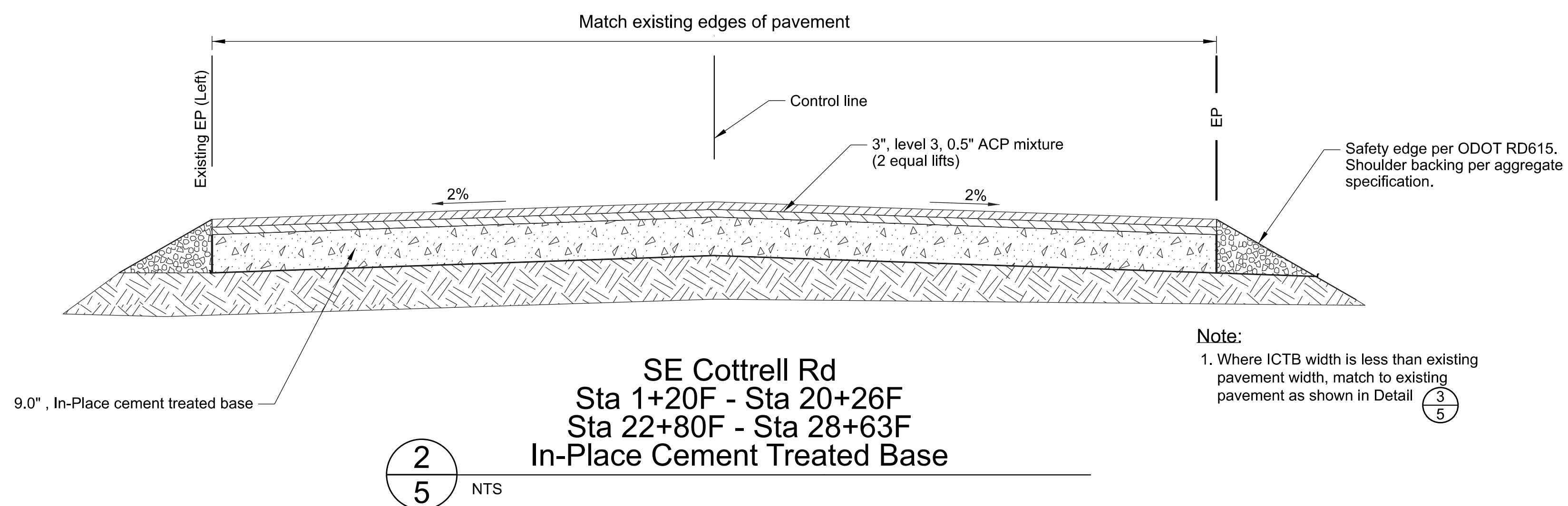
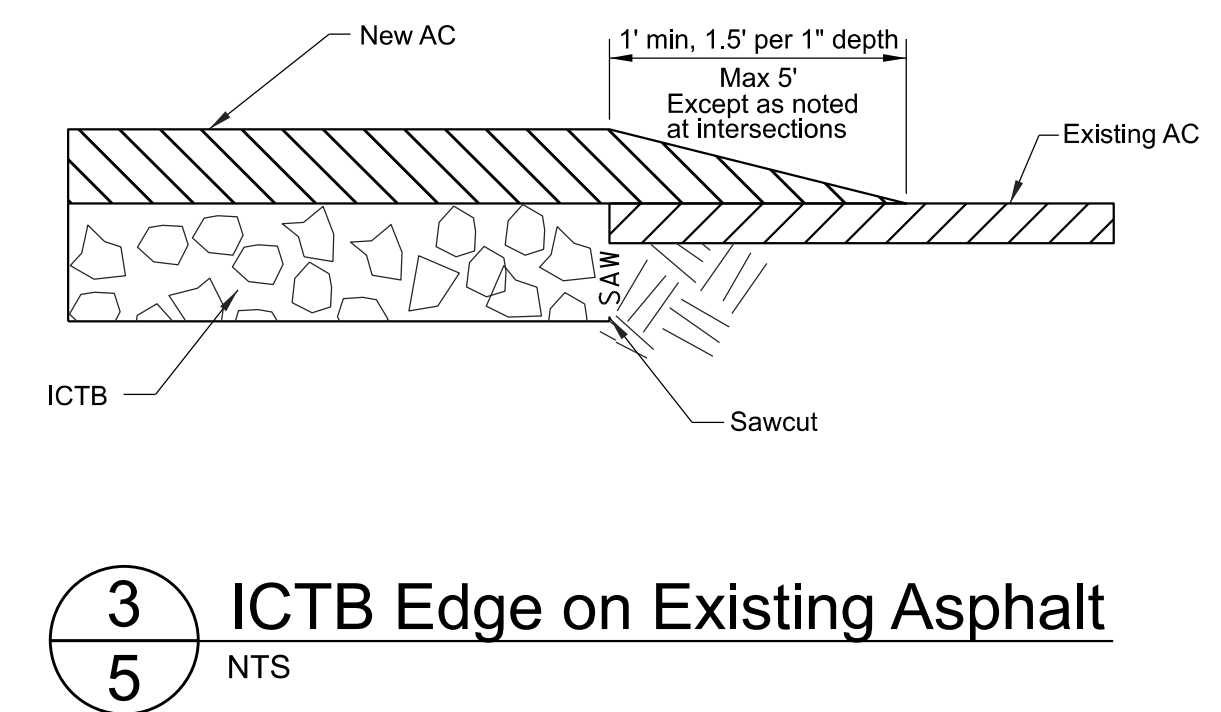
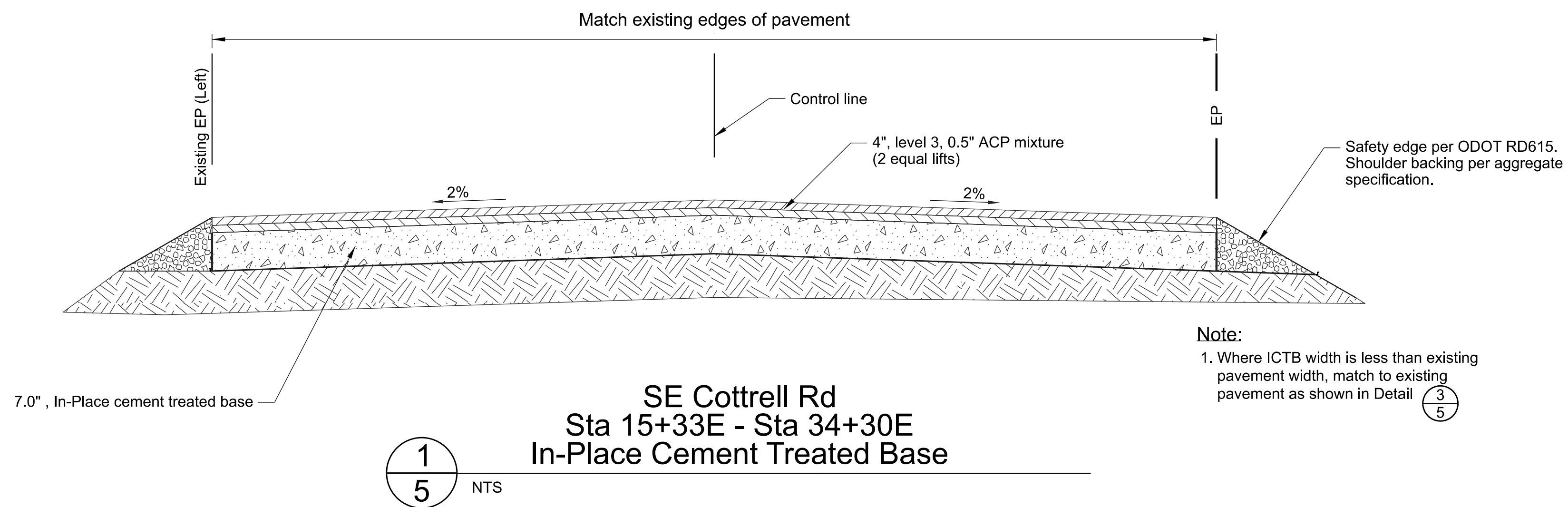
Kenneth M. Ackerman
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Pavement Rehabilitation Project
Land Use Conditions of Approval
Multnomah County
Casefile T3-2022-16220
Traffic Control Plan Sheet

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**This detail for
Clackamas County is
for reference only.**

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| Checked By JDB | Const Supr JDT |
| Project Mgr KMA | Date |

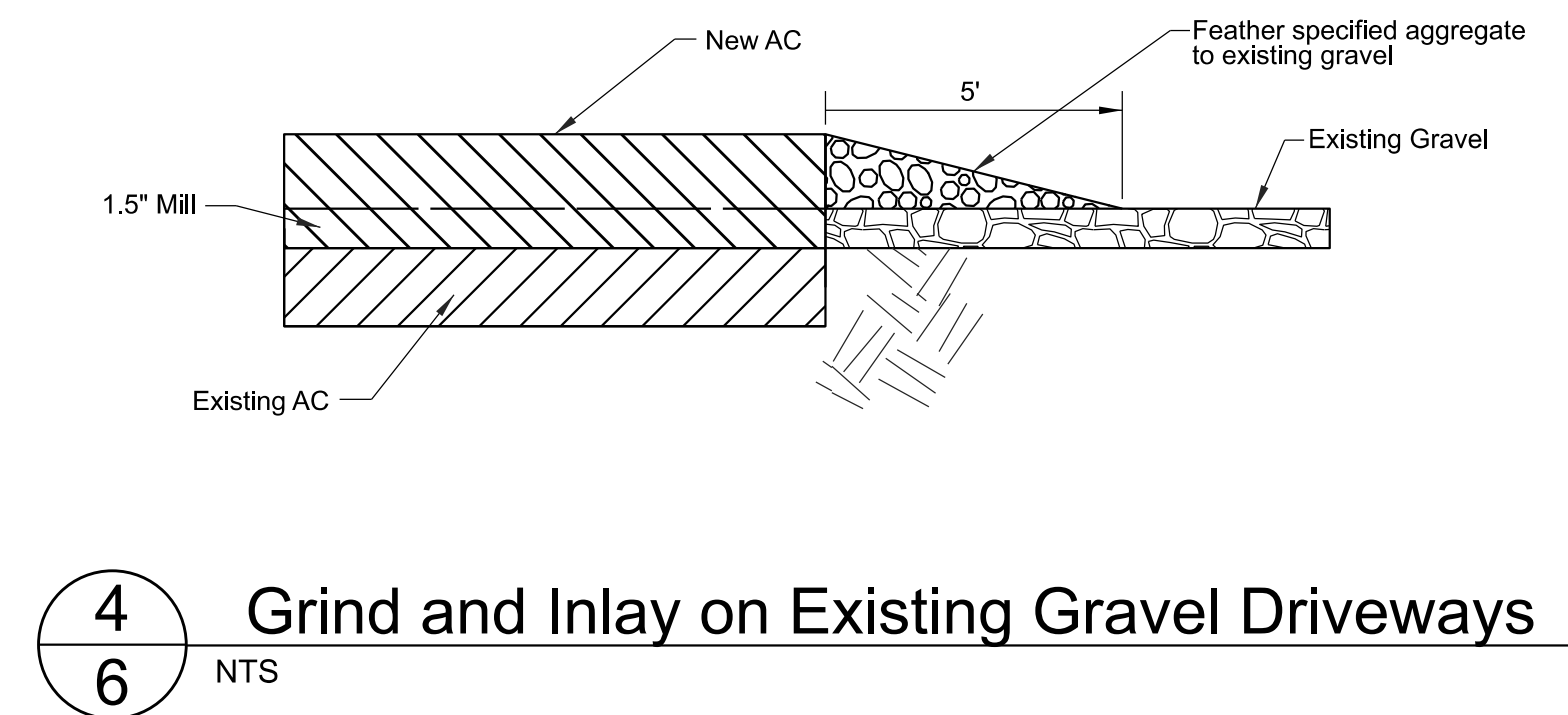
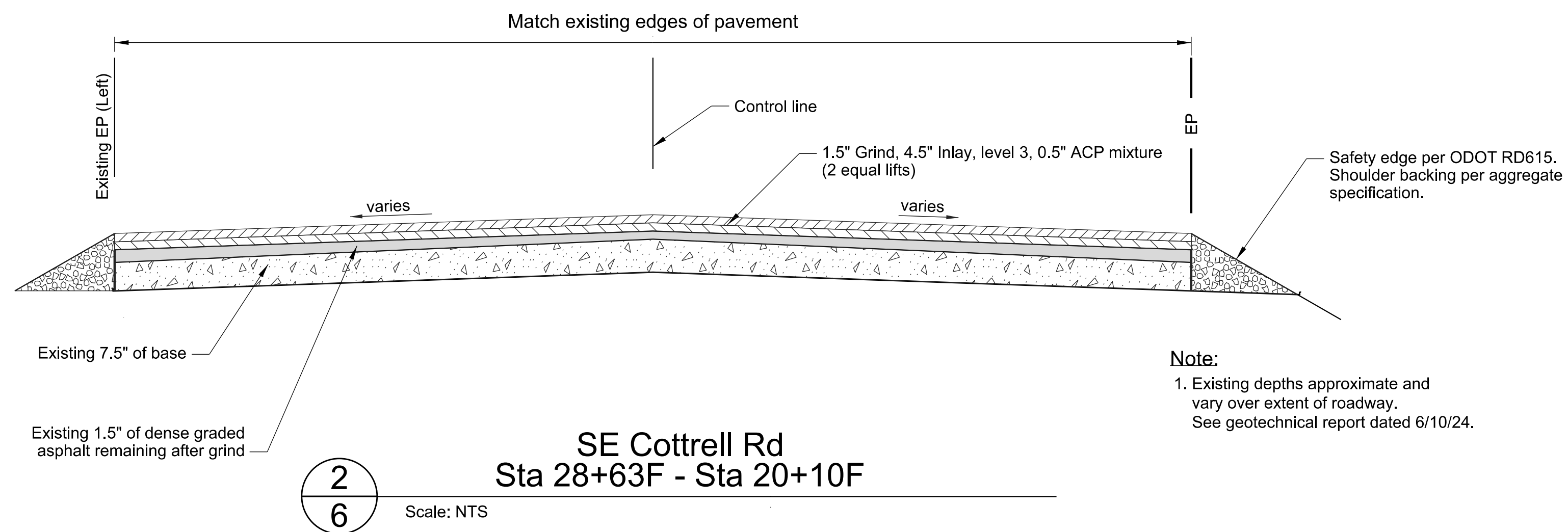
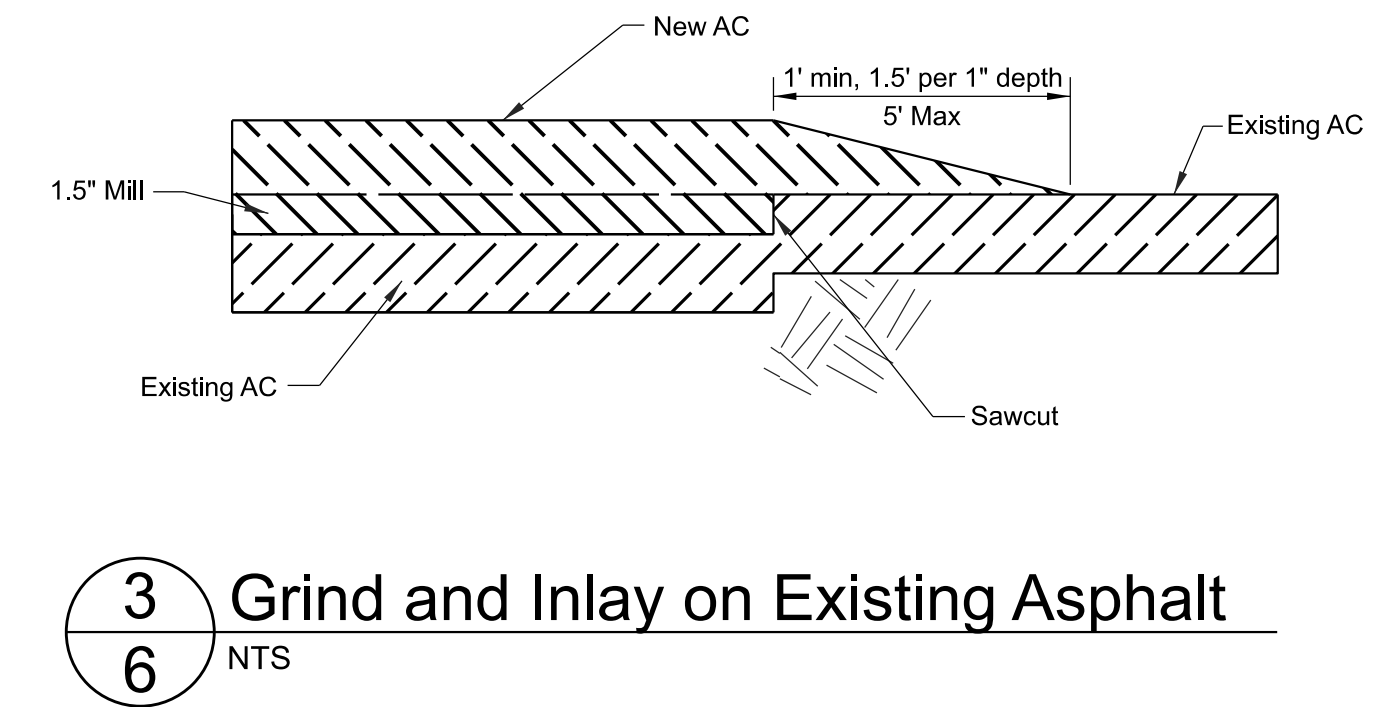
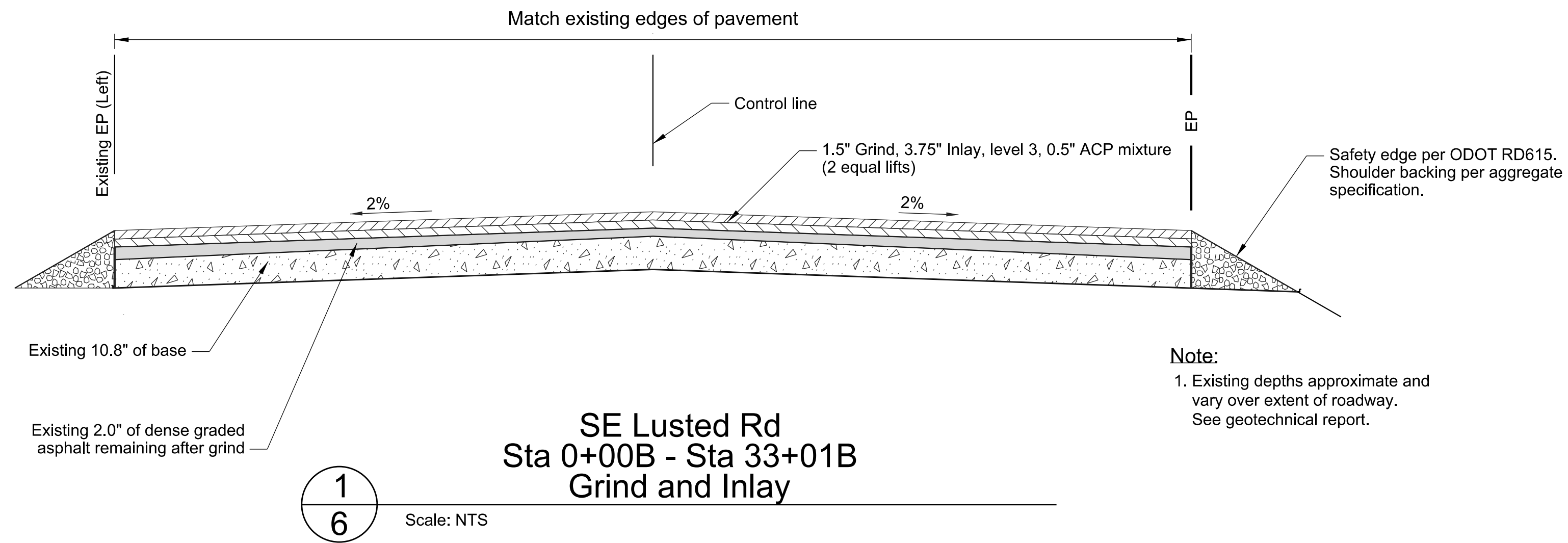
Kenneth M. Ackerman
 Kenneth M. Ackerman, Principal Engineer, PE No 19424
 3/20/2025
 Date



