

NOTICE OF DECISION



www.multco.us/landuse ▪ Email: land.use.planning@multco.us ▪ Phone: (503) 988-3043

Application for Significant Environmental Concern for Scenic View (SEC-v) and Significant Environmental Concern for Wildlife Habitat (SEC-h)

Case File: T2-2024-0079

Applicant: Shawn McFaul

Proposal: Request for Significant Environmental Concern for Scenic View (SEC-v) and Significant Environmental Concern for Wildlife Habitat (SEC-h) permits for a new single-family dwelling, accessory structures [septic system (tank, piping, and drainfield), deck, hot tub, propane tank, generator, ac unit, stormwater drainage control system, and retaining wall] and private driveway. The request also includes an exemption request for a Geologic Hazards (GH) permit.

Location: No situs address along NW McNamee Road

Property ID # R215989

Map, Tax lot: 2N1W19D -00500

Alt. Acct. # R553601300

Base Zone: Rural Residential (RR)

Overlays: Geologic Hazards (GH)
Significant Environmental Concern for Scenic View (SEC-v)
Significant Environmental Concern for Wildlife Habitat (SEC-h)

Decision: Approved with Conditions

This decision is final at the close of the appeal period, unless appealed. The deadline for filing an appeal is Friday, March 28, 2025 at 4:00 pm.

Issued by:

A handwritten signature in black ink, appearing to read "Rithy Khut", written over a horizontal line.

Digitally signed by Rithy Khut
DN: cn=Rithy Khut, o=Multnomah
County, ou=Land Use Planning
Division,
email=rithy.khut@multco.us, c=US

Rithy Khut, Senior Planner

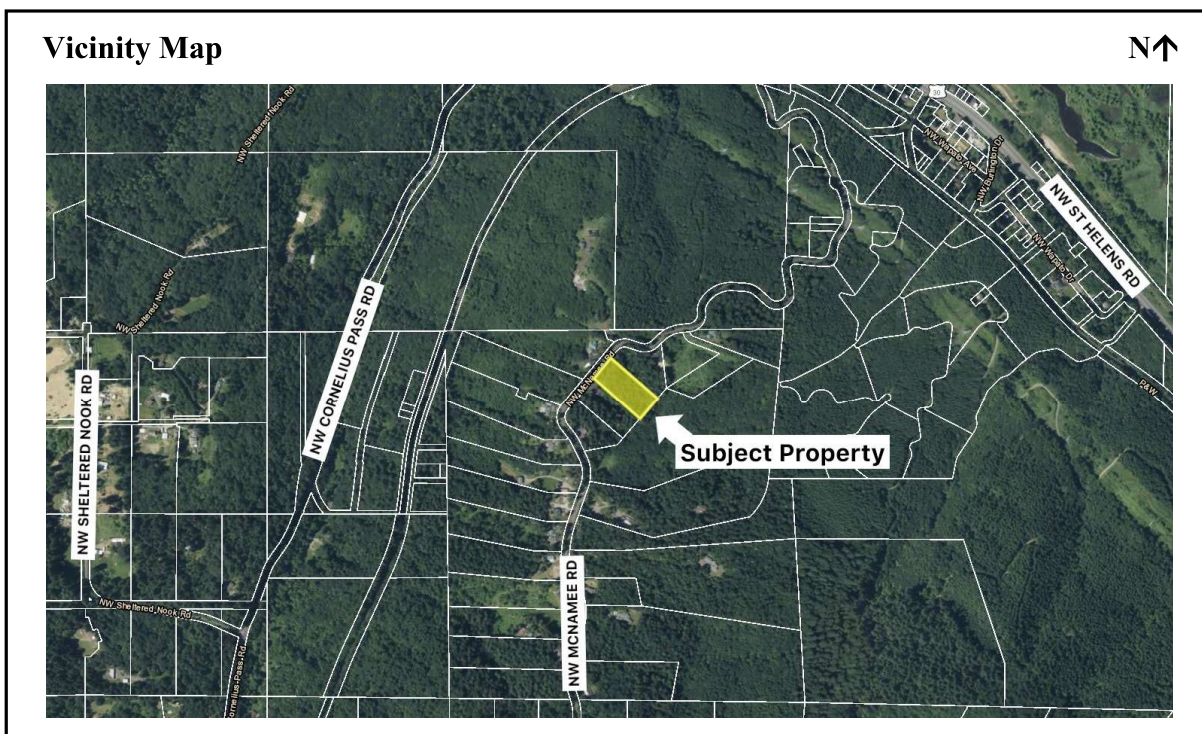
For: Megan Gibb,
Planning Director

Date: Friday, March 14, 2025

Instrument Number for Recording
Purposes: # 2023-000692

Opportunity to Review the Record: The complete case file and all evidence associated with this application is available for review by contacting LUP-comments@multco.us. Paper copies of all documents are available at the rate of \$0.46/page.

Opportunity to Appeal: The appeal form is available at www.multco.us/landuse/application-materials-and-forms. Email the completed appeal form to LUP-submittals@multco.us. An appeal requires a \$250.00 fee and must state the specific legal grounds on which it is based. This decision is not appealable to the Land Use Board of Appeals until all local appeals are exhausted.



Applicable Approval Criteria:

Multnomah County Code (MCC): General Provisions: MCC 39.1250 Code Compliance and Applications, MCC 39.2000 Definitions, MCC 39.6850 Dark Sky Lighting Standards

Lot of Record: MCC 39.3005 Lot of Record - Generally, MCC 39.3090 Lot of Record - Rural Residential (RR)

Rural Residential (RR): MCC 39.4360(A) Allowed Uses - Residential use consisting of a single family dwelling on a Lot of Record..., MCC 39.4360(F) Allowed Uses – Accessory Structures..., MCC 39.4375(C), (D), and (F)–(H) Dimensional Standards and Development Standards

Geologic Hazards (GH): MCC 39.5080 Exemptions

Significant Environmental Concern Overlays (SEC): MCC 39.5510 Uses; SEC Permit Required, MCC 39.5580 Nuisance Plant List, MCC 39.5650 Criteria for Approval of SEC-v Permit – Significant Scenic Views, MCC 39.5860 Criteria for Approval of SEC-h Permit – Wildlife Habitat

Copies of the referenced Multnomah County Code sections are available by visiting <https://www.multco.us/landuse/zoning-codes> under the link **Chapter 39: Multnomah County Zoning Code** or by contacting our office at (503) 988-3043.

Conditions of Approval:

The conditions listed are necessary to ensure that approval criteria for this land use permit are satisfied. Where a condition relates to a specific approval criterion, the code citation for that criterion follows in parenthesis.

1. **Permit Expiration** – This land use permit shall expire as follows:
 - a. Within two (2) years of the date of the final decision when construction has not commenced. [MCC 39.1185(B)]
 - i. For the purposes of 1.a, commencement of construction shall mean actual construction of the foundation or frame of the approved structure.
 - ii. For purposes of 1.a, notification of commencement of construction shall be given to Multnomah County Land Use Planning Division a minimum of seven (7) days prior to the date of commencement. Notification shall be sent via email to LUP-submittals@multco.us with the case no. T2-2024-0079 referenced in the subject line.
 - b. Within four (4) years of the date of commencement of construction when the structure has not been completed. [MCC 39.1185(B)]
 - i. For the purposes of 1.b, completion of the structure shall mean completion of the exterior surface(s) of the structure and compliance with all conditions of approval in the land use approval.
 - ii. For purposes of 1.b, the property owner shall provide building permit status in support of completion of exterior surfaces of the structure and demonstrate compliance with all conditions of approval. The written notification and documentation of compliance with the conditions shall be sent to LUP-submittals@multco.us with the case no. T2-2024-0079 referenced in the subject line. [MCC 39.1185]

Note: The property owner may request to extend the timeframe within which this permit is valid, as provided under MCC 39.1195, as applicable. The request for a permit extension must be submitted prior to the expiration of the approval period.

2. Approval of this land use permit is based on the submitted written narrative(s) and plan(s). No work shall occur under this permit other than that which is specified within these documents. It shall be the responsibility of the property owner(s) to comply with these documents and the limitations of approval described herein. [MCC 39.1170(B)]
3. **Prior to submitting Building Plans for Zoning Review**, the property owner(s) or their representatives shall:
 - a. Acknowledge in writing that they have read and understand the conditions of approval and intend to comply with them. A Letter of Acknowledgement has been provided to assist you. The signed document shall be submitted and uploaded when submitting Building Plans for Zoning Review and Review of Conditions of Approval. [MCC 39.1170(A) & (B)]
 - b. Record pages 1 through 5, Exhibit A.3, and Exhibit B.9 of this Notice of Decision with the County Recorder. The Notice of Decision shall run with the land. Proof of recording shall be made prior to the issuance of any permits and shall be filed with the Land Use Planning Division. Recording shall be at the applicant's expense. [MCC 39.1175]

- c. Record a covenant with the County Recorder that states they recognize and accept that as part of proposed development, the property owners have included facilities in the dwelling that could potentially accommodate the use of the building as a two-family residence. The use of the property as a duplex or residence for two families is not permitted by the Multnomah County Land Use (Zoning) Code. [MCC 39.4360(A)]
 - d. Record a covenant with the County Recorder that states they recognize and accept that farm activities including tilling, spraying, harvesting, and farm management activities during irregular times can occur on adjacent property and in the general area. [MCC 39.4375(G)]
4. **When submitting Building Plans for Zoning Review**, the property owner(s) or their representatives shall:
- a. Provide a Letter of Acknowledgement, recorded Notice of Decision, and covenants, and other documents as required in Condition 3.a through 3.h. [MCC 39.1170(A) & (B)]
 - a. Demonstrate compliance with the County’s Ground Disturbance regulations by obtaining either a Minimal Impact Project (MIP) permit or an Erosion and Sediment Control (ESC) permit. [MCC 39.5850(B) and MCC 39.5860(C)(3)]
 - b. Provide technical specifications of the glass used in the windows. The glass within the windows shall utilize glass that has less than 11% exterior visible light reflectivity rating. [MCC 39.5650(C)(2) and (E)]
 - c. Submit a final Lighting Plan including cut sheets and specifications showing the exterior lighting of all buildings on the subject property. All existing exterior lighting and any new exterior lighting shall be replaced or modified to be a fixture type that is fully shielded with opaque materials and directed downwards. [MCC 39.4375(H), MCC 39.5650(C)(3), and MCC 39.6850]
 - i. “Fully shielded” means no light is emitted above the horizontal plane located at the lowest point of the fixture’s shielding.
 - ii. Shielding must be permanently attached.
5. **Prior to construction**, the property owner(s) or their representatives shall:
- a. Flag, fence, or otherwise mark all work areas to reduce potential damage to habitat outside of the work area. The work area shall remain marked through all phases of development [MCC 39.5860(C)(3)]
6. **During construction**, the property owner(s) or their representatives shall:
- a. Not use trees as anchors for stabilizing construction equipment. [MCC 39.5860(C)(3)]
 - b. Construct the storm water drainage control system described in Exhibit A.5 through A.7 and shown in Exhibit A.3. [MCC 39.4375(F)]
 - c. Install the exterior lighting in compliance with Condition 4.c and the Dark Sky Lighting requirements of MCC 39.6850. [MCC 39.4375(G), MCC 39.5650(C)(3), and MCC 39.6850]
 - d. Install the AC unit, generator, and propane tank so that the exterior of each of the structures is a dark natural color or an earthtone color. Alternatively, the AC unit, generator, and propane tank can be painted a dark natural color or an earthtone color. Acceptable colors shall match the colors within *Building in the Scenic Area: Scenic Implementation Resources Handbook*. [MCC 39.5650(C)(2) and (E)]

7. **As an on-going condition**, the property owner(s) shall:

- a. Not alter the interior of the dwelling within the area labeled as “workshop” or “family room” as shown in Exhibit A.3 to have sinks greater than two square feet. Within 25 feet of each sink the following is not permitted: Gas connections, 220-volt hookups, a dishwasher, or a refrigerator larger than 5 cubic feet in size. [MCC 39.4360(A)]
- b. Maintain the stormwater drainage control system for the life of the dwelling in compliance with Exhibits A.5 through A.7 as shown in Exhibit A.3. [MCC 39.4375(F)]
- c. Be responsible for the proper maintenance and survival of trees east of the single-family dwelling as shown in Exhibit B.9 to ensure the density of tree cover is maintained. If a tree is removed due to death, disease, or safety purposes (i.e. to prevent or mitigate significant loss or damage to life, health, property, or essential public services), the tree shall be replaced at a ratio of 2:1 with native coniferous trees suitable for winter screening. The tree plant size, spacing, and diversity shall meet the requirements of MCC 39.5860(C)(5)(j)-(l). [MCC 39.5650(C)(1), MCC 39.5650(C)(4), and MCC 39.5650(E)]
- d. Maintain the cleared areas of the property so those areas free of nuisance plants listed in Table 1. The planting of any invasive non-native or noxious vegetation as listed in MCC 39.5580 Table 1, in the latest edition of the Metro Nuisance Plant List and the Prohibited Plant List, or in the latest edition of the State of Oregon Noxious Weed List is prohibited. [MCC 39.5850(C) and MCC 39.5860(C)(3)]

Note: Land Use Planning must sign off on the building plans before you can go to the Building Department. When ready to submit Building Plans for Zoning Review, complete the following steps:

1. Read your land use decision, the conditions of approval and modify your plans, if necessary, to meet any condition that states, “Prior to submitting Building Plans for Zoning Review...” Be ready to demonstrate compliance with the conditions.
2. You will need to provide a copy of your Transportation Planning Review (TPR) sign-off with your building plans. If you have not yet received sign-off, visit the following webpage for instructions on how to request a review of your plans: <https://www.multco.us/planreview>. Failure to obtain TPR sign-off of your plans will result in delaying your zoning review.
3. Contact the City of Portland, Bureau of Development Services, On-site Sanitation at 503-823-6892 or e-mail septic@portlandoregon.gov for information on completing the Septic Permit or Evaluation process for the proposed development. All existing and/or proposed septic system components (including septic tank and drainfield) must be accurately shown on the site plan.
4. Visit <https://www.multco.us/landuse/submitting-building-plan> for instructions regarding the submission of your building plans for zoning review and review of conditions of approval. Please ensure that any items required under, “When submitting Building Plans for Zoning Review...” are ready for review. Land Use Planning collects additional fees at the time of zoning review.

Once you have obtained an approved zoning review, application for building permits may be made with the City of Portland.

Notice to Mortgagee, Lien Holder, Vendor, or Seller:

ORS Chapter 215 requires that if you receive this notice it must be promptly forwarded to the purchaser.

Findings of Fact

FINDINGS: Written findings are contained herein. The Multnomah County Code (MCC) criteria and Comprehensive Plan Policies are in **bold** font. Staff analysis and comments are identified as ‘**Staff:**’ and address the applicable criteria. Staff comments may include a conclusionary statement in *italic*.