Pavement Rehabilitation Project
SE Cottrell Rd
 From SE Bluff Rd To SE Lusted Rd
SE Lusted Rd
 From SE Pleasant Home Rd To SE Altman Rd
 Paving Details Sheet
 In-Place Cement Treated Base (ICTB)

SAP Project No
W02229
 1/4 Section
 3965, 3865, 3765,
 3763, 3762, 3665,
 3663, 3662
 Sheet No
5 of 19

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| Revision | | | |
| Survey | Unknown | Unknown | |

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| Designed By BJK | Program Mgr <i>DMC</i> |
| CAD Checked By <i>GWE</i> | Const Mgr TG |
| Checked By JDB | Const Supvr <i>JDT</i> |
| Project Mgr KMA | Date |



Kenneth M. Ackerman
Kenneth M. Ackerman, Principal Engineer, PE No 19424

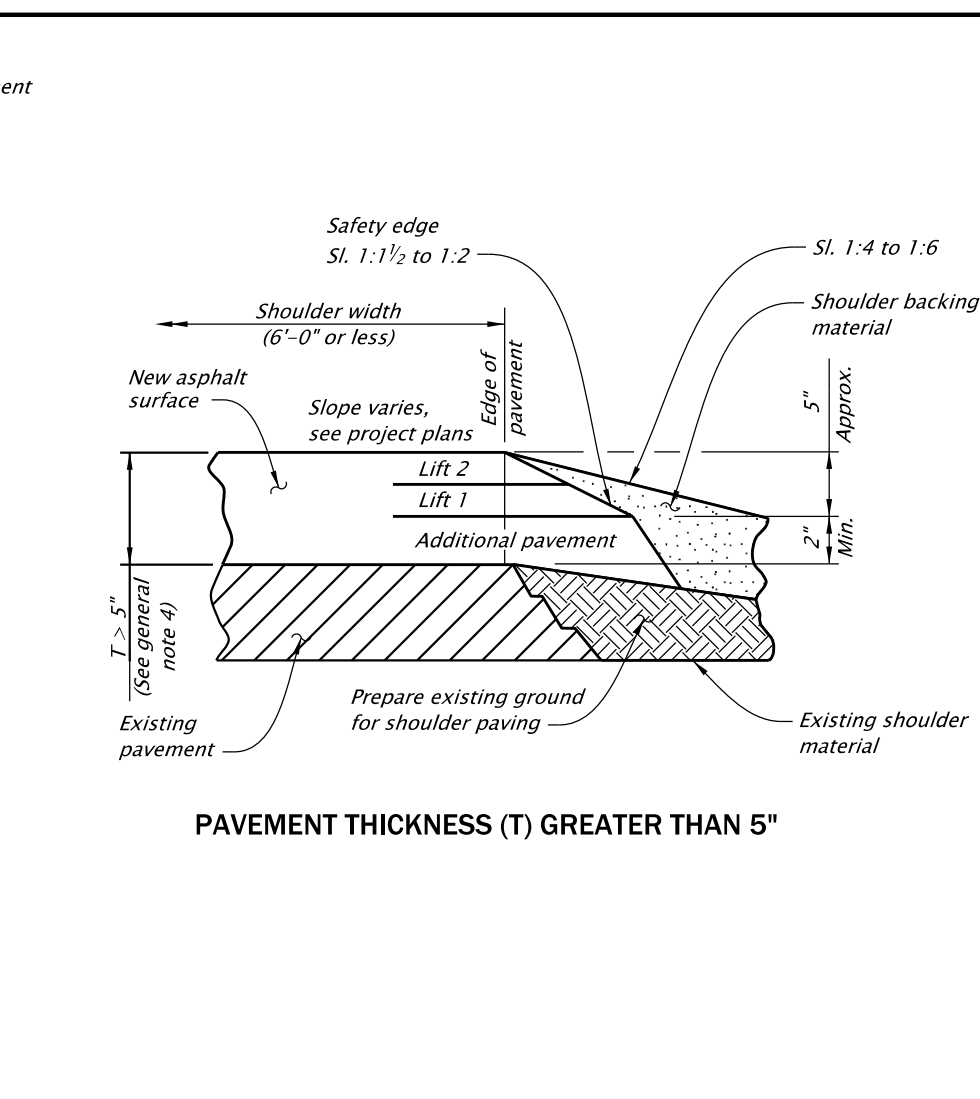
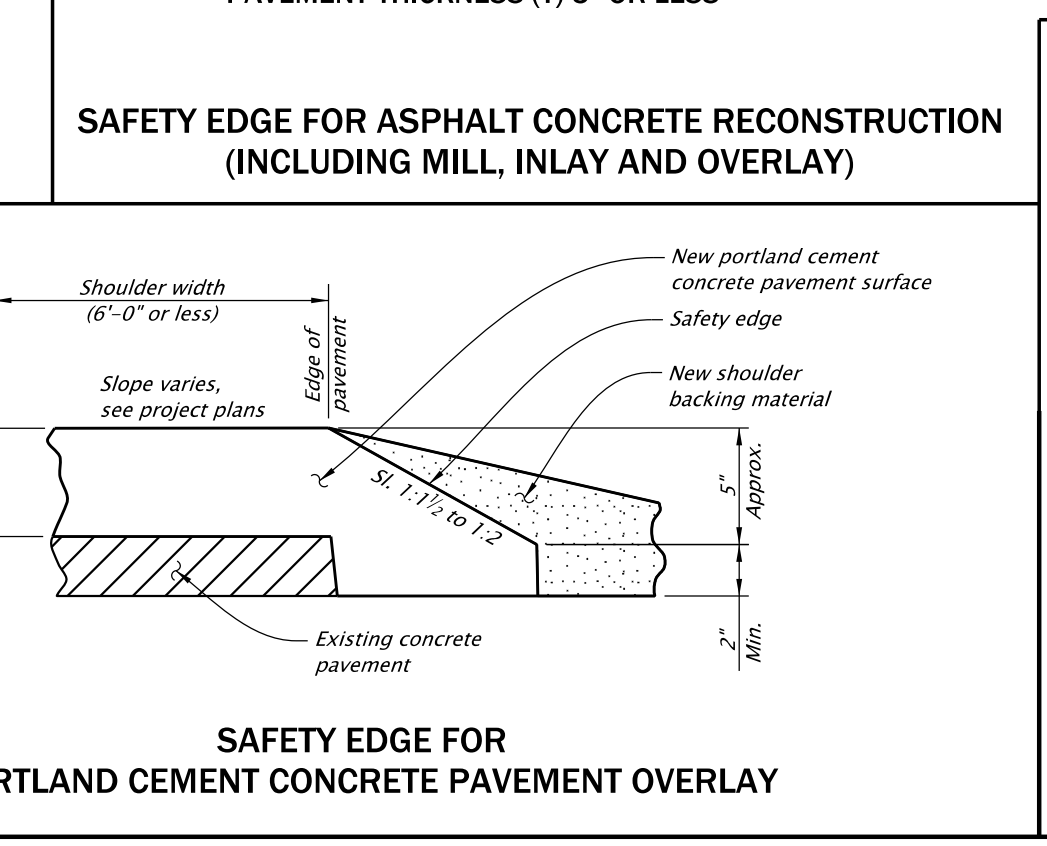
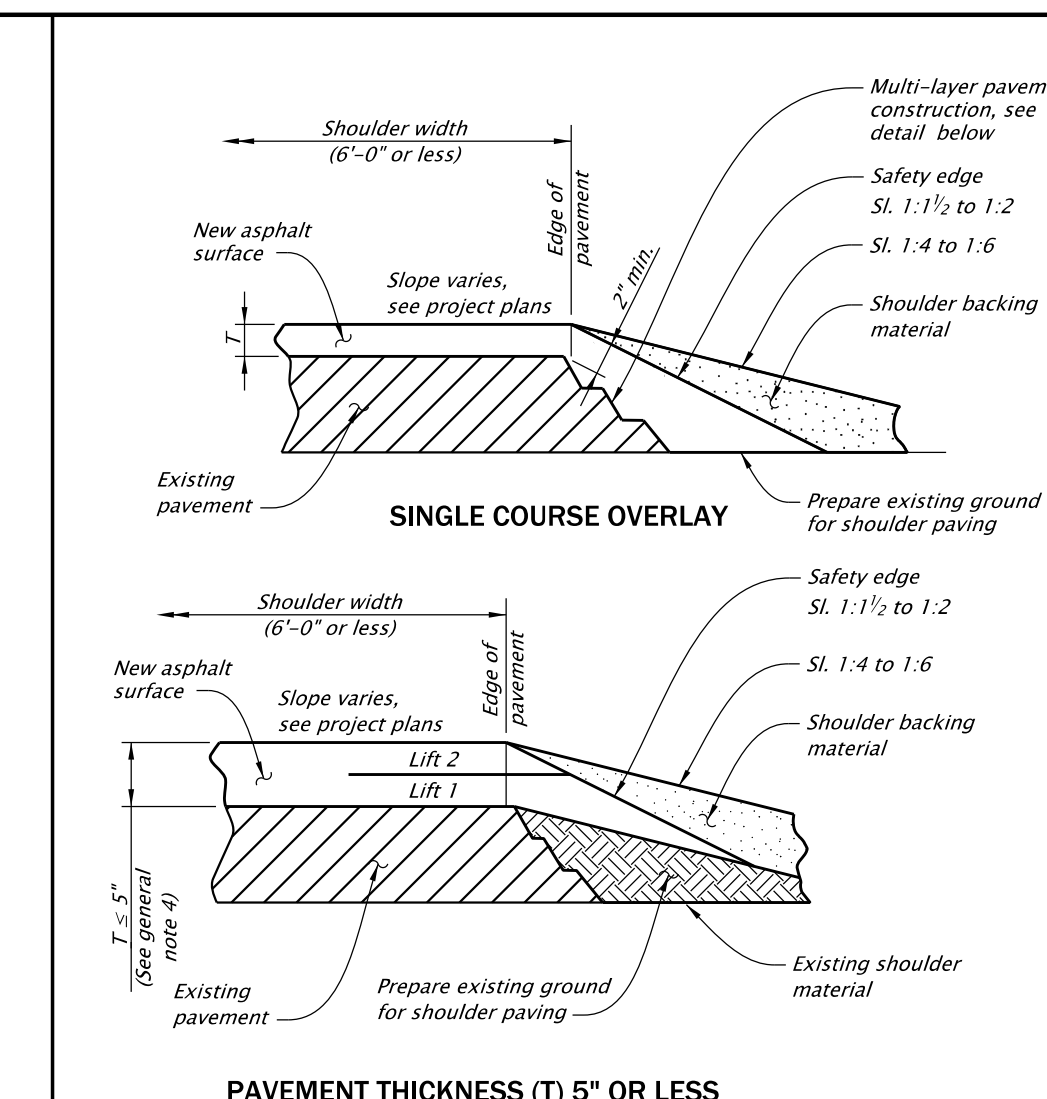
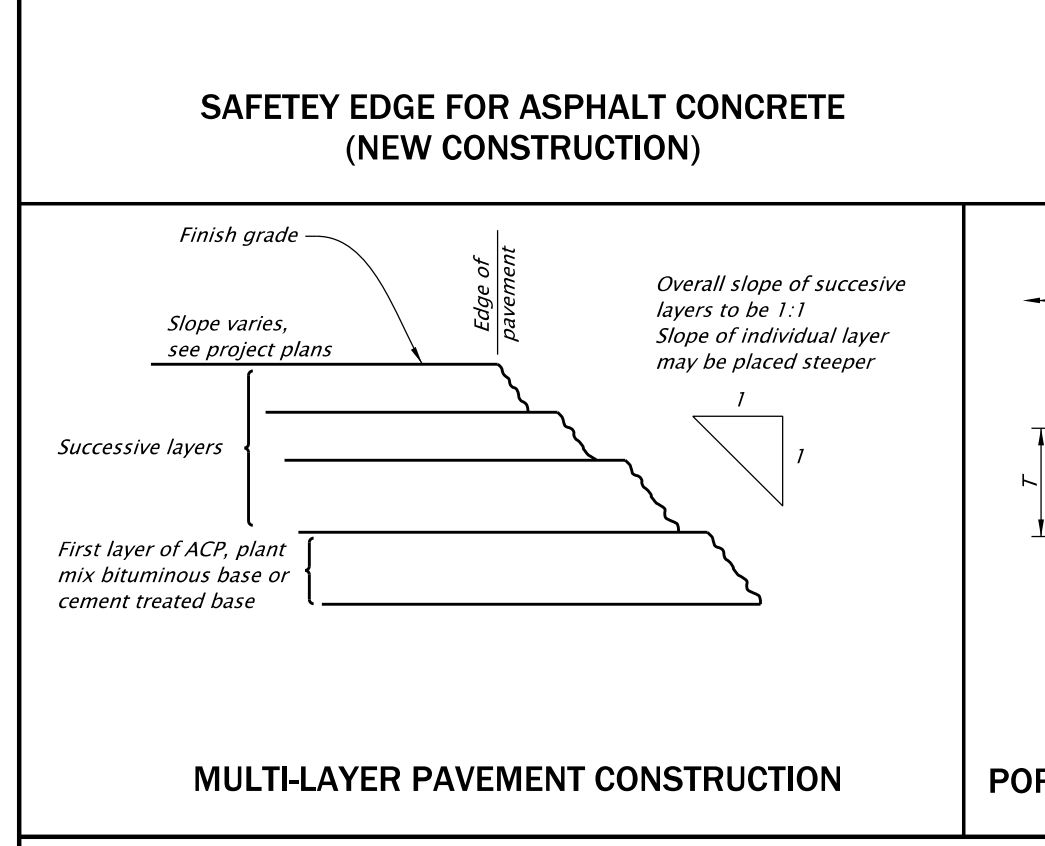
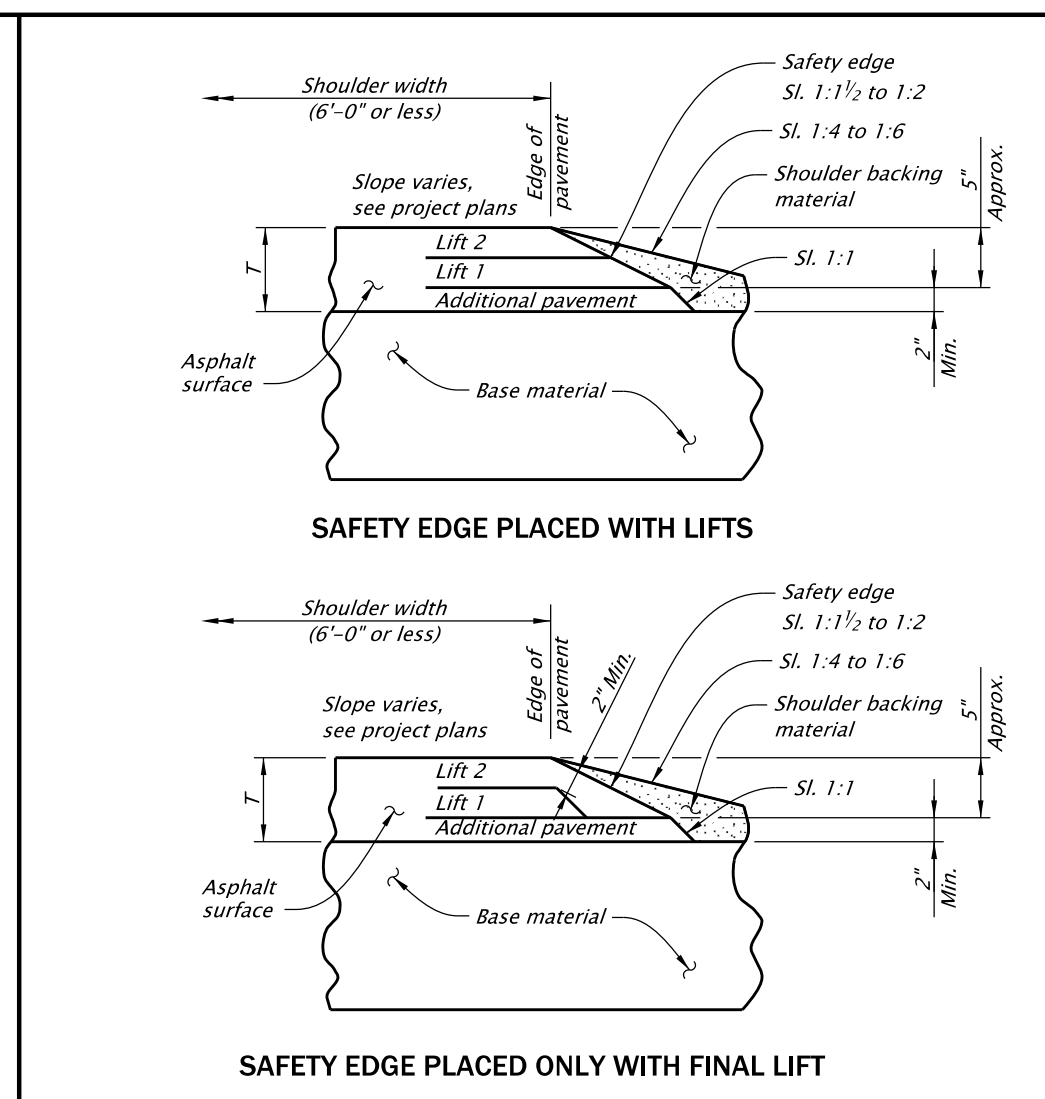
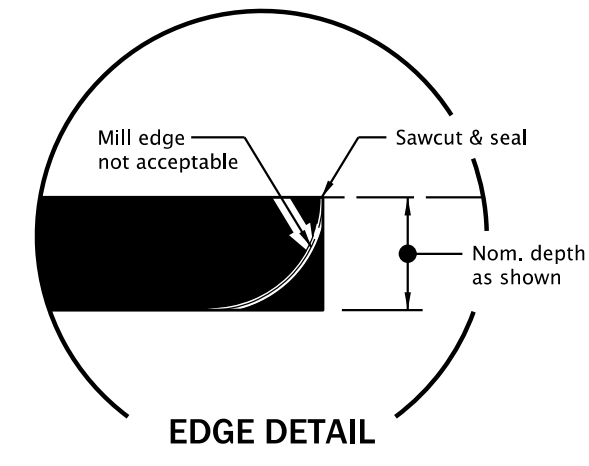
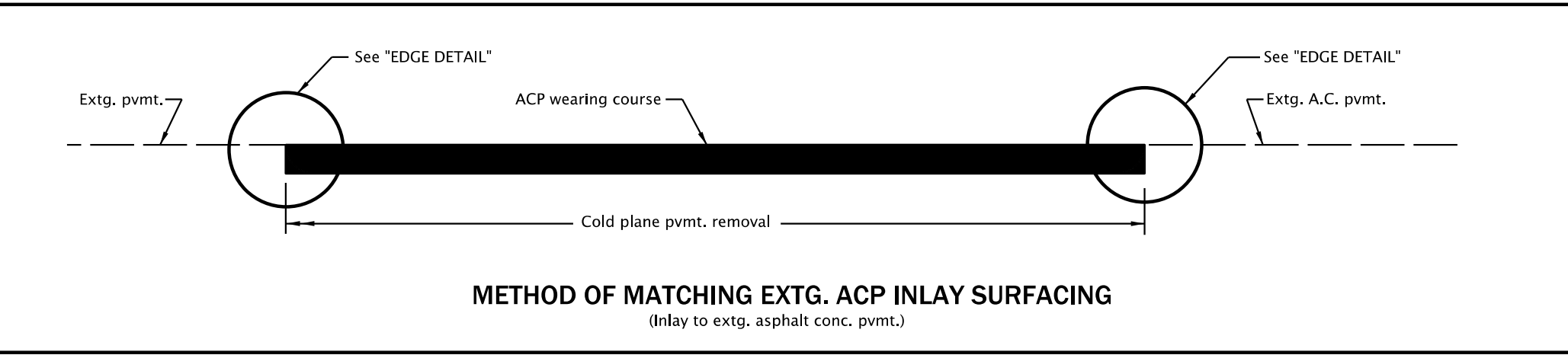
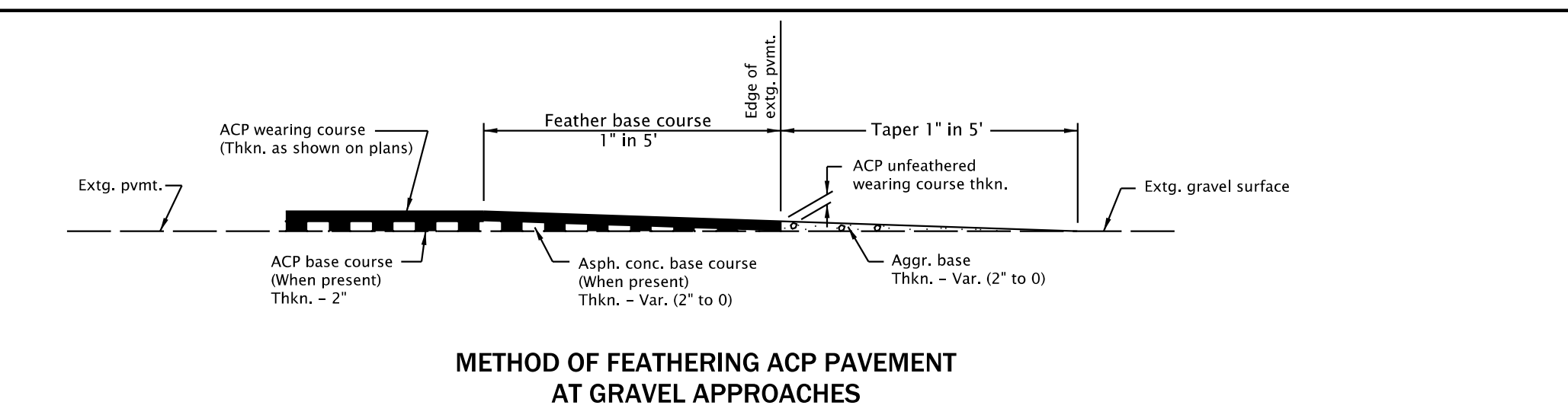
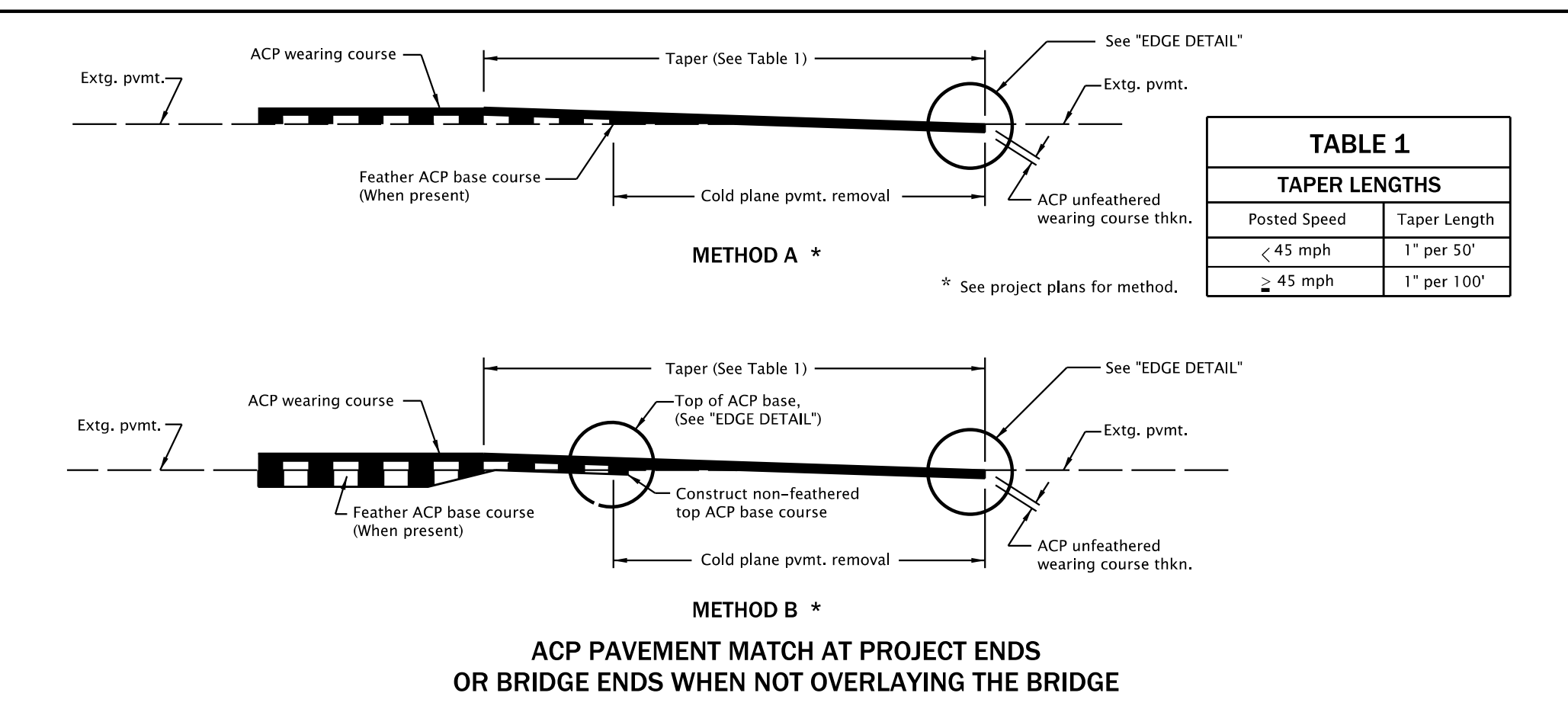
3/20/2025
Date



Pavement Rehabilitation Project
SE Cottrell Rd
From SE Bluff Rd To SE Lusted Rd
SE Lusted Rd
From SE Pleasant Home Rd To SE Altman Rd
Paving Details Sheet
Grind and Inlay

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|---|
| SAP Project No W02229 |
| 1/4 Section 3965, 3865, 3765, 3763, 3762, 3665, 3663, 3662 |
| Sheet No |
| 6 of 19 |