1.0 Project Description:

Staff: The applicant requests Significant Environmental Concern for Scenic View (SEC-v) and Significant Environmental Concern for Wildlife Habitat (SEC-h) permits for a new single-family dwelling, accessory structures [septic system (tank, piping, and drainfield), deck, hot tub, propane tank, generator, ac unit, stormwater drainage control system, and retaining wall] and private driveway. The request also includes an exemption request for a Geologic Hazards (GH) permit.

2.0 Property Description & History:

Staff: This application is for the property identified as 2N1W19D -00500 (“subject property”). The subject property is located on the south side of NW McNamee Road in unincorporated west Multnomah County outside of Metro’s Urban Growth Boundary (UGB). The subject property is zoned Rural Residential (RR) and has three (3) overlays, Geologic Hazards (GH), Significant Environmental Concern for Scenic Views (SEC-v), and Significant Environmental Concern for Wildlife Habitat (SEC-h).

The property is vacant and approximately 2.00 acres according to the County Assessor. The most recent aerial photo from shows the property is heavily forested (Exhibit B.3). There are no previous land use/building permit associated with the subject property.

3.0 Public Comment:

Staff: Staff mailed a notice of application and invitation to comment on the proposed application to the required parties pursuant to MCC 39.1105 (Exhibit C.4). Staff did not receive public comments during the 14-day comment period.

4.0 Code Compliance and Applications Criteria:

4.1 MCC 39.1250 CODE COMPLIANCE AND APPLICATIONS.

Except as provided in subsection (A), the County shall not make a land use decision approving development, including land divisions and property line adjustments, or issue a building permit or zoning review approval of development or any other approvals authorized by this code for any property that is not in full compliance with all applicable provisions of the Multnomah County Zoning Code and/or any permit approvals previously issued by the County.

(A) A permit or other approval, including building permit applications, may be authorized if:

* * *

(B) For the purposes of this section, Public Safety means the actions authorized by the permit would cause abatement of conditions found to exist on the property that endanger the life, health, personal property, or safety of the residents or public. Examples of that situation include but are not limited to issuance of permits to replace faulty electrical wiring; repair or install furnace equipment; roof repairs; replace or repair compromised utility

infrastructure for water, sewer, fuel, or power; and actions necessary to stop earth slope failures.

Staff: This standard provides that the County shall not make a land use decision approving development for a property that is not in full compliance with County Code or previously issued County approvals, except in the following instances: approval will result in the property coming into full compliance, approval is necessary to protect public safety, or the approval is for work related to or within a valid easement.

This standard was originally codified in the Zoning Code chapter related to land use application procedures and, by its terms, expressly applies to the application review process. Although now codified in the enforcement Part of the Zoning Code as a result of the more recent code consolidation project, the language and intent were not changed during that project and remains applicable to the application review process and not to the post-permit-approval enforcement process.

Importantly, a finding of satisfaction of this standard does not mean that a property is in full compliance with the Zoning Code and all prior permit approvals (and, accordingly, does not preclude future enforcement actions relating to uses and structures existing at the time the finding is made). Instead, a finding of satisfaction of this standard simply means that there is not substantial evidence in the record affirmatively establishing one or more specific instances of noncompliance.

For purposes of the current application, there are no known open compliance cases associated with the subject property, and there is no evidence in the record of any specific instances of noncompliance on the subject property. *Criterion met.*

5.0 Lot of Record Criteria:

5.1 § 39.3005- LOT OF RECORD – GENERALLY.

(A) An area of land is a “Lot of Record” if it meets the standards in Subsection (B) of this Section and meets the standards set forth in this Part for the Zoning District in which the area of land is located.

(B) A Lot of Record is a parcel, lot, or a group thereof that, when created or reconfigured, either satisfied all applicable zoning laws and satisfied all applicable land division laws, or complies with the criteria for the creation of new lots or parcels described in MCC 39.9700. Those laws shall include all required zoning and land division review procedures, decisions, and conditions of approval.

(1) “Satisfied all applicable zoning laws” shall mean: the parcel, lot, or group thereof was created and, if applicable, reconfigured in full compliance with all zoning minimum lot size, dimensional standards, and access requirements.

(2) “Satisfied all applicable land division laws” shall mean the parcel or lot was created:

(a) By a subdivision plat under the applicable subdivision requirements in effect at the time; or

* * *

§ 39.3090 LOT OF RECORD – RURAL RESIDENTIAL (RR).

(A) In addition to the standards in MCC 39.3005, for the purposes of the RR district the significant dates and ordinances for verifying zoning compliance may include, but are not limited to, the following:

* * *

(B) A Lot of Record which has less than the minimum lot size for new parcels or lots, less than the front lot line minimums required, or which does not meet the access requirement of MCC 39.4395, may be occupied by any allowed use, review use or conditional use when in compliance with the other requirements of this district.

(C) Except as otherwise provided by MCC 39.4380, 39.4385, and 39.5300 through 39.5350, no sale or conveyance of any portion of a lot other than for a public purpose shall leave a structure on the remainder of the lot with less than minimum lot or yard requirements or result in a lot with less than the area or width requirements of this district.

(D) The following shall not be deemed to be a lot of record:

* * *

Staff: The subject property was originally created as part of Enterprise Acres subdivision on July 18, 1911 (Exhibit B.5). A portion of the subdivision reconfigured through a replat. The replat, McNamee Ridge View Acres occurred on December 27, 1967 reconfiguring the property into what appears today (Exhibit B.6). The current deed matches the subdivision description (Exhibit A.4). The subject property has not been subject to a subsequent boundary reconfiguration and/or land division since the recording of the McNamee Ridge View Acres subdivision; therefore, the subject property remains a Lot of Record in its current configuration. *Criteria met.*

6.0 Rural Residential (RR) Criteria:

6.1 § 39.4360 ALLOWED USES.

6.1.1 (A) Residential use consisting of a single family dwelling on a Lot of Record.

Staff: The applicant is requesting a new single-family dwelling on a vacant property. As discussed in Section 5.0, the subject property is a Lot of Record. The proposed floor plan shows a two-story building with an attached garage (Exhibit A.2 and A.3). As designed, the building contains two areas, the main dwelling area and a separate area that contains a space labeled as “workshop” and “art studio.” The workshop area contains a sink, a half bathroom and has no internal connection to the other portion of the building.

As required above only one single-family family dwelling is permitted in this zone. Further as defined in MCC 39.2000, a single-family dwelling can only contain one dwelling unit. A dwelling unit is defined as a single unit providing complete, independent living facilities for one or more persons, including permanent provisions for living, sleeping, eating, cooking and sanitation. To ensure that only one dwelling unit exists within the building, conditions will be required that the maximum size of the bar sink is two square feet and the under counter refrigerator, if located in that workshop, be less than 5 cubic feet in size. Additionally, no gas connections, 220-volt hookups, and dishwasher be located within 25 feet of the sink. Secondly, a covenant will be required to be recorded that the building be maintained as a single-family dwelling.

A second sink is in the area labeled as “Family Room.” Similar conditions will be required regarding the sink size, refrigerator, gas connections, 220-volt, dishwasher.

The development is also located within the Geologic Hazards (GH), Significant Environmental Concern for Scenic Views (SEC-v), and Significant Environmental Concern for Wildlife Habitat (SEC-h) overlays. The applicant is requesting an exemption from the GH permit. The SEC-v and SEC-h permits will be required to authorize the proposed dwelling. The GH exemption is discussed in Section 7.0 and the SEC-v and SEC-h requirements are discussed in Section 8.0. *As conditioned, criterion met.*

6.1.2 (F) Accessory Structures subject to the following:

(1) The Accessory Structure is customarily accessory or incidental to any use permitted or approved in this base zone and is a structure identified in the following list:

* * *

(b) Pump houses;

* * *

(i) Swimming pools, pool houses, hot tubs, saunas, and associated changing rooms;

* * *

(m) Mechanical equipment such as air conditioning units, heat pumps and electrical boxes; and

(n) Similar structures.