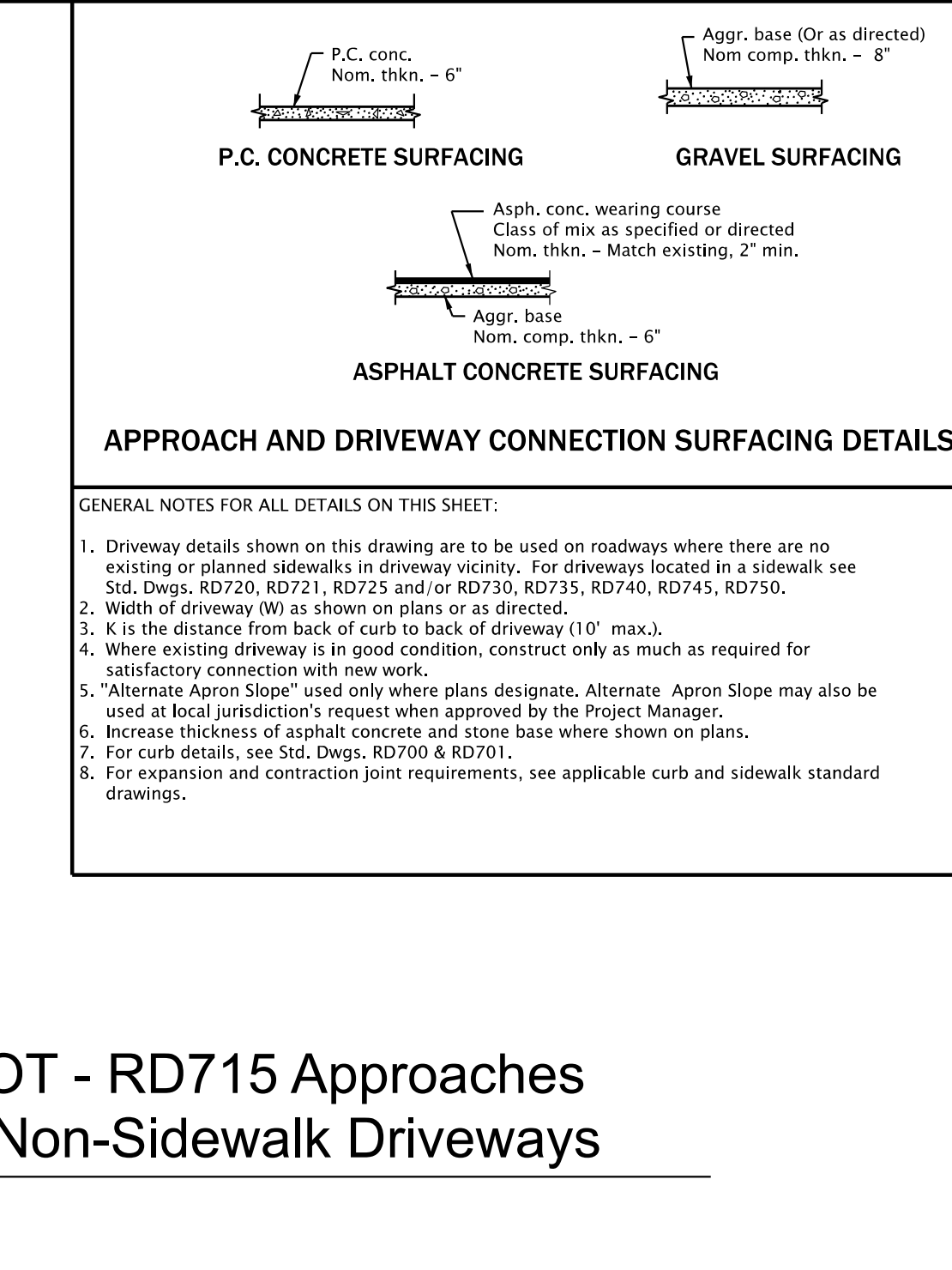
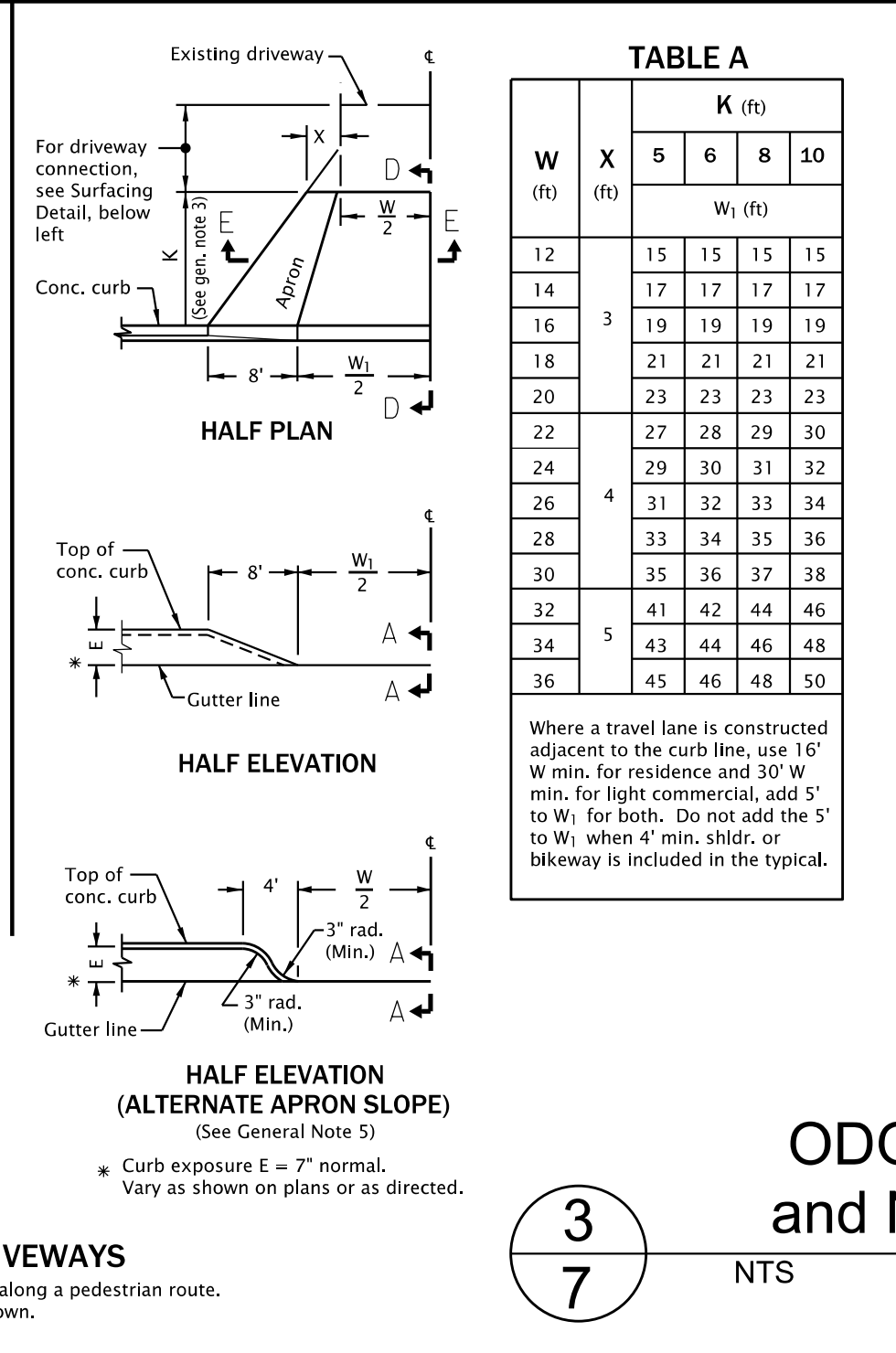
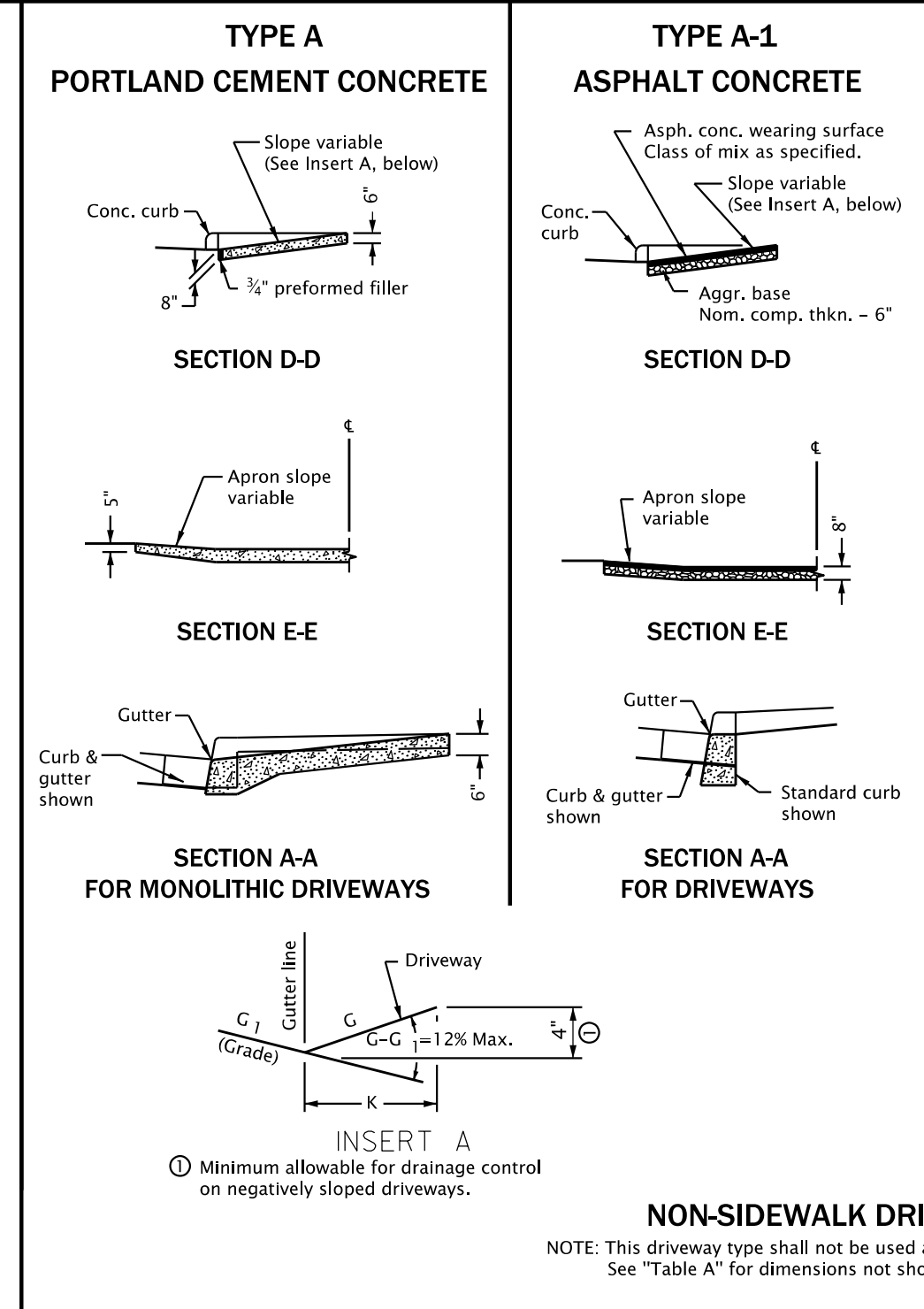
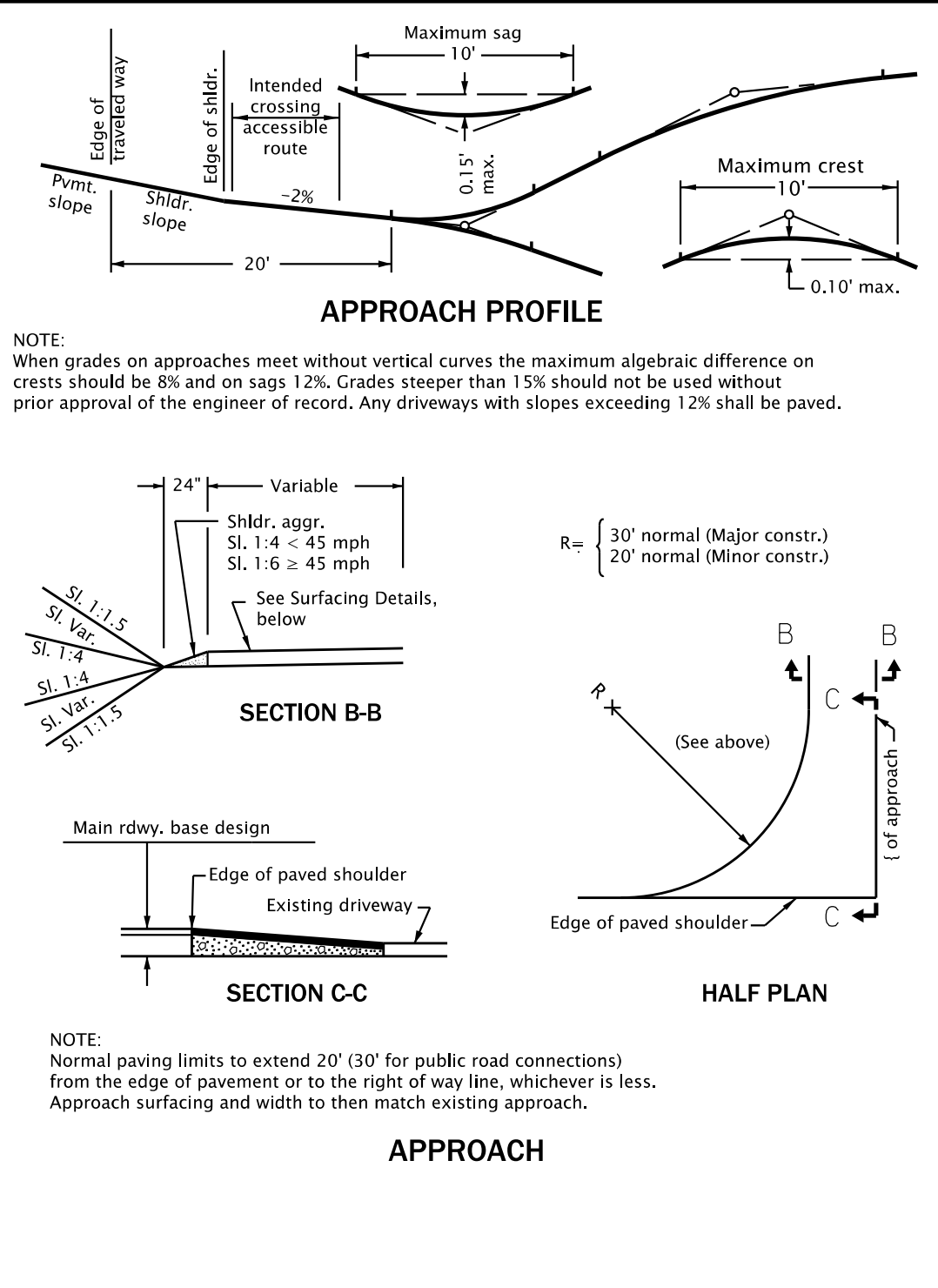
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- GENERAL NOTES FOR ALL DETAILS ON THIS SHEET:**
- Safety edges are required at the outside edges of the paved roadway (edge of travel lane or edge of paved shoulders), where the wearing surface thickness is 2" or greater, except where indicated in the plans.
 - Construct the safety edge at a slope of 1:1 1/2 to 1:2 measured from the pavement surface.
 - Do not construct safety edge at intersections, paved drives, or other obstructions.
 - For total new asphalt depth of "T" ≤ 5", construct the safety edge to the full thickness of the surface and intermediate courses. For total new asphalt depth of "T" > 5", construct the safety edge to a depth of 5" approximately with a 1:1 sloped face below the safety edge.

1
7
ODOT - RD610 Asphalt Concrete Pavement (ACP) Details
NTS

2
7
ODOT - RD615 Surface Edge Details
NTS



3
7
ODOT - RD715 Approaches and Non-Sidewalk Driveways
NTS

| No | Date | Description | Appd |
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| Revision | | | |
| Survey | Unknown | Unknown | |

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| Designed By | BJK | Program Mgr | DMC |
| CAD Checked By | QWE | Const Mgr | TG |
| Checked By | JDB | Const Supr | JDT |
| Project Mgr | KMA | Date | |

REGISTERED PROFESSIONAL ENGINEER
KENNETH MICHAEL ACKERMAN
SINCE 1981
EXPIRES 12-31-2025

PORTLAND WATER BUREAU
FROM FOREST TO FAUCET

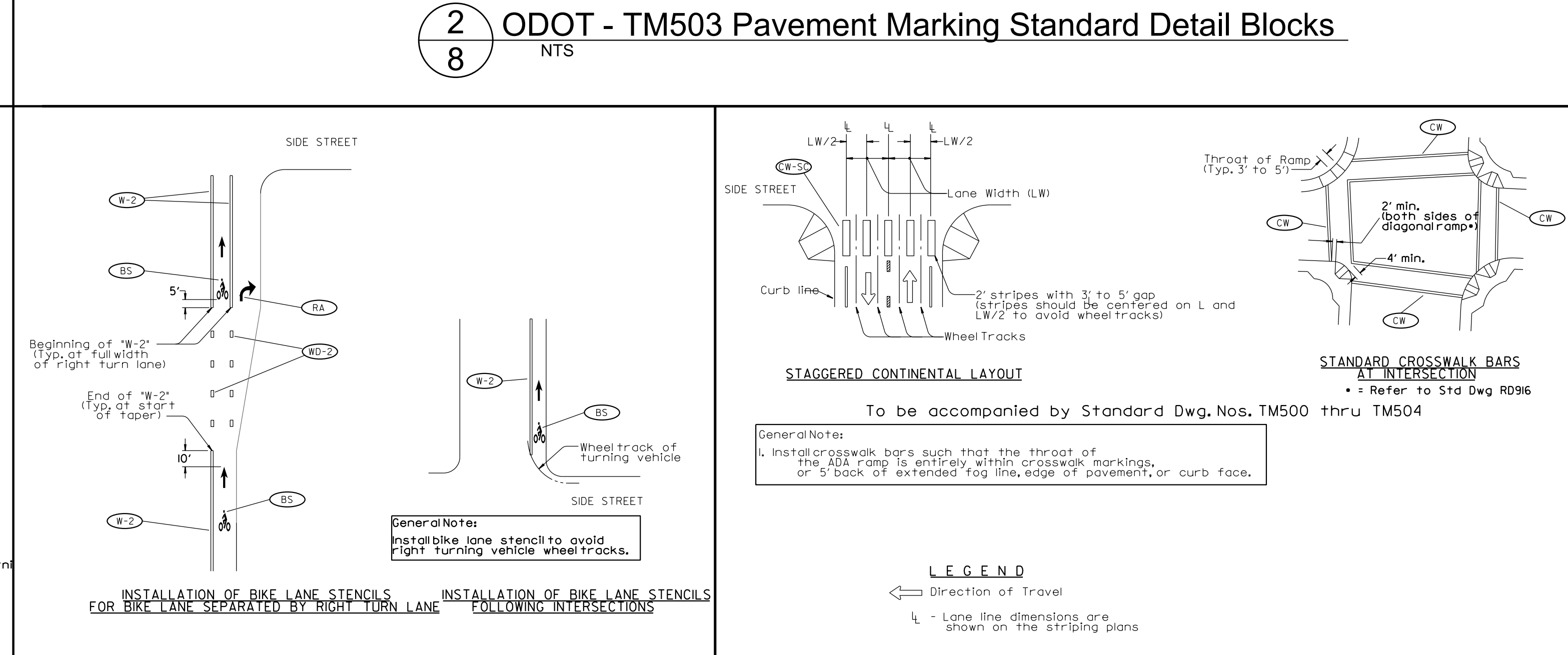
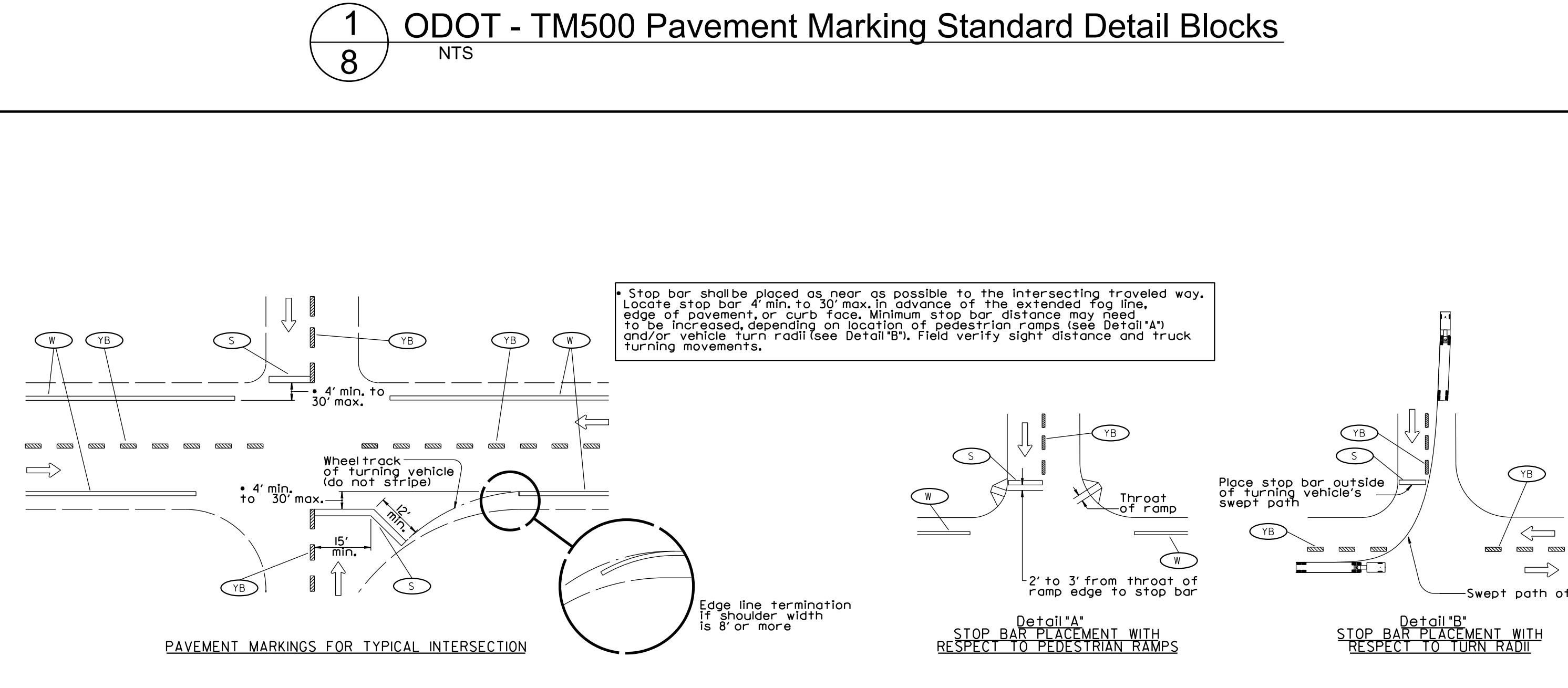
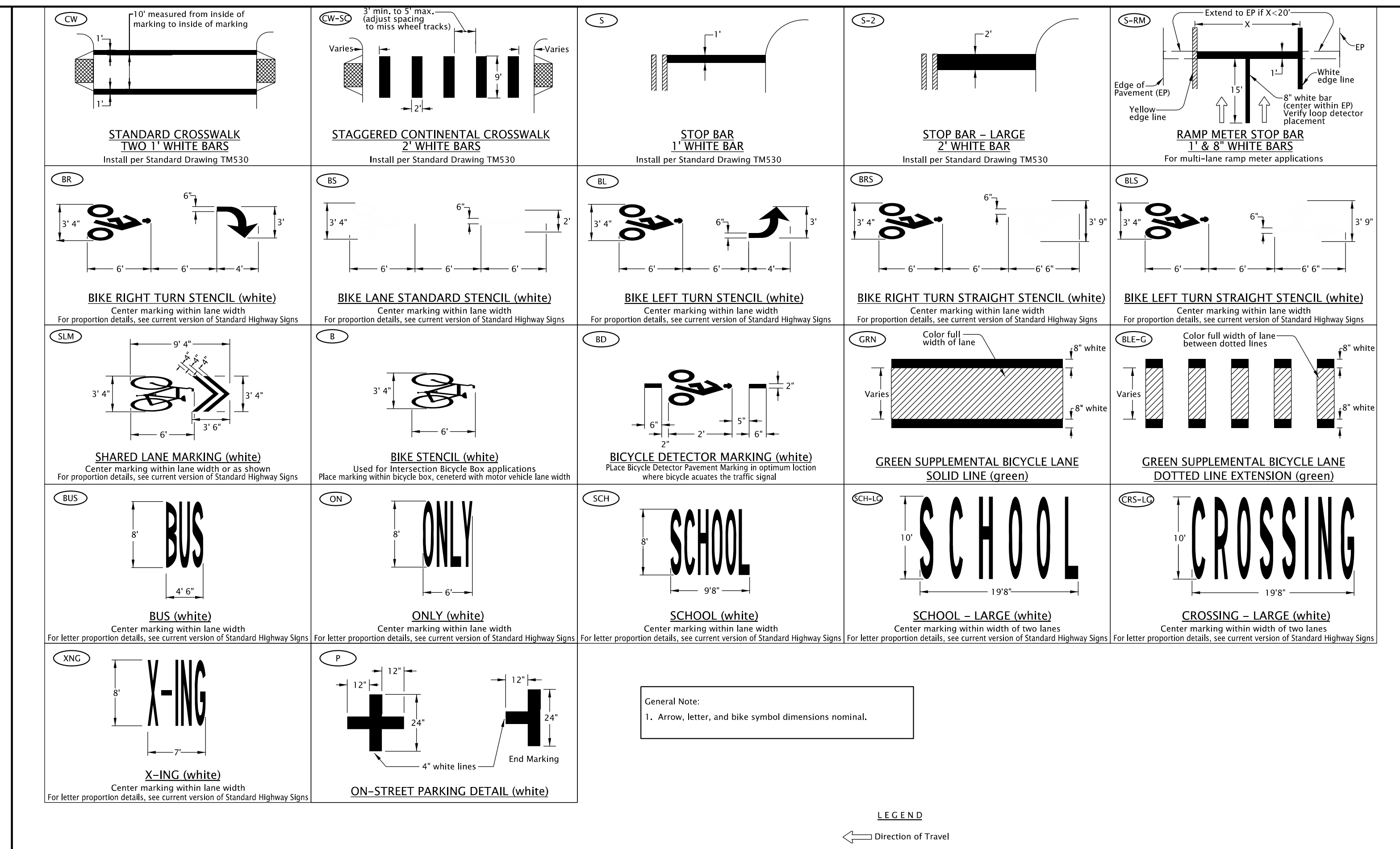
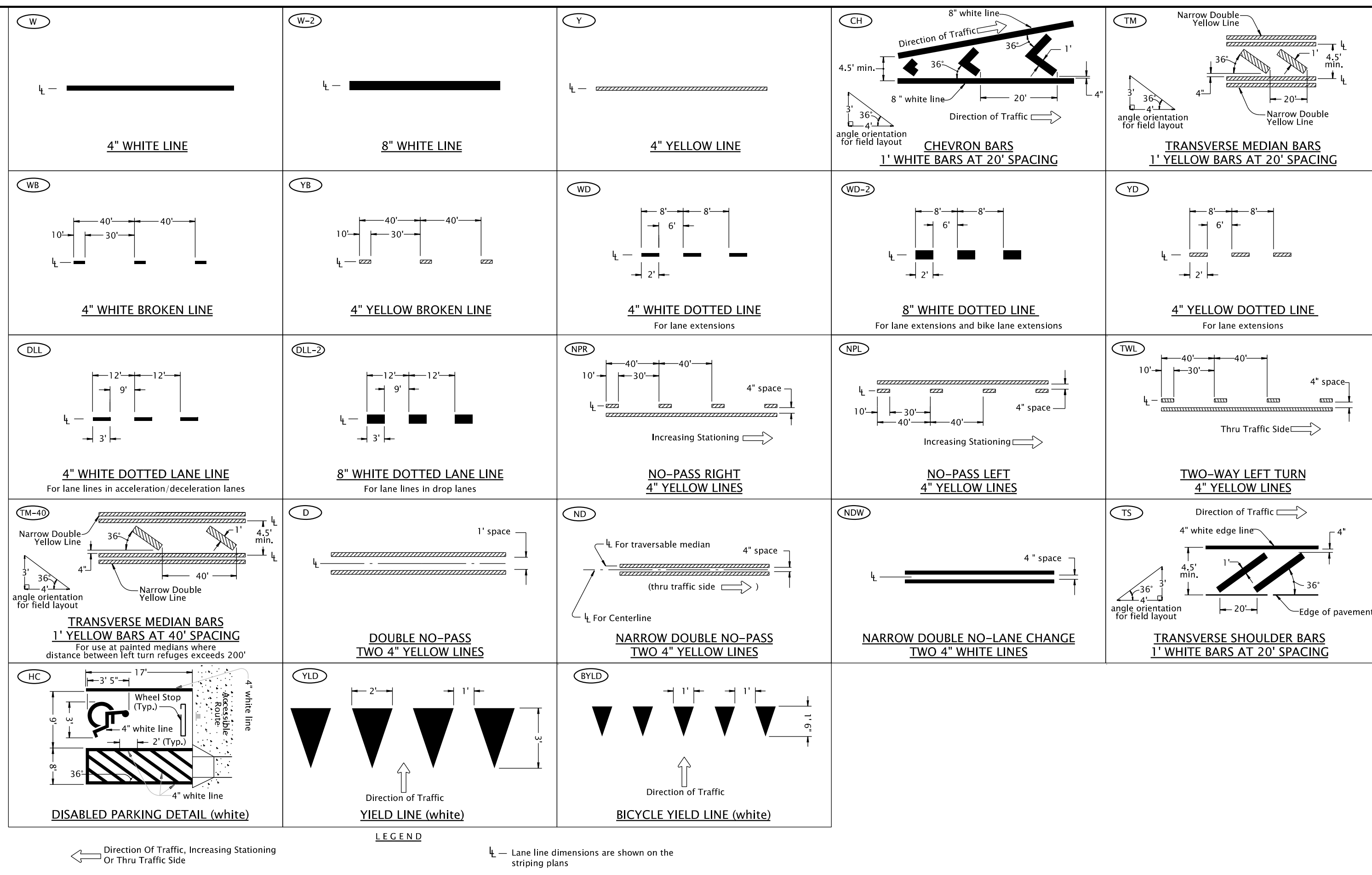
Kenneth M. Ackerman
Principal Engineer, PE No 19424
3/20/2025
Date



Pavement Rehabilitation Project
SE Cottrell Rd
From SE Bluff Rd To SE Lusted Rd
SE Lusted Rd
From SE Pleasant Home Rd To SE Altman Rd
ODOT Standard Drawings Sheet
RD610, RD615 & RD715

SAP Project No
W02229
1/4 Section
3765, 3766, 3765,
3763, 3762, 3665,
3663, 3662
Sheet No
7 of 19

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| Revision | | | |
| Survey | Unknown | Unknown | |

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| Designed By | Program Mgr |
| BJK | DMC |
| CAD Checked By | Const Mgr |
| GWE | TG |
| Checked By | Const Supr |
| JDB | JDT |
| Project Mgr | Date |
| KMA | |

REGISTERED PROFESSIONAL ENGINEER
Ken Ackerman
PE No. 3765
EXPIRES 12-31-2025



Kenneth M. Ackerman
Principal Engineer, PE No 19424
3/20/2025
Date



Pavement Rehabilitation Project
SE Cottrell Rd
From SE Bluff Rd To SE Lusted Rd
SE Lusted Rd
From SE Pleasant Home Rd To SE Altman Rd
ODOT Standard Details Sheet
TM500, TM503 & TM530

SAP Project No
W02229
1/4 Section
3965, 3865, 3765,
3763, 3762, 3665,
3663, 3662
Sheet No
8 of 19

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| Revision | | | |
| Survey | Unknown | Unknown | |

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| Designed By BJK | Program Mgr <i>DMC</i> |
| CAD Checked By <i>QWE</i> | Const Mgr TG |
| Checked By JDB | Const Supvr <i>JDT</i> |
| Project Mgr KMA | Date |



Kenneth M. Ackerman
Kenneth M. Ackerman, Principal Engineer, PE No 19424

3/20/2025
Date

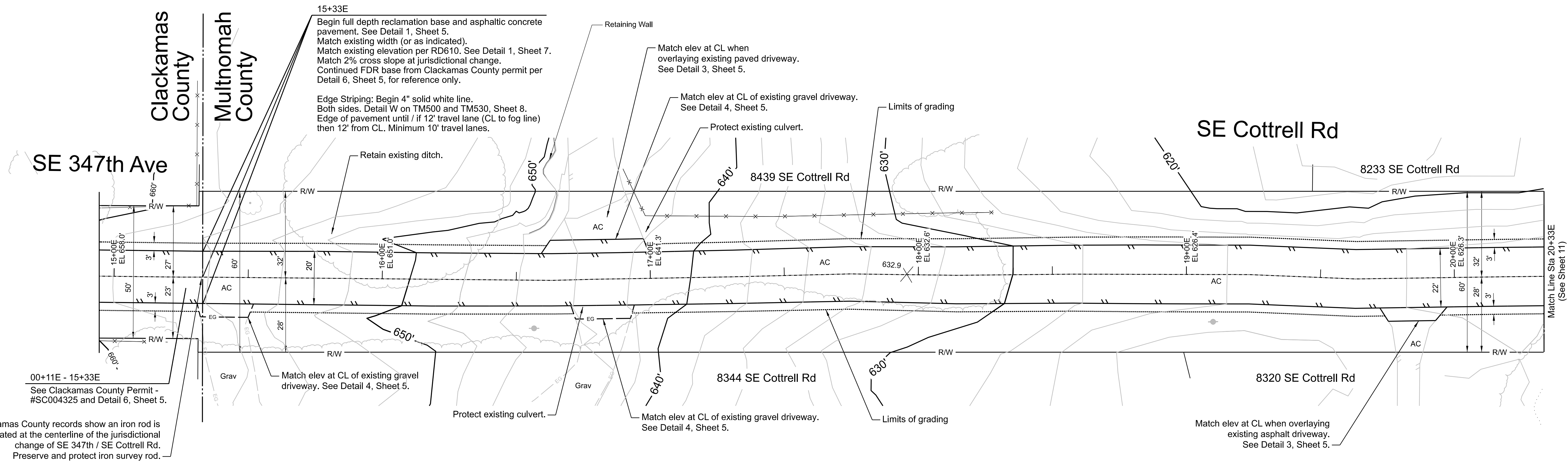


Pavement Rehabilitation Project
SE Cottrell Rd
From SE Bluff Rd To SE Lusted Rd
SE Lusted Rd
From SE Pleasant Home Rd To SE Altman Rd

Blank Sheet

SAP Project No
W02229
1/4 Section
3965, 3865, 3765,
3763, 3762, 3665,
3663, 3662
Sheet No
9 of **19**

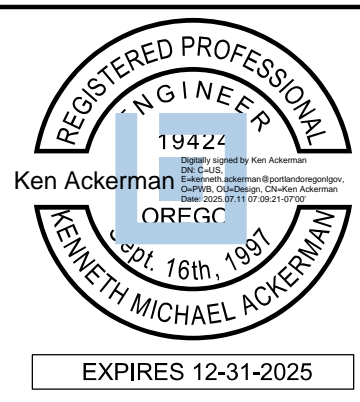
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Clackamas County records show an iron rod is located at the centerline of the jurisdictional change of SE 347th / SE Cottrell Rd. Preserve and protect iron survey rod.