(2) The Accessory Structure shall not be designed or used, whether temporarily or permanently, as a primary dwelling, accessory dwelling unit, apartment, guesthouse, housing rental unit, sleeping quarters or any other residential use.

(3) The Accessory Structure may contain one sink.

(4) The Accessory Structure shall not contain:

* * *

(5) Compliance with MCC 39.8860 is required.

(6) The combined footprints of all buildings accessory to an accessory dwelling unit (ADU) shall not exceed combined footprints of 400 square feet and the combined footprints of all Accessory Buildings on a Lot of Record, including buildings accessory to an ADU, shall not exceed 2,500 square feet.

(7) An Accessory Structure exceeding any of the Allowed Use provisions above, except for the combined footprints allowed for all buildings accessory to an ADU, shall be considered through the Review Use provisions.

Staff: The applicant is requesting new accessory structures associated with the single-family dwelling. The structures include a septic system (tank, piping, and drainfield), deck, hot tub, propane tank, generator, ac unit, stormwater drainage control system, and retaining walls (Exhibit A.2 and A.3). Additionally, one structure is a building labeled as a “pump house” that will not be constructed (Exhibit A.15). The hot tub and mechanical equipment (propane tank, ac unit, and generator) are listed in the above list, whereas the other structures are not listed, but could be considered as similar structures. All the proposed structures can be customarily found and incidental to the primary use of the property, which is a single-family dwelling.

As designed none of the accessory structures are designed or used, whether temporarily or permanently, as a primary dwelling, accessory dwelling unit, apartment, guesthouse, housing rental unit, sleeping quarters or any other residential use. The accessory structures do not contain a sink or any of the features in subsection (4).

As the accessory structures are no buildings, compliance with MCC 39.8860 is not required and as they structures are not buildings, their combined footprints do not factor into the 2,500 square feet threshold for an Accessory Use Determination. *Criterion met.*

* * *

6.2 § 39.4375 **DIMENSIONAL REQUIREMENTS AND DEVELOPMENT STANDARDS.**

* * *

(C) Minimum Yard Dimensions – Feet

Front	Side	Street Side	Rear
30	10	30	30

Maximum Structure Height – 35 feet

Minimum Front Lot Line Length – 50 feet.

(1) Notwithstanding the Minimum Yard Dimensions, but subject to all other applicable Code provisions, a fence or retaining wall may be located in a Yard, provided that a fence or retaining wall over six feet in height shall be setback from all Lot Lines a distance at least equal to the height of such fence or retaining wall.

(2) An Accessory Structure may encroach up to 40 percent into any required Yard subject to the following:

(a) The Yard being modified is not contiguous to a road.

(b) The Accessory Structure does not exceed five feet in height or exceed a footprint of ten square feet, and

(c) The applicant demonstrates the proposal complies with the fire code as administered by the applicable fire service agency.

(3) A Variance is required for any Accessory Structure that encroaches more than 40 percent into any required Yard.

(D) The minimum yard requirement shall be increased where the yard abuts a street having insufficient right-of-way width to serve the area. The county Road Official shall determine the necessary right-of-way widths based upon the county “Design and Construction Manual” and the Planning Director shall determine any additional yard requirements in consultation with the Road Official.

Staff: The right-of-way (ROW) adjacent to the subject property is NW McNamee Road. The road is classified as a rural collector road. A local rural collector requires a ROW width of 60 feet. NW McNamee Road is 60 feet in width, so no additional right-of way width is needed and the yard does not need to be increased (Exhibit B.2).

As shown on the site plan the single-family dwelling and accessory structures are subject to the yard dimensions. Some of the structures including the septic system (septic tank, piping, drainfield) and stormwater drainage control system are low to the ground or underground. The other structures including the dwelling, deck, hot tub, propane tank, ac unit, and generator are a minimum of 30 feet from the front and rear lot lines and more than 10 feet from the side lot lines (Exhibit A.3). Some of the retaining walls encroach into the yards; however, they are all less than 6 feet in height.

Lastly, as shown on the building elevations, the height of the dwelling, accessory structures, and retaining walls are all less than 35 feet. *Criteria met.*

* * *

(F) On-site sewage disposal, storm water/drainage control, water systems unless these services are provided by public or community source, shall be provided on the lot.

(1) Sewage and stormwater disposal systems for existing development may be off-site in easement areas reserved for that purpose.

(2) Stormwater/drainage control systems are required for new impervious surfaces. The system shall be adequate to ensure that the rate of runoff from the lot for the 10 year 24-hour storm event is no greater than that before the development.

Staff: The applicant has provided a Septic Review Certification, Stormwater Drainage Control Certificate, and a Water Service Certification.

The on-site sewage disposal was reviewed Lindsey Reschke, Multnomah County Sanitarian. The Sanitarian stated, "Proposed 3BR NSFR with attached garage, workshop/art studio, and hot tub...poses no concern to septic." (Exhibit A.9).

The storm water/drainage control was reviewed and certified by Thomas J. Sisul, P.E. The Certificate recommends, "Construction of an onsite storm water drainage control system" (Exhibit A.5). The report recommends construction of a detention pipe that will feed into a bubbler catch basin outfall (Exhibit A.6 and A.7). This system will ensure that the rate of runoff from the subject property during a 10-year/24-hour storm event is no greater than that before the development. Condition of approval requires the applicant construct and maintain the proposed stormwater drainage control system for the life of the dwelling as described.

Lastly, the Water Service Certification indicates that an on-site well will be drilled and can produce between 5 and 40 gallons/minute (Exhibit A.11). *As conditioned, criteria met.*

(G) New, replacement, or expansion of existing dwellings shall minimize impacts to existing farm uses on adjacent land (contiguous or across the street) by:

(1) Recording a covenant that implements the provisions of the Oregon Right to Farm Law in ORS 30.936 where the farm use is on land in the EFU base zone; or

(2) Where the farm use does not occur on land in the EFU base zone, the owner shall record a covenant that states they recognize and accept that farm activities including tilling, spraying, harvesting, and farm management activities during irregular times, occur on adjacent property and in the general area.

Staff: The applicant is proposing a new dwelling on the subject property; therefore, a condition will be required to minimize impacts to existing farm uses on adjacent land. *As conditioned, criterion met.*

(H) All exterior lighting shall comply with MCC 39.6850.

Staff: The applicant has included a lighting plan and samples/technical specifications for the exterior lighting (Exhibit A.3). The current lighting plan and samples/technical specifications comply with requirement; however, a condition will be required that when submitting building plans for zoning review, the proposed lighting plan be finalized demonstrating compliance with MCC 39.4375(H) and MCC 39.6850. *As conditioned, criterion met.*

7.0 Geologic Hazards (GH) Criteria:

7.1 § 39.5075 PERMIT REQUIRED.

Unless exempt under this code or authorized pursuant to a Large Fill permit, no development, or ground disturbing activity shall occur: (1) on land located in hazard areas as identified on the Geologic Hazards Overlay map, or (2) where the disturbed area or the land on which the development will occur has average slopes of 25 percent or more, except pursuant to a Geological Hazards permit (GH).

Staff: The applicant is proposing ground disturbing activity associated with construction of a new single-family dwelling, accessory structures, private driveway in addition to implementation of a mitigation plan by planting vegetation. The development will require ground disturbance on land identified on the Geologic Hazards overlay map; however, they are requesting an exemption as provided in MCC 39.5080 as discussed below.

7.2 § 39.5080 EXEMPTIONS.