| No | Date | Description | Appd |
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| Revision | | | |
| Survey | Unknown | Unknown | |

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| Designed By BJK | Program Mgr <i>DMC</i> |
| CAD Checked By <i>AAD</i> | Const Mgr BJN |
| Checked By JDB | Const Supr <i>JDJ</i> |
| Project Mgr KMA | Date |



Kenneth M. Ackerman 3/20/2025
Kenneth M. Ackerman, Principal Engineer, PE No 19424 Date



Pavement Rehabilitation
SE Cottrell Rd (South)
From SE Bluff Rd
To SE Carpenter Ln
Plan Sheet Sta 14+94E to Sta 20+33E

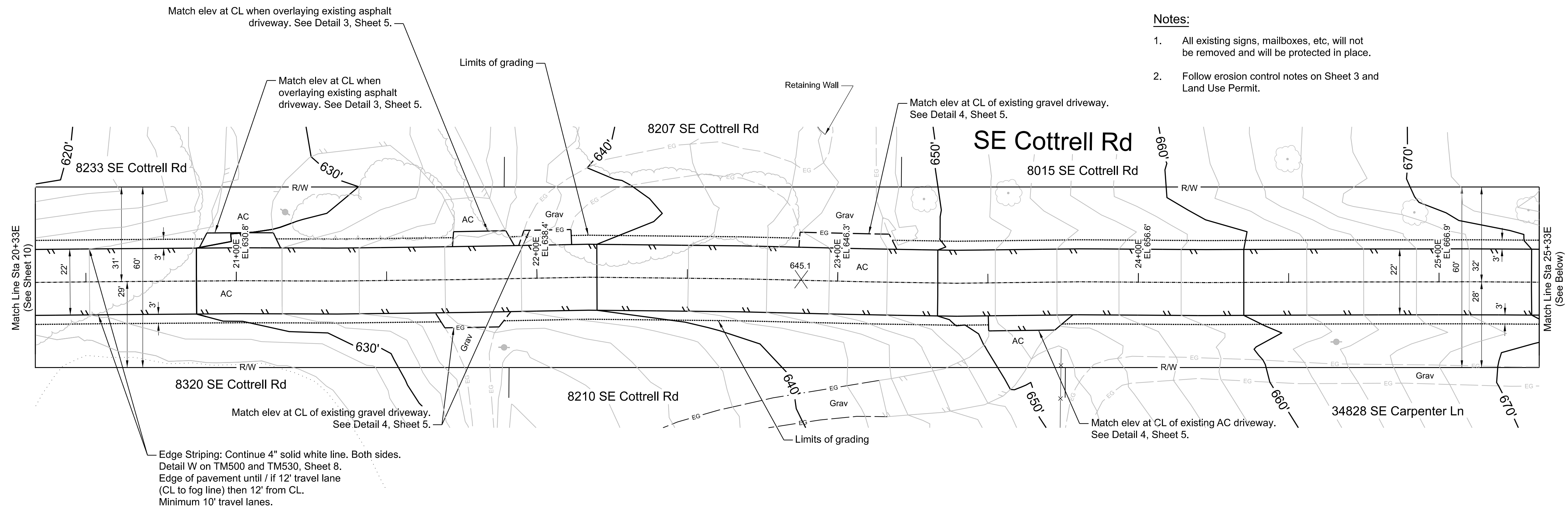
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scale in feet

SAP Project No
W02229

1/4 Section
3865
Sheet No

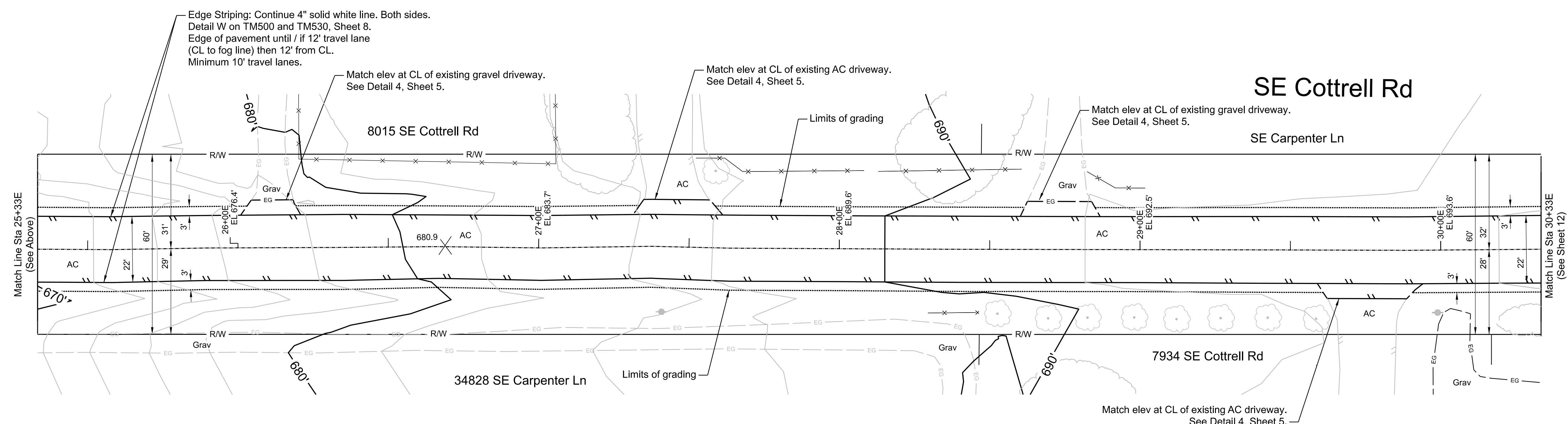
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Notes:

1. All existing signs, mailboxes, etc, will not be removed and will be protected in place.
2. Follow erosion control notes on Sheet 3 and Land Use Permit.



| No | Date | Description | Appd |
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| Revision | | | |
| Survey | Unknown | Unknown | |

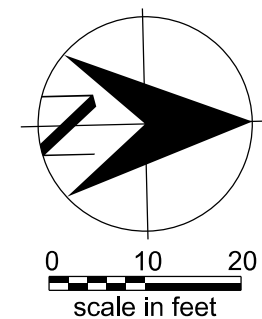
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| CAD Checked By <i>AAD</i> | Const Mgr BJN |
| Checked By JDB | Const Supr <i>JDJ</i> |
| Project Mgr KMA | Date |



Kenneth M. Ackerman
Kenneth M. Ackerman, Principal Engineer, PE No 19424
3/20/2025
Date

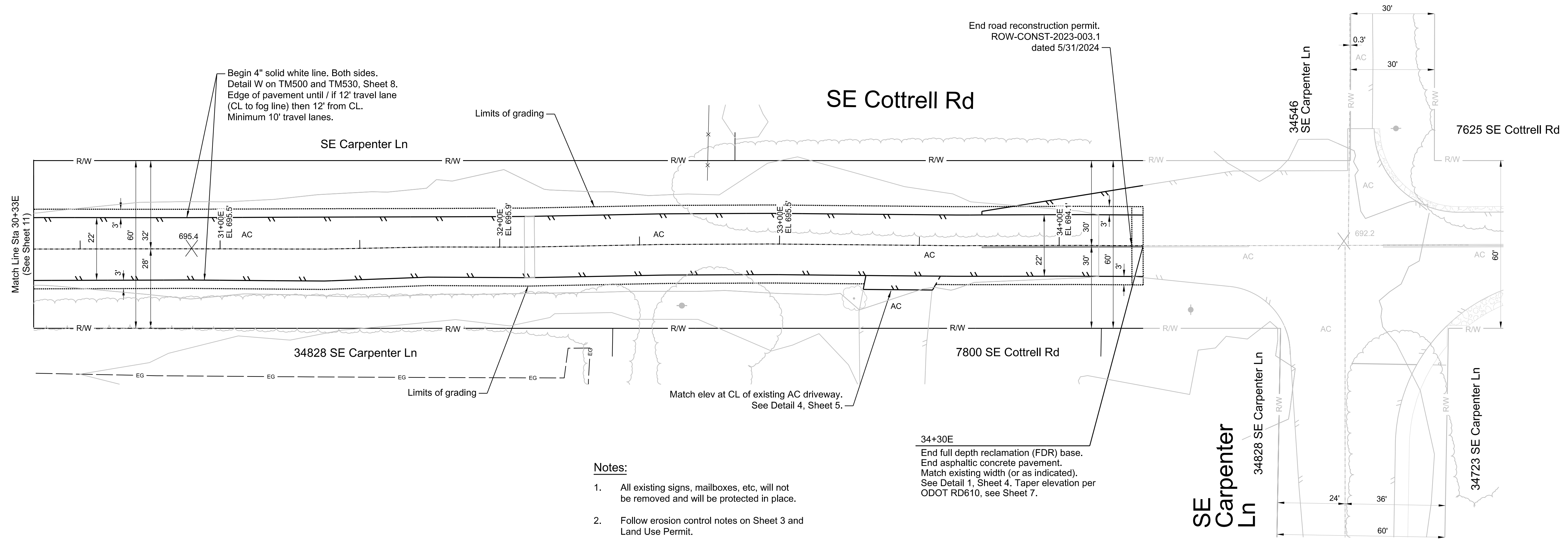


Pavement Rehabilitation
SE Cottrell Rd (South)
From SE Bluff Rd
To SE Carpenter Ln
Plan Sheet Sta 20+33E to Sta 30+33E



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| SAP Project No W02229 |
| 1/4 Section 3865 |
| Sheet No 11 of 19 |

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1. All existing signs, mailboxes, etc, will not be removed and will be protected in place.
2. Follow erosion control notes on Sheet 3 and Land Use Permit.

34+30E

End full depth reclamation (FDR) base.
 End asphaltic concrete pavement.
 Match existing width (or as indicated).
 See Detail 1, Sheet 4. Taper elevation per ODOT RD610, see Sheet 7.

| No | Date | Description | Appd |
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| Revision | | | |
| Survey | Unknown | Unknown | |

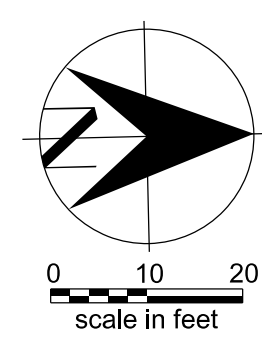
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| CAD Checked By <i>AAD</i> | Const Mgr BJN |
| Checked By JDB | Const Supr <i>JDJ</i> |
| Project Mgr KMA | Date |



Kenneth M. Ackerman 3/20/2025
 Kenneth M. Ackerman, Principal Engineer, PE No 19424 Date

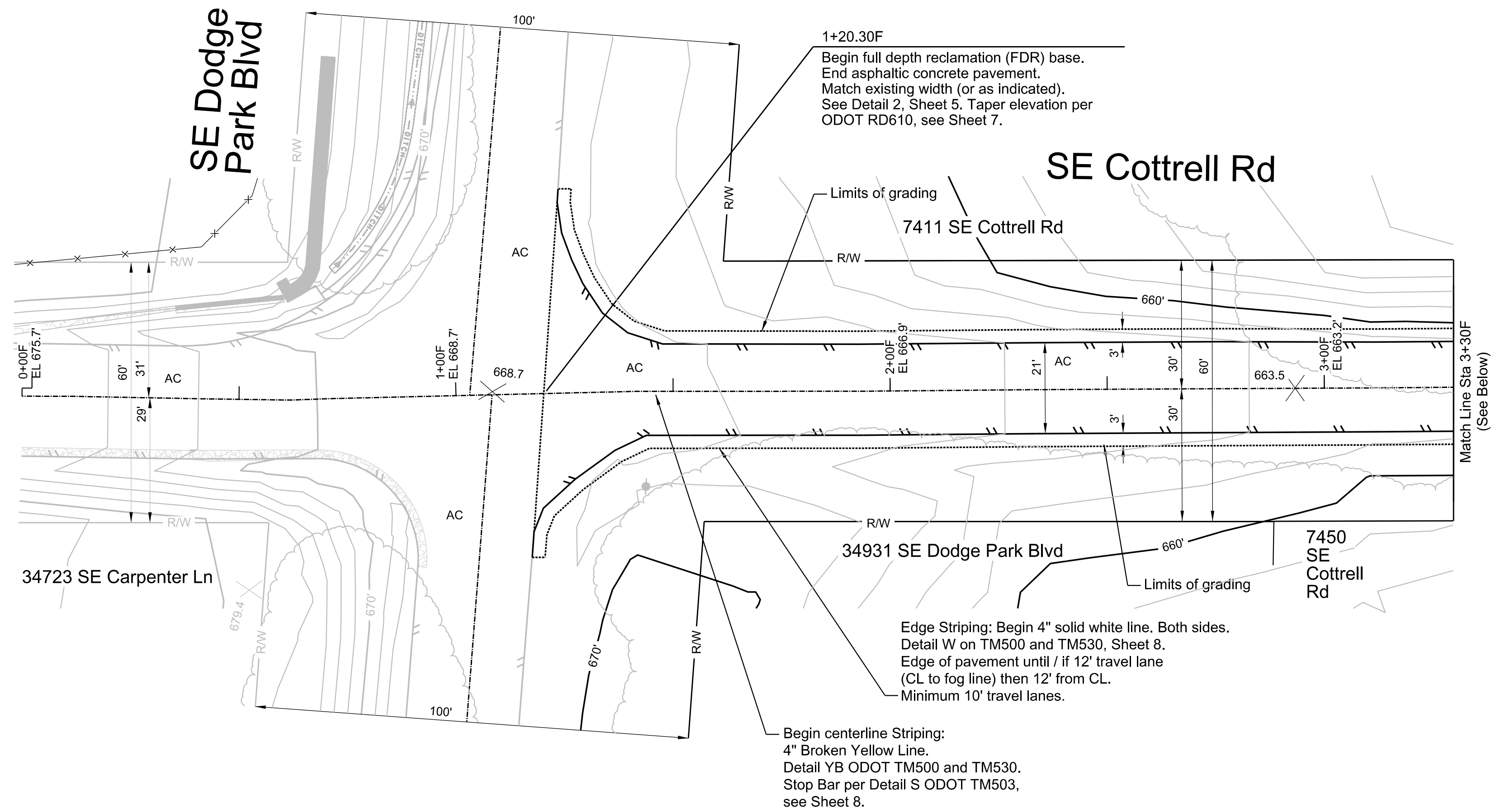


Pavement Rehabilitation
SE Cottrell Rd (South)
 From SE Bluff Rd
 To SE Carpenter Ln
 Plan Sheet Sta 30+33E to Sta 34+30E

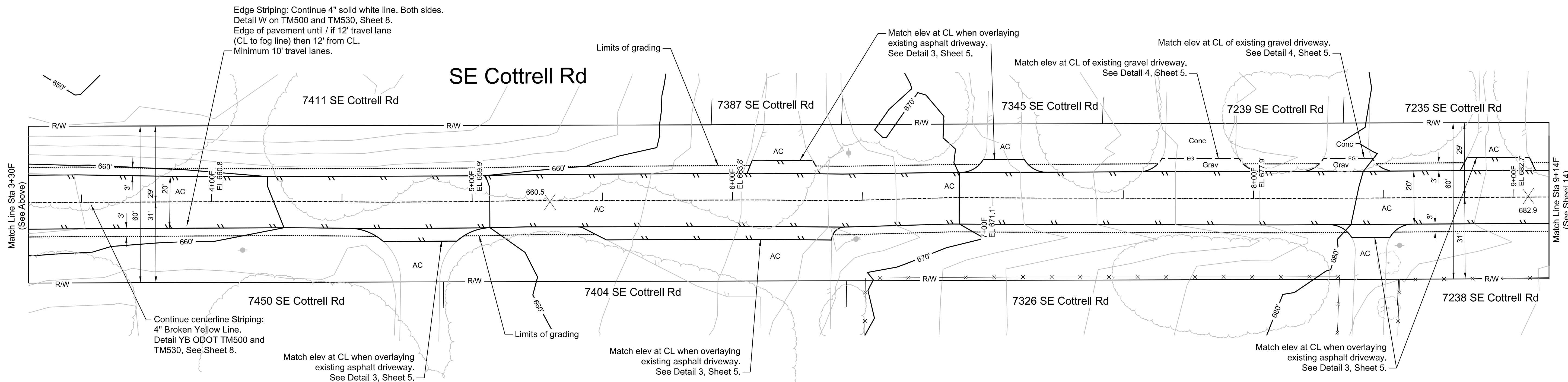


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| SAP Project No W02229 |
| 1/4 Section 3865 |
| Sheet No 12 of 19 |

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- Notes:**
1. All existing signs, mailboxes, etc, will not be removed and will be protected in place.
 2. Follow erosion control notes on Sheet 3 and Land Use Permit.