Ground disturbing activity occurring in association with the following uses is exempt from GH permit requirements:

(N) Uses not identified in subsections (A) through (M) that meet all of the following requirements:

- (1) Natural and finished slopes will be less than 25 percent; and,**
- (2) The disturbed or filled area is 20,000 square feet or less; and,**
- (3) The volume of soil or earth materials to be stored is 50 cubic yards or less; and,**
- (4) Rainwater runoff is diverted, either during or after construction, from an area smaller than 10,000 square feet; and,**
- (5) Impervious surfaces, if any, of less than 10,000 square feet are to be created; and,**
- (6) No drainageway is to be blocked or have its stormwater carrying capacities or characteristics modified; and,**
- (7) The use will occur outside the Tualatin River and Balch Creek drainage basins.**

Staff: As discussed above, the applicant requesting an exemption as provided above. The site plan shows that the natural and finished slopes are between 10% and 15%, the disturbed area will be less than 20,000 square feet, and the use is located outside of the Tualatin River and Balch Creek drainage basins (Exhibit A.3). *Criterion met.*

8.0 Significant Environmental Concern Overlays (SEC) Criteria:

8.1 § 39.5510 USES; SEC PERMIT REQUIRED.

(A) All uses allowed in the base zone are allowed in the SEC when found to satisfy the applicable approval criteria given in such zone; provided however, that the location and design of any use, or change or alteration of a use, except as provided in MCC 39.5515, subject to approval of an SEC permit pursuant to this Subpart.

(B) Any excavation or any removal of materials of archaeological, historical, pre-contact or anthropological nature shall be conducted under the conditions of an SEC permit, regardless of the zoning designation of the site.

Staff: As discussed in Section 6.0, the applicant is proposing a new single-family dwelling, accessory structures [septic system (tank, piping, and drainfield), deck, hot tub, propane tank, generator, ac unit, stormwater drainage control system, and retaining wall] and private driveway. The proposed development is an Allowed Use associated with the residential use under MCC 39.4360(A) and (F), if the proposal meets certain requirements of Multnomah County Code. Significant Environmental Concern for Scenic Views (SEC-v) and Significant Environmental Concern for Wildlife Habitat (SEC-h) permits are required as the proposal is not exempt from obtaining permits. Conditions of approval will require the property owner to demonstrate compliance with all the applicable approval criteria as discussed below. Lastly, according to the plans, no excavation or removal of materials of archaeological, historical, prehistorical, or anthropological has occurred or are proposed. *Criterion met.*

8.2 § 39.5650 CRITERIA FOR APPROVAL OF SEC-V PERMIT -SIGNIFICANT SCENIC VIEWS.

* * *

(C) Any portion of a proposed development (including access roads, cleared areas and structures) that will be visible from an identified viewing area shall be visually subordinate. Guidelines which may be used to attain visual subordination, and which shall be considered in making the determination of visual subordination include:

Staff: The subject property is in the SEC-v overlay and is topographically visible from the following identified Viewing Areas: Bybee-Howell House, Highway 30, Kelley Point Park, Multnomah Channel, Public roads on Sauvie Island, Sauvie Island Wildlife Refuge, Smith and Bybee Lakes, Virginia Lakes, and Willamette River. Therefore, the proposed development will need to be designed be visually subordinate.

As defined, “Visually Subordinate” means: The subject development does not noticeably contrast with the surrounding landscape, as viewed from an identified viewing area. Development that is visually subordinate may be visible, but is not visually dominant in relation to its surroundings.

(1) Siting on portions of the property where topography and existing vegetation will screen the development from the view of identified viewing areas.

Staff: The proposed development that is above ground includes new single-family dwelling and accessory structures [deck, hot tub, propane tank, generator, ac unit, and retaining wall]. The other accessory structures [septic system (tank, piping, and drainfield) and stormwater drainage control system] and private driveway in addition to the development of landscaped areas are all at ground level or underground (Exhibit A.3). The elevation profiles show that property slopes downward going from northeast to southwest. Directly west of the property is a ridgeline that topographically obscures the development from the Identified Viewing Areas (Exhibit B.8). Lastly, there is a row of vegetation located on the property that decreases the visibility of the structures and development.

To ensure that the development is visually subordinate conditions will be required. The first condition will be that the existing vegetation east of the dwelling be retained in the area shown in

Exhibit B.9. If a tree is removed in that area due to death, disease, or safety purposes (i.e. to prevent or mitigate significant loss or damage to life, health, property, or essential public services), two (2) native coniferous trees suitable for winter screening must be planted. The tree plant size, spacing, and diversity shall meet the requirements of MCC 39.5860(C)(5)(j)-(l). *As conditioned, criterion met.*

(2) Use of nonreflective or low reflective building materials and dark natural or earthtone colors.

Staff: The structures are all nonreflective or have low reflectivity. The applicant provided samples of the building materials and exterior colors (Exhibit A.3). All the materials are nonreflective or low reflective. However, the ac unit, generator, and propane tank are not dark natural or earth tone colors. Further no information was provided about the glass that will be used within the windows. Conditions will be required that the applicant provide technical specifications of the windows and that the glass within the windows shall utilize a glass that has a less than 11% exterior visible light reflectivity rating. Lastly, the exterior of the AC unit, generator, and propane tank shall be a dark natural color or an earthtone color. Examples of acceptable colors can be found in the Building in the Scenic Area: Scenic Implementation Resources Handbook. *As conditioned, criterion met.*

(3) Exterior lighting that it is not highly visible from identified viewing areas and meets the Dark Sky Lighting Standards of MCC 39.6850. Shielding and hooding materials should be composed of nonreflective, opaque materials.

Staff: As discussed in Section 6.2, the applicant has included a lighting plan and samples/technical specifications for the exterior lighting (Exhibit A.3). The current lighting plan and samples/technical specifications are Dark Sky Compliant, which will not be highly visible from the Identified Viewing Areas. A condition will be required that when submitting building plans for zoning review, the proposed lighting plan be finalized demonstrating compliance with MCC 39.4375(H) and MCC 39.6850. *As conditioned, criterion met.*

(4) Use of screening vegetation or earth berms to block and/or disrupt views of the development. Priority should be given to retaining existing vegetation over other screening methods. Trees planted for screening purposes should be coniferous to provide winter screening. The applicant is responsible for the proper maintenance and survival of any vegetation used for screening.

Staff: As previously discussed the development is topographically screened to the east. Secondly, the development is screened using vegetation. A condition will be required that the existing vegetation east of the dwelling be retained in the area shown in Exhibit B. 9. If a tree is removed in that area, two coniferous trees suitable for winter screening must be planted. The tree plant size, spacing, and diversity shall meet the requirements of MCC 39.5860(C)(5)(j)-(l). *As conditioned, criterion met.*

(5) Proposed developments or land use shall be aligned, designed and sited to fit the natural topography and to take advantage of vegetation and land form screening, and to minimize visible grading or other modifications of landforms, vegetation cover, and natural characteristics.

Staff: The proposed development is in an area that is aligned, designed, and sited to fit the natural topography. The elevation profiles show development is in a flat portion of the property adjacent

to NW McNamee Road. The property then slopes downward from the development area going from northeast to southwest (Exhibit B.8). Directly west of the property is a ridgeline that topographically obscures the development from the Identified Viewing Areas (Exhibit B.8). Further the single-family dwelling is oriented so the smallest portion of the dwelling is facing the Identified Viewing Areas, thereby taking advantage of the vegetation and land form screening (Exhibit A.3). *Criterion met.*

(6) Limiting structure height to remain below the surrounding forest canopy level.

Staff: The structures are below the surrounding forest canopy. The building elevations show the height of the dwelling, accessory structures, and retaining walls are all less than 35 feet (Exhibit A.3). Additionally, the elevation profiles show development is in a flat portion of the property adjacent to NW McNamee Road and then slopes downward from the development area going from northeast to southwest (Exhibit B.8). *Criterion met.*

(7) Siting and/or design so that the silhouette of buildings and other structures remains below the skyline of bluffs or ridges as seen from identified viewing areas. This may require modifying the building or structure height and design as well as location on the property, except:

* * *

Staff: As previously discussed, the building elevations show the height of the dwelling, accessory structures, and retaining walls are all less than 35 feet (Exhibit A.3). Additionally, the elevation profiles show development is in a flat portion of the property adjacent to NW McNamee Road and then slopes downward from the development area going from northeast to southwest (Exhibit B.8 and B.9). The siting will keep the silhouette of the buildings and other structures below the surrounding skyline of bluffs or ridges. *Criterion met.*

(E) The approval authority may impose conditions of approval on an SEC-v permit in accordance with MCC 39.5535, in order to make the development visually subordinate. The extent and type of conditions shall be proportionate to the potential adverse visual impact of the development as seen from identified viewing areas, taking into consideration the size of the development area that will be visible, the distance from the development to identified viewing areas, the number of identified viewing areas that could see the development, and the linear distance the development could be seen along identified viewing corridors.

Staff: Conditions of approval that have been included with this Decision are to ensure that the development will be visually subordinate from the Identified Viewing Areas. The conditions include the retention of vegetation, painting of exterior surfaces, and submittal of additional building material specifications. *As conditioned, criterion met.*

8.3 § 39.5860 CRITERIA FOR APPROVAL OF SEC-H PERMIT -WILDLIFE HABITAT.

* * *

8.3.1 (B) Development standards:

(1) Where a parcel contains any non-forested "cleared" areas, development shall only occur in these areas, except as necessary to provide access and to meet minimum clearance standards for fire safety.

Staff: The subject parcel does not contain areas that are defined as non-forested “cleared” areas. The entire property is considered as a forested area (Exhibit A.2 and A.12). The proposed development will require clearing of a forest area (Exhibit A.3). *Criterion not met.*

(2) Development shall occur within 200 feet of a public road capable of providing reasonable practical access to the developable portion of the site.

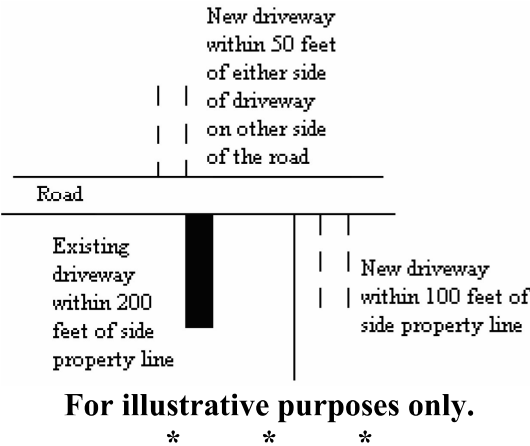
Staff: As measured on the applicant’s site plan, the development is less than 2,00 feet from NW McNamee Road, a public road (Exhibit A.3 and A.12). *Criterion met.*

(3) The access road/driveway and service corridor serving the development shall not exceed 500 feet in length.

Staff: As measured on the applicant’s site plan, the private driveway is less than 500 feet in length (Exhibit A.3 and A.12). *Criterion met.*

(4) For the purpose of clustering access road/driveway approaches near one another, one of the following two standards shall be met:

- (a) The access road/driveway approach onto a public road shall be located within 100 feet of a side property line if adjacent property on the same side of the road has an existing access road or driveway approach within 200 feet of that side property line; or**
- (b) The access road/driveway approach onto a public road shall be located within 50 feet of either side of an existing access road/driveway on the opposite side of the road.**
- (c) Diagram showing the standards in (a) and (b) above.**



Staff: The adjacent properties on the same side of the road each have a driveway. Based on aerial photo measurements, the driveway to the east is approximately 60 feet from the property and the driveway to the west is 342 feet from the property. As required the driveway serving the proposed development is required to be within 100 feet the shared property line with the property to the west. For the property directly opposite, the proposed driveway is located more than 50 feet from the existing driveway. *Criteria not met.*

(5) The development shall be within 300 feet of a side property line if adjacent property has structures and developed areas within 200 feet of that common side property line.

Staff: The site plan and aerial photo review show the adjacent properties to the east and west both have structures and developed areas within 200 feet of the common side property lines (Exhibit A.3 and B.3). The applicant is proposing development closest to the eastern property line located approximately 27 feet from the common side property line to the east. *Criterion met.*

(6) Fencing within a required setback from a public road shall meet the following criteria:

* * *

Staff: The applicant is not proposing any fencing within the required setback from the public road. *Criterion not applicable.*

(7) The nuisance plants in MCC 39.5580 Table 1 shall not be planted on the subject property and shall be removed and kept removed from cleared areas of the subject property.

Staff: The applicant's Wildlife Conservation Plan indicates that nuisance plants in MCC 39.5580 Table 1 are located on the subject property and will be removed (Exhibit A.12). A condition requires removal and on-going compliance with (A)(7) above. *As conditioned, criterion met.*

8.4.2 (C) Wildlife Conservation Plan. An applicant shall propose a wildlife conservation plan if one of two situations exist.

(1) The applicant cannot meet the development standards of subsection (B) because of physical characteristics unique to the property. The applicant must show that the wildlife conservation plan results in the minimum departure from the standards required in order to allow the use; or

(2) The applicant can meet the development standards of subsection (B), but demonstrates that the alternative conservation measures exceed the standards of subsection (B) and will result in the proposed development having a less detrimental impact on forested wildlife habitat than the standards in subsection (B).

Staff: As discussed above, the applicant has not met the development standards of subsection (B); therefore, a Wildlife Conservation Plan (WCP) is required. The development cannot be in a non-forested "cleared" area and the applicant is electing to gain access that does not meet the driveway access standards. The applicant cannot meet the development standards of subsection (B)(1), but can meet the development standards of subsection (B)(4).

Therefore, as discussed below, the applicant is proposing a WCP that will demonstrate that the alternative conservation measures exceed the standards of subsection (B) and results in having a less detrimental impact on forested wildlife habitat.

* * *

(3) Unless the wildlife conservation plan demonstrates satisfaction of the criteria in subsection (C)(5), the wildlife conservation plan must demonstrate the following:

(a) That measures are included in order to reduce impacts to forested areas to the minimum necessary to serve the proposed development by restricting the amount of clearance and length/width of cleared areas and disturbing the least amount of forest canopy cover.

- (b) That any newly cleared area associated with the development is not greater than one acre, excluding from this total the area of the minimum necessary accessway required for fire safety purposes.**
- (c) That no fencing will be built and existing fencing will be removed outside of areas cleared for the site development except for existing cleared areas used for agricultural purposes.**
- (d) That revegetation of existing cleared areas on the property at a 2:1 ratio with newly cleared areas occurs if such cleared areas exist on the property.**
- (e) That revegetation and enhancement of disturbed stream riparian areas occurs along drainages and streams located on the property.**

Staff: As previously discussed, the applicant can meet the development standards of subsection (B), therefore the WCP must show that alternative conservation measures will exceed the standards of subsection (B) and will result in the proposed development having a less detrimental impact on forested wildlife habitat than the standards in subsection (B). The application included a plan and WCP written by biologist David Hohl discussing what measures will be put in place to mitigate the development (Exhibit A.2, A.3, A.12, and A.13). The narrative and WCP discusses how the measures within the proposal will reduce impacts to forest areas and limit the amount of clearance.