| No | Date | Description | Appd |
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| Survey | Unknown | Unknown | |

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| Designed By BJK | Program Mgr <i>DMC</i> |
| CAD Checked By <i>AAD</i> | Const Mgr BJN |
| Checked By JDB | Const Supr <i>JDJ</i> |
| Project Mgr KMA | Date |



Kenneth M. Ackerman
Kenneth M. Ackerman, Principal Engineer, PE No 19424
3/20/2025
Date

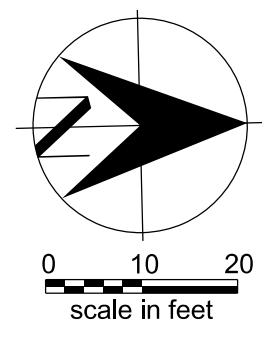
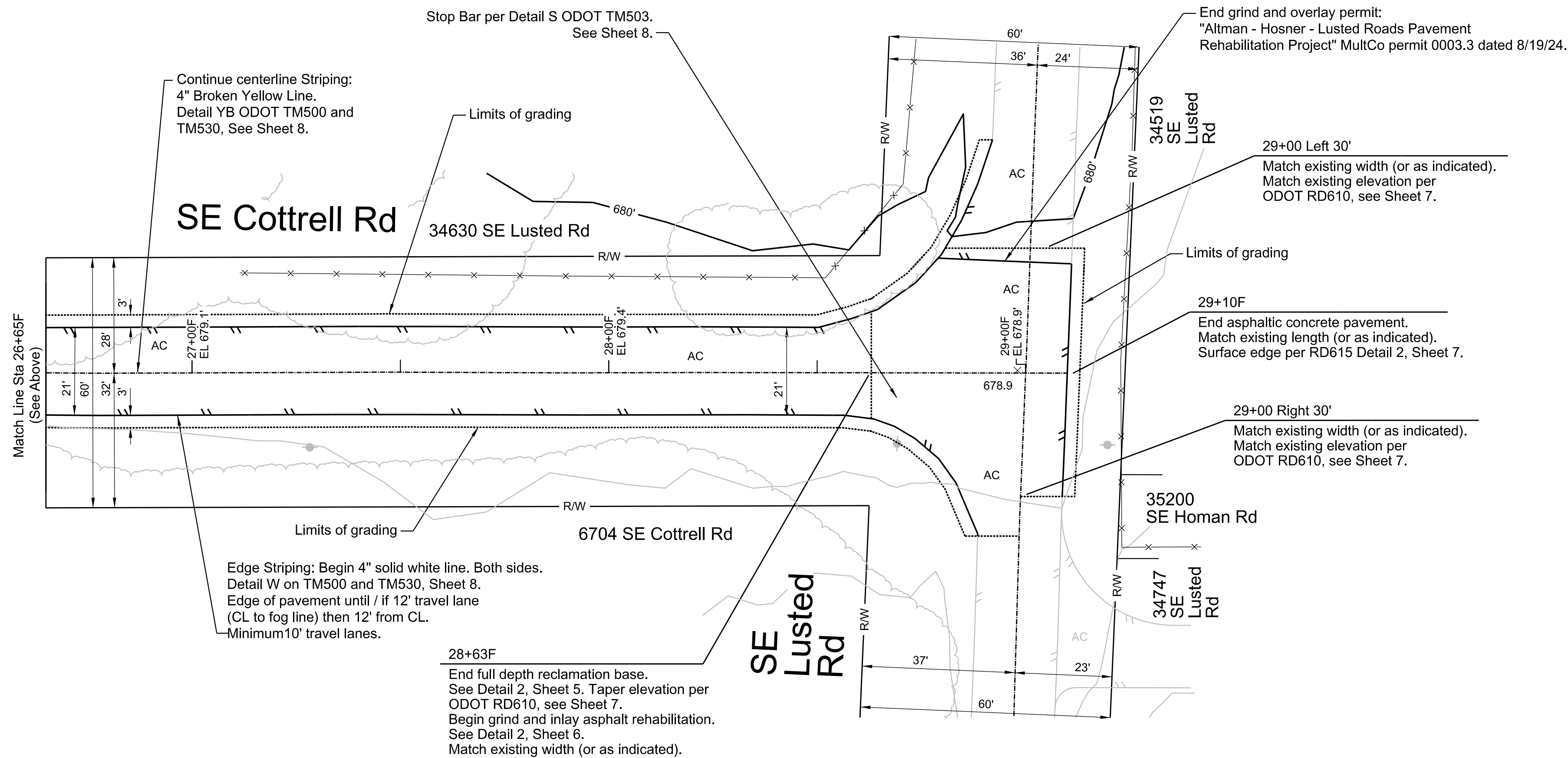
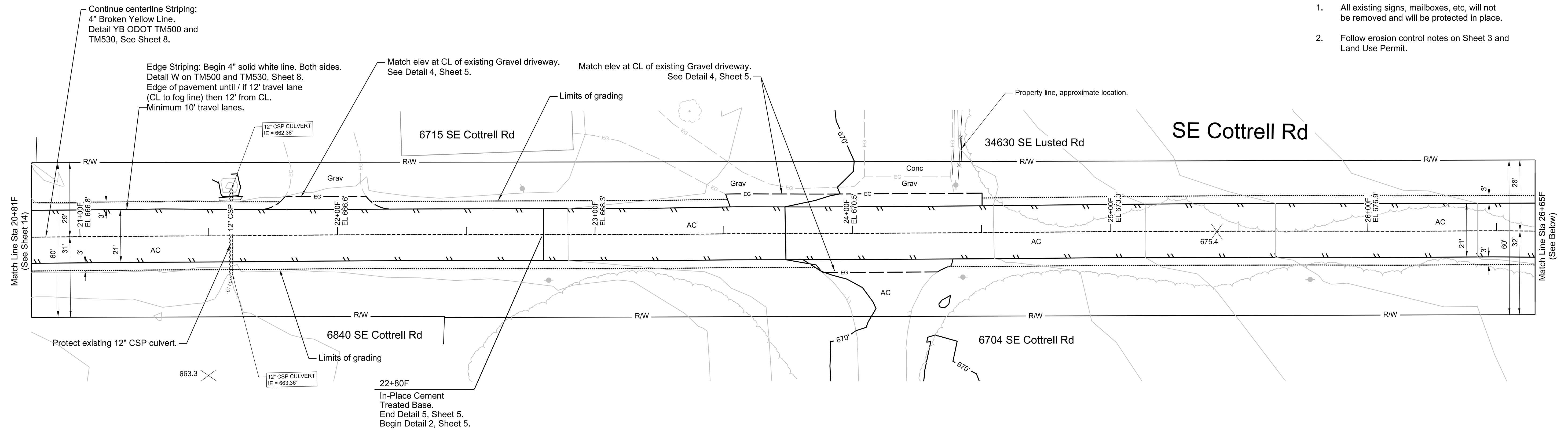


Pavement Rehabilitation
SE Cottrell Rd (North)
From SE Dodge Park Blvd
To SE Lusted Rd
Plan Sheet Sta 0+00F to Sta 9+14F

SAP Project No
W02229
1/4 Section
3865
Sheet No
13 of 19

Notes:

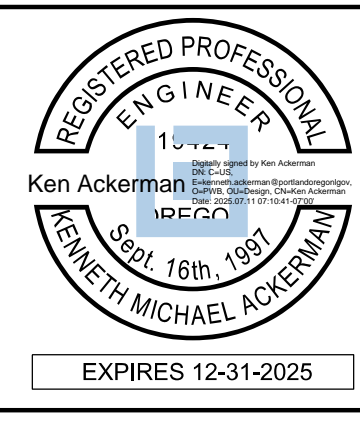
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2. Follow erosion control notes on Sheet 3 and Land Use Permit.



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| Revision | | | |
| Survey | Unknown | Unknown | |

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| Designed By BJK | Program Mgr <i>DMC</i> |
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| Checked By JDB | Const Supr <i>JDJ</i> |
| Project Mgr KMA | Date |



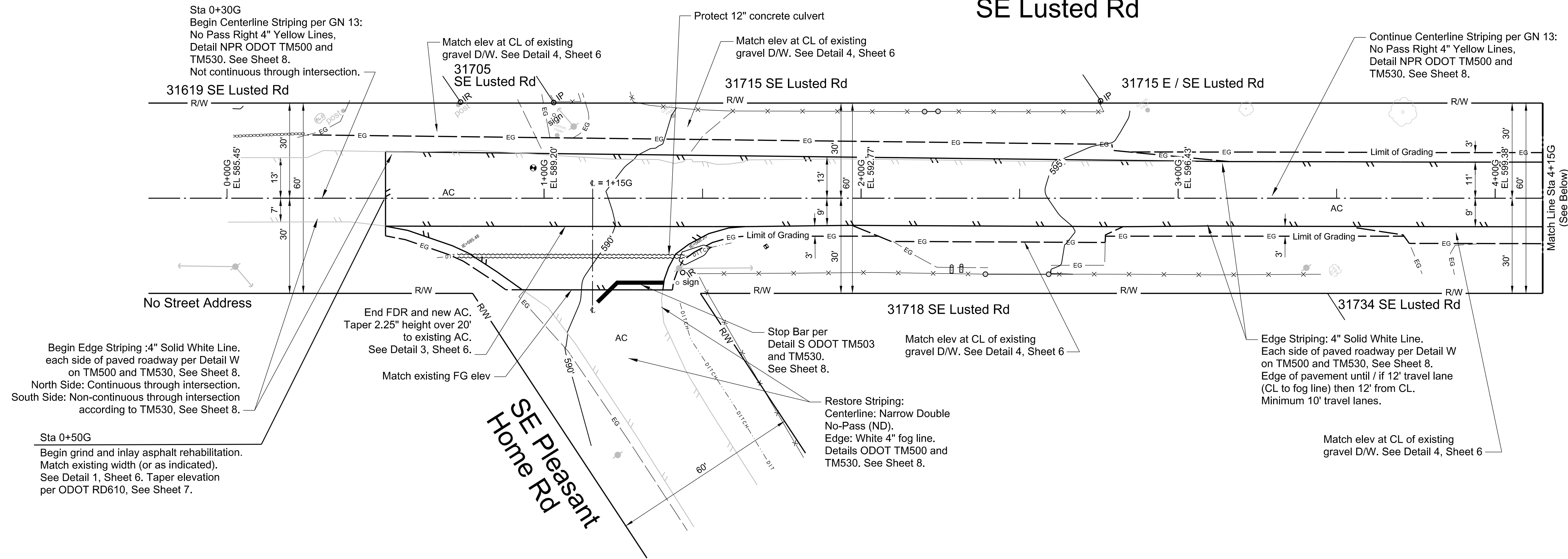
Kenneth M. Ackerman
Kenneth M. Ackerman, Principal Engineer, PE No 19424
3/20/2025
Date



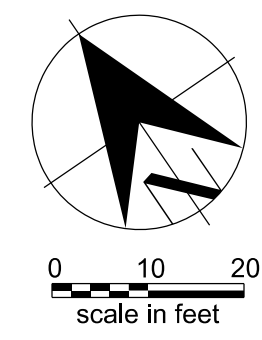
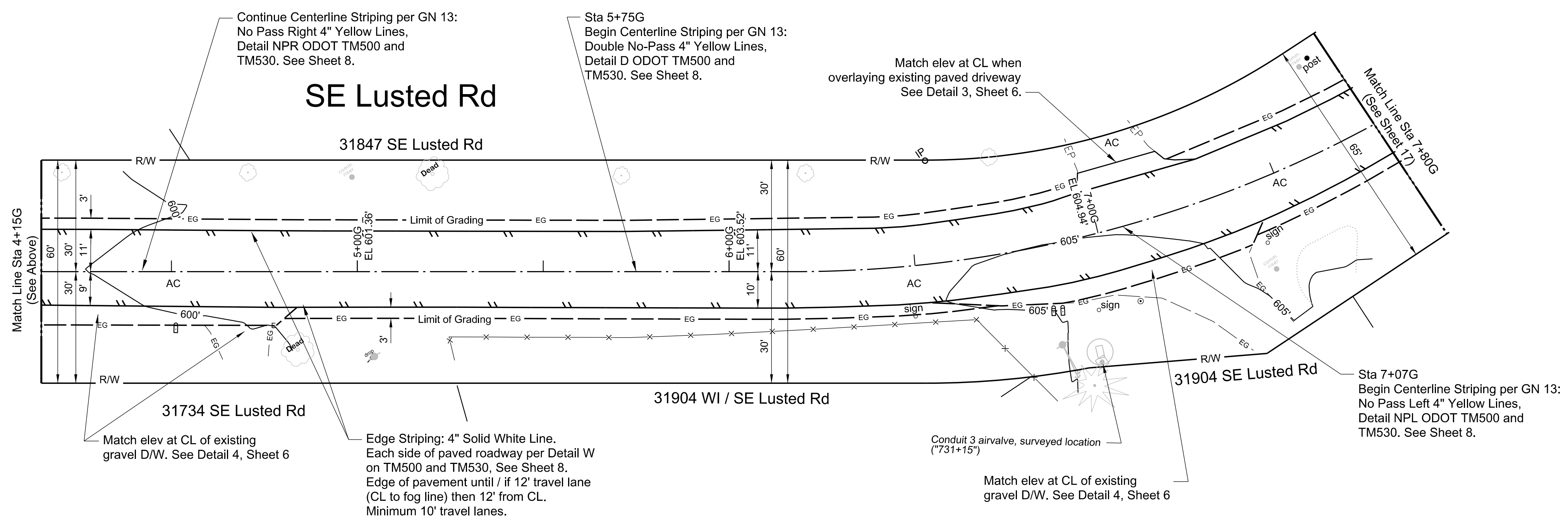
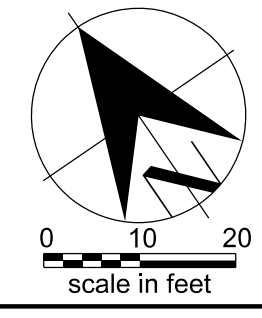
Pavement Rehabilitation
SE Cottrell Rd (North)
From SE Dodge Park Blvd
To SE Lusted Rd
Plan Sheet Sta 20+81F to Sta 29+10F

SAP Project No
W02229
1/4 Section
3865
Sheet No
15 of 19

SE Lusted Rd



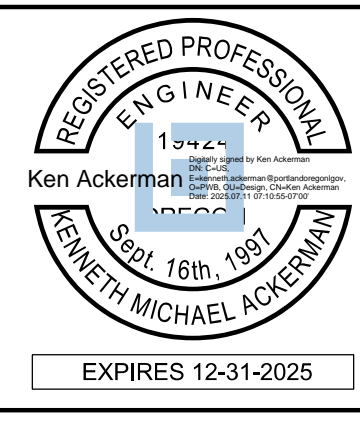
- Notes:**
- All existing signs, mailboxes, etc. will not be removed and will be protected in place.
 - Follow erosion control notes on Sheet 3 and Land Use Permit.
 - Protect PWB steel conduits according to PWB Engineering and Technical Standards Admin Rule Appendix H.