The applicant is requesting conversion of an area that is forested area into residential development. The development is adjacent to the road, NW McNamee Road and located on a flatter portion of the subject property. The proposal will utilize an access point that was not previously reviewed by the County, but is partially cleared. As the applicant states, “to comply with (B)(4), [development] would necessitate additional clearing...and removal of mature tree cover.”

As the existing conditions have been established, the applicant is proposing a new single-family dwelling, accessory structures [septic system (tank, piping, and drainfield), deck, hot tub, propane tank, generator, ac unit, stormwater drainage control system, and retaining wall] and private driveway. The clearing associated with the development will be less than one acre and is clustered in the as close to the road as possible while still meeting required yard setbacks. The proposed development will leave most of the property as forested wildlife habitat, resulting in disturbing the least amount of forest canopy cover and having a less detrimental impact on forested wildlife habitat.

As there are no existing cleared area on the property, the WCP does not recommend any additional mitigation measures. However, some conditions will be required including:

1. Demonstrating compliance with the County’s Ground Disturbance regulations by obtaining either a Minimal Impact Project (MIP) permit or an Erosion and Sediment Control (ESC) permit to ensure the standards set forth in MCC 39.6200 through MCC 39.6235 are met;
2. Prior to development, all work areas shall be flagged, fenced, or otherwise marked to reduce potential damage to habitat outside of the work area. The work area shall remain marked through all phases of development;
3. Trees shall not be used as anchors for stabilizing construction equipment; and
4. If any nuisance plants listed in MCC 39.5580 Table 1 are found during construction, the nuisance plants shall be removed from the property. Additionally, the planting of any invasive non-native or noxious vegetation as listed in MCC 39.5580 Table 1, in the latest edition of the Metro Nuisance Plant List and the Prohibited Plant List, or in the latest edition of the State of Oregon Noxious Weed List is prohibited

As conditioned, criteria met.

* * *

(5) Unless the wildlife conservation plan demonstrates satisfaction of the criteria in subsection (C)(3) of this section, the wildlife conservation plan must demonstrate the following:

* * *

Staff: The applicant has provided a wildlife conservation plan that demonstrates satisfaction with subsection (C)(3), therefore the criteria within (C)(5) do not need to be addressed.

9.0 Conclusion

Based on the findings and other information provided above, the applicant has carried the burden necessary for the Significant Environmental Concern for Scenic View (SEC-v) and Significant Environmental Concern for Wildlife Habitat (SEC-h) permits to establish residential use consisting of a single-family dwelling, accessory structures [septic system (tank, piping, and drainfield), deck, hot tub, propane tank, generator, ac unit, stormwater drainage control system, and retaining wall] and private driveway in the Rural Residential (RR) zone. This approval is subject to the conditions of approval established in this report.

10.0 Exhibits

‘A’ Applicant’s Exhibits

‘B’ Staff Exhibits

‘C’ Procedural Exhibits

Exhibits with an ‘*’ have been reduced in size and included with the mailed decision. All exhibits are available for digital review by sending a request to LUP-comments@multco.us.

Exhibit #	# of Pages	Description of Exhibit	Date Received / Submitted
A.1	2	Application Form	09/05/2024
A.2	6	Narrative	09/05/2024
A.3*	12	Site Plan and Building Plans <ul style="list-style-type: none"> ▪ G1 – General Info / Site Plan ▪ G2 – Area Map ▪ C0 – Survey ▪ A1 – Site Plan ▪ A2 – Landscape & Erosion Control ▪ A3 – Lower Floor Plan ▪ A4 – Upper Floor Plan ▪ A5 – Roof Plan ▪ A6 – Elevations ▪ A7 – Elevations ▪ A8 – Finishes ▪ A9 – Light Fixtures 	09/05/2024
A.4	5	Warranty Deed recorded as Instrument #2023-000692 on January 5, 2023	09/05/2024
A.5	1	Stormwater Drainage Control Certificate prepared by Thomas J. Sisul, P.E.	09/05/2024
A.6	59	Stormwater Drainage Control Certificate Report prepared by Thomas J. Sisul, P.E.	09/05/2024
A.7	2	Site Plan and Building Plans <ul style="list-style-type: none"> ▪ C1 – Utility Plan ▪ C2 – Grading Plan 	09/05/2024
A.8	38	Geotechnical Report prepared by M. David Irish, CESCL and Brad M. Wilcox, P.E., G.E.	09/05/2024
A.9	28	Septic Review Certification	09/05/2024
A.10	2	Fire Service Provider Review	09/05/2024
A.11	2	Water Service Certification	09/05/2024
A.12	9	Wildlife Conservation Plan	09/05/2024

A.13	2	David Hohl Curriculum Vitae	09/05/2024
A.14	2	Revised Application Form	10/28/2024
A.15	1	Email from applicant concerning the well house	02/05/2025
A.16	4	Generator Specifications	02/10/2025
A.17	1	Propane Tank Specifications	02/10/2025
A.18	12	Air Conditioning Unit Specifications	02/10/2025
‘B’	#	Staff Exhibits	Date
B.1	2	Assessment and Taxation Property Information for 2N1W19D -00500 (Alt Acct #R553601300 / Property ID #R215989)	09/05/2024
B.2	1	Current Tax Map for 2N1W19D	09/05/2024
B.3	1	Aerial Photo taken on April 13, 2024	09/30/2024
B.4	13	Pre-Filing Meeting Summary Notes, PF-2023-17161	09/30/2024
B.5	1	Enterprise Acres Subdivision recorded on July 18, 1911	02/05/2025
B.6	1	McNamee Ridge View Acres Block 3 subdivision recorded on December 27, 1967	02/05/2025
B.7	4	Google Maps 3D Renderings with the subject property marked	03/04/2025
B.8	2	Metro GIS Map showing the contours of the subject property	03/04/2025
B.9*	1	Plan showing area of vegetation maintenance for screening	03/06/2025
‘C’	#	Administration & Procedures	Date
C.1	6	Incomplete letter	09/30/2024
C.2	1	Applicant’s acceptance of 180-day clock	09/30/2024
C.3	3	Complete letter (day 1)	10/28/2024
C.4	11	Opportunity to Comment	12/26/2024
C.5	19	“Short” Decision	03/14/2025
C.6	35	Decision	03/14/2025



1 VICINITY PLAN
NOT TO SCALE

PROJECT ADDRESS:

Tax Lot: 2N1W19D-00500
Real Property ID: R215989
NW McNamee Rd,
Portland, OR 97231

Zoning: RR (Rural Residential), Multnomah County

Overlay: SEC-A, SEC-A, OH

Rear Setback: 30'

Side Setbacks: 10'

Height: maximum: 35'

OWNER:

Katherine Heekin & Shawn McFaul
1730 S Helix Way #505
Portland, OR 97231
phone: (503) 982-5022
email: agndau@gmail.com

CONTRACTOR:

Seal Engineering, Civil Engineering Services
1730 S Helix Way #505
Portland, OR 97231
phone: (503) 905-0812
email: sealeng@comcast.net
CDS# 225055

ARCHITECT:

Nathan McFaul Architect, LLC
8911 SW 53rd Avenue
Portland, OR 97219
phone: 503-795-2659
email: nathan@nathancopdr.com

CIVIL ENGINEER:

Seal Engineering, Civil Engineering Services
1730 S Helix Way #505
Portland, OR 97231
phone: (503) 905-0812
email: sealeng@comcast.net

STRUCTURAL ENGINEER:

Missard Engineering Group Inc.
6775 SW 11th Suite 20
Bloomington, OR 97008
phone: 503-987-4555
email: jronan@mgrouppengineering.com

PROJECT DESCRIPTION:

Build new Single Family Residence with: 3 bedrooms, 2 bathrooms, 3 half-bathrooms and an attached 2 car garage.