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| Survey | Mon / Yr | XXXX | |

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| Project Mgr KMA | Date |

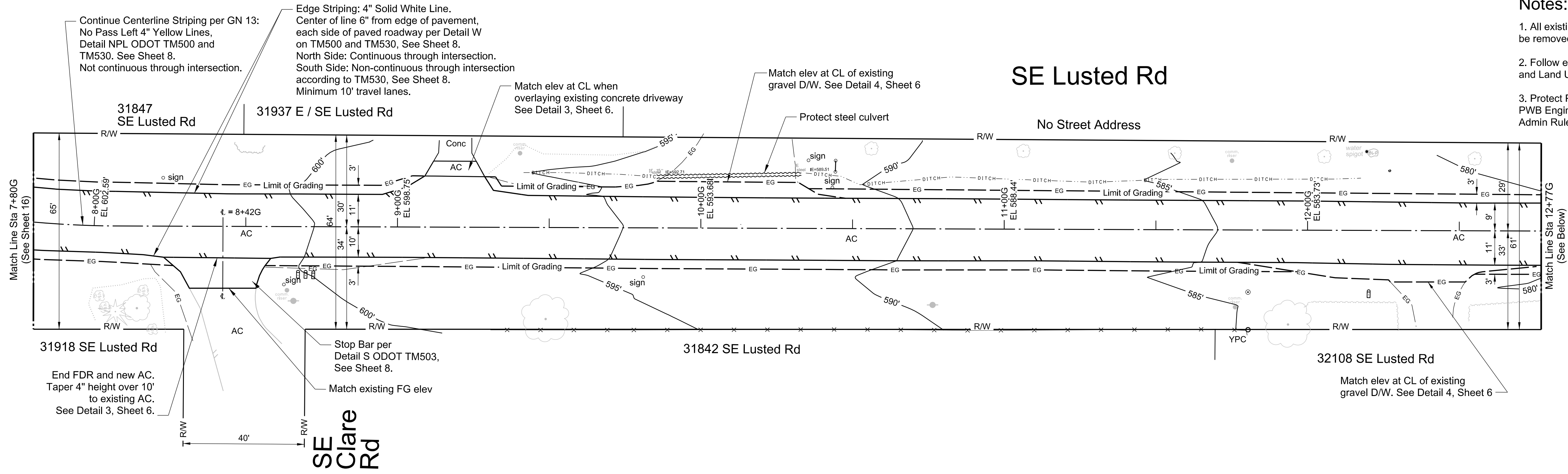


Kenneth M. Ackerman
 Kenneth M. Ackerman, Principal Engineer, PE No 19424
 3/20/2025
 Date

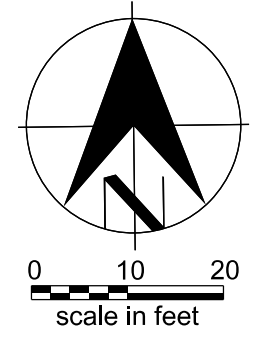
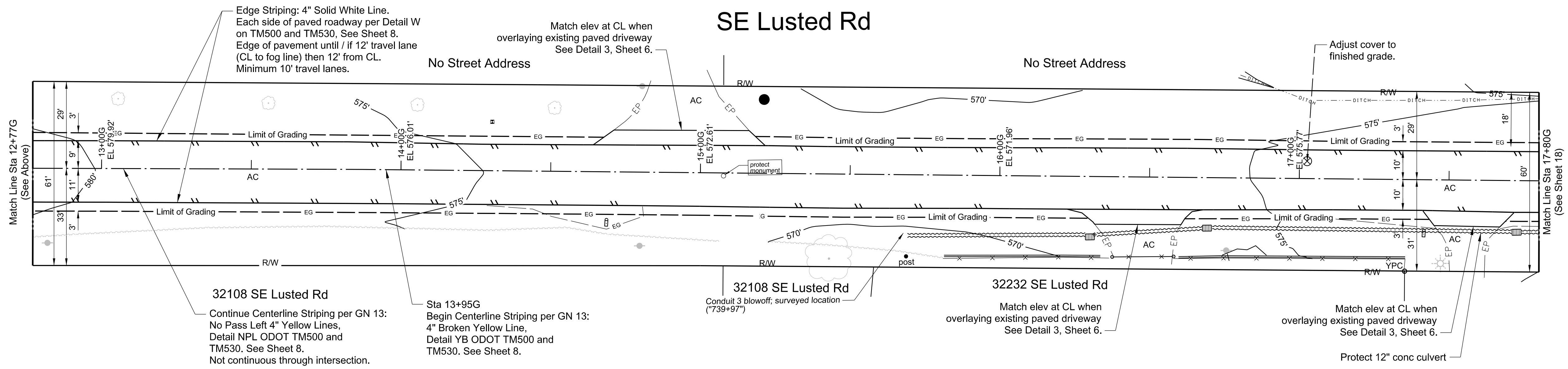
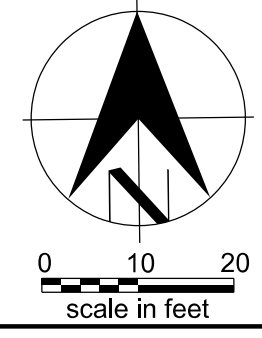


Pavement Rehabilitation Project
SE Lusted Rd
 From SE Pleasant Home Rd
 To SE Altman Rd
 Plan Sheet
 Sta 0+00G to Sta 7+80G

SAP Project No
W02229
 1/4 Section
 3662, 3762
 Sheet No
16 of 19



- Notes:**
1. All existing signs, mailboxes, etc. will not be removed and will be protected in place.
 2. Follow erosion control notes on Sheet 3 and Land Use Permit.
 3. Protect PWB steel conduits according to PWB Engineering and Technical Standards Admin Rule Appendix H.



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| Revision | | | |
| Survey | Mon / Yr | XXXX | |

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| Designed By BJK | Program Mgr DMC |
| CAD Checked By GWE | Const Mgr TG |
| Checked By JDB | Const Supr JDT |
| Project Mgr KMA | Date |



Kenneth M. Ackerman
Kenneth M. Ackerman, Principal Engineer, PE No 19424
Date: 3/20/2025

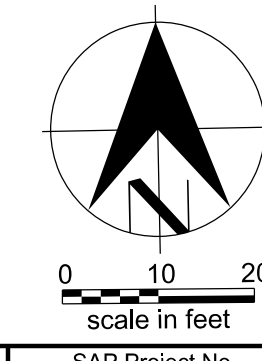
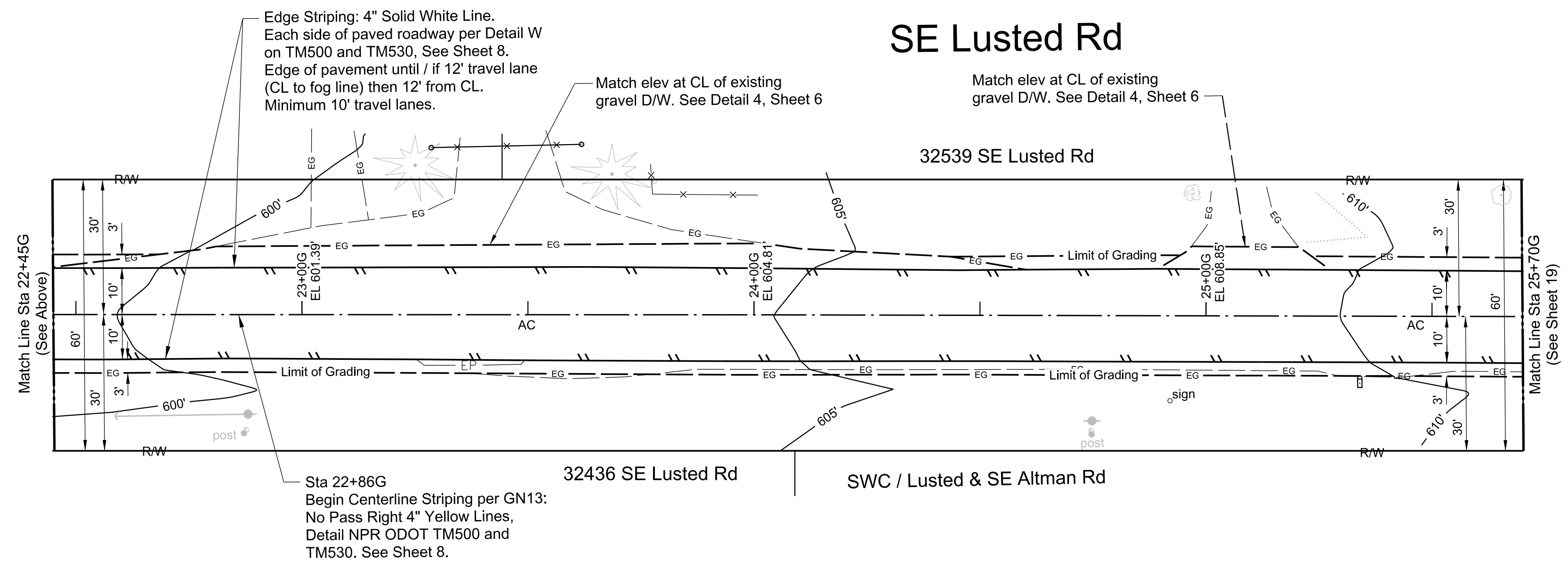
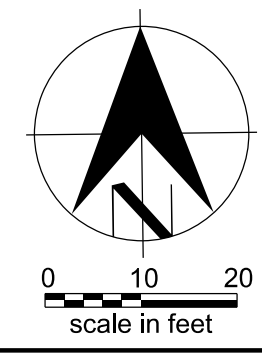
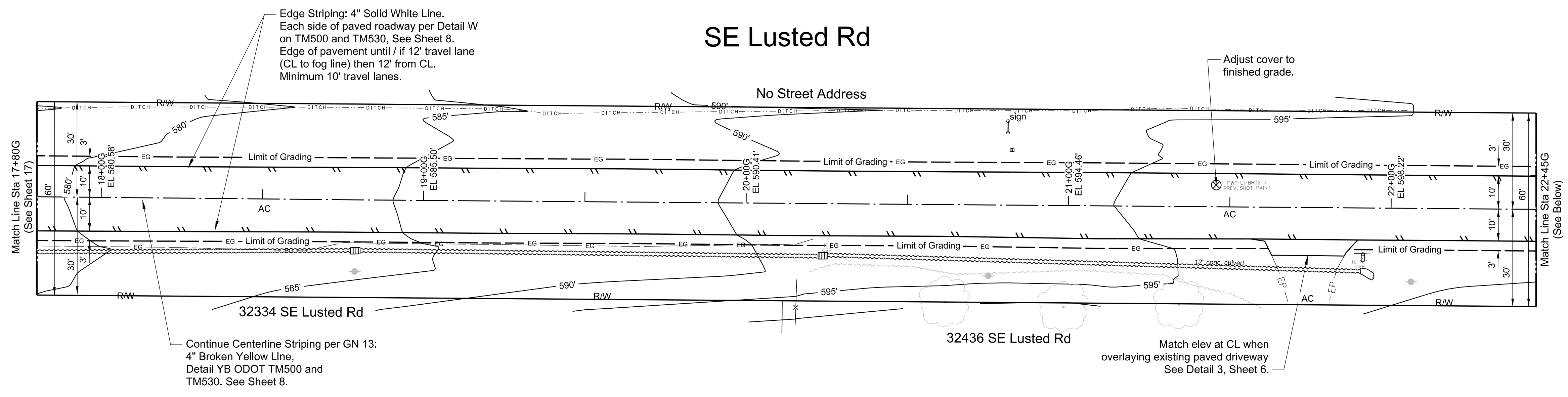


Pavement Rehabilitation Project
SE Lusted Rd
From SE Pleasant Home Rd
To SE Altman Rd
Plan Sheet
Sta 7+80G to Sta 17+80G

SAP Project No
W02229
1/4 Section
3662, 3663
3762, 3763
Sheet No
17 of 19

Notes:

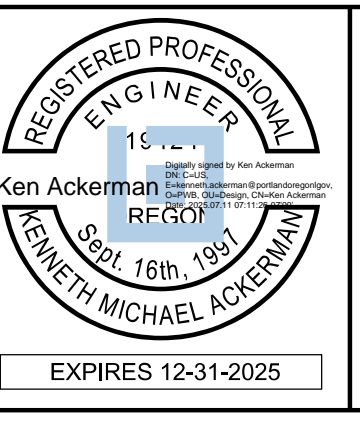
1. All existing signs, mailboxes, etc. will not be removed and will be protected in place.
2. Follow erosion control notes on Sheet 3 and Land Use Permit.
3. Protect PWB steel conduits according to PWB Engineering and Technical Standards Admin Rule Appendix H.



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| No | Date | Description | Appd |
|----------|----------|-------------|------|
| Revision | | | |
| Survey | Mon / Yr | XXXX | |

| | |
|------------------------------|---------------------------|
| Designed By BJK | Program Mgr <i>DMC</i> |
| CAD Checked By <i>GWE</i> | Const Mgr TG |
| Checked By JDB | Const Supr <i>JDT</i> |
| Project Mgr KMA | Date |



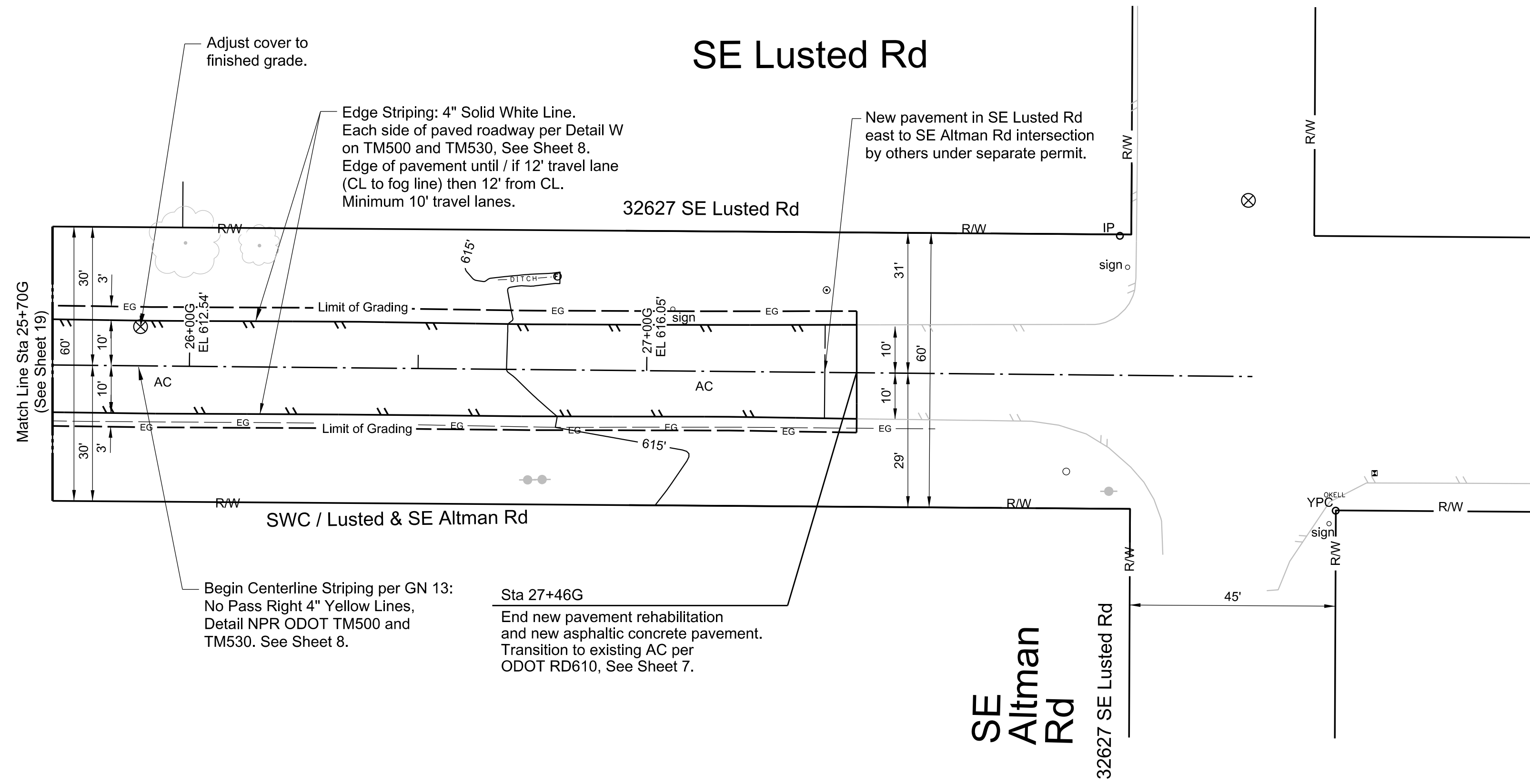
Kenneth M. Ackerman 3/20/2025
Kenneth M. Ackerman, Principal Engineer, PE No 19424 Date



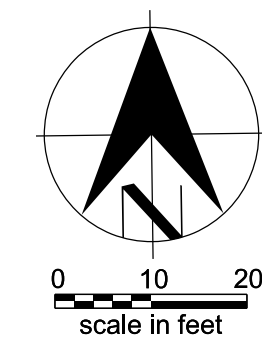
Pavement Rehabilitation Project
SE Lusted Rd
From SE Pleasant Home Rd
To SE Altman Rd
Plan Sheet
Sta 17+80G to Sta 25+70G

SAP Project No
W02229
1/4 Section
3663, 3763
Sheet No
18 of 19

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- Notes:**
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| Project Mgr KMA | Date |



Kenneth M. Ackerman
 Kenneth M. Ackerman, Principal Engineer, PE No 19424
 3/20/2025
 Date



Pavement Rehabilitation Project
SE Lusted Rd
 From SE Pleasant Home Rd
 To SE Altman Rd
 Plan Sheet
 Sta 25+70G to Sta 28+00G

SAP Project No
W02229
 1/4 Section
 3662, 3763
 Sheet No
19 of 19