SQUARE FOOTAGE:

Upper Floor 1600 sq. ft.
Lower Floor 2100 sq. ft.
Total Conditioned Space 4100 sq. ft.
Garage (unconditioned) 770 sq. ft.

GENERAL NOTES:

Site information concerning existing conditions are suitable for preparation of the Drawings and are not intended to be used for any other purpose. The Contractor shall verify the accuracy of such information. It is the responsibility of the Contractor to inform himself and the necessary officials as to the conditions affecting the Work.

The Work shall conform to the Contract Documents, Oregon Residential Specialty Code (latest edition), and all applicable local building codes.

The Contract Documents include Architectural and Engineering Drawings. Specifications if applicable, and any Addendums to the same mentioned. The intent of the Contract Documents is to include all items necessary for the completion of the Work. Work not shown or specified shall be in accordance with the latest edition of the applicable building codes being necessary to produce the intended results. Damaged or defective work shall be immediately repaired or replaced to the approval of the Architect and at no additional cost to the Owner.

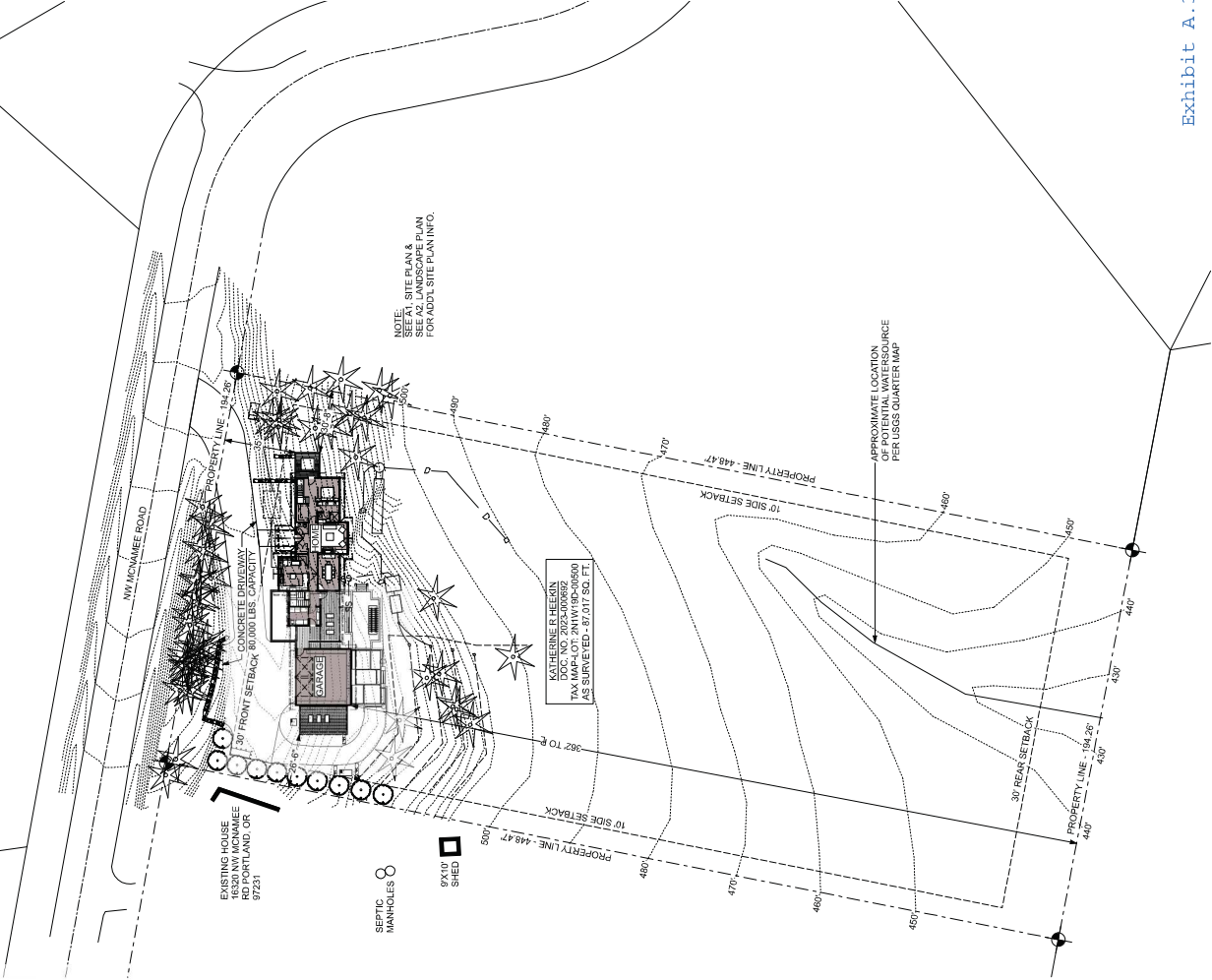
Dimensions shall be to face of framing or face of concrete unless otherwise indicated. Written dimensions take precedence over drawing scale. Do not scale drawings.

Contractor shall verify all dimensions and field conditions before proceeding and notify Architect of any discrepancies. Contractor shall provide adequate bearing and shoring as required for all construction. Contractor shall be responsible for obtaining all necessary permits. Contractor will notify the Owner, Architect, Engineer, and the local building official at critical stages of construction. Contractor shall obtain all necessary approvals prior to commencement of work. Contractor will obtain inspections per ORSC RT09 and special inspections from an independent testing lab as required by the local municipality.

The Architect and Engineers have not been retained or compensated to provide design and/or construction management services for the construction of the Work. The Contractor shall be responsible for obtaining all necessary permits, licenses, and approvals for the Work. The Contractor shall be responsible for providing a safe place of work for the Contractor and the Contractor's employees, subcontractors, or suppliers or subcontractors, or for access, utility, use, work, travel, or occupancy by any person. Contractor shall take all reasonable precautions for the safety of, and shall provide adequate protection for, all persons and property on the site and adjacent areas affected by the Work. All work, materials, and equipment, Other property at the site or adjacent areas shall be protected from damage or loss.

DRAWING INDEX:

- G1 GENERAL INFO / SITE PLAN
- G2 AREA MAP
- C0 SURVEY
- C1 UTILITY PLAN & DETAILS
- A1 SITE PLAN - PARTIAL POSITION CONTROL PLAN
- A2 LANDSCAPE PLAN & LIGHTING PLAN
- A3 LOWER FLOOR PLAN & LIGHTING PLAN
- A4 UPPER FLOOR PLAN & LIGHTING PLAN
- A5 ROOF PLAN
- A6 EXTERIOR ELEVATIONS
- A7 FINISHES
- A8 LIGHT FIXTURES



2 FULL SITE PLAN
SCALE: 1" = 30'

Exhibit A.3

NOTE: THIS DRAWING IS NOT A LEGAL SURVEY. IT IS BASED ON THE SURVEY RECORDS AND INFORMATION PROVIDED BY THE SURVEYOR. THE SURVEYOR'S RESPONSIBILITY IS TO BE VERIFIED BY THE CONTRACTOR. THE CONTRACTOR SHALL BE RESPONSIBLE FOR BROUGHT TO THE ATTENTION OF THE OWNER & ARCHITECT.

HEEKIN-McFAUL RESIDENCE
TAX LOT: 2N1W19D-00500
NW McNamee Rd, Portland, OR 97231

PRELIMINARY
NOT FOR
CONSTRUCTION

COOPDR
ARCHITECT, LLC
NATHAN
COOPDR
ARCHITECT, LLC
503-795-2659
nathan@nathancopdr.com

LAND-USE SET
8/6/24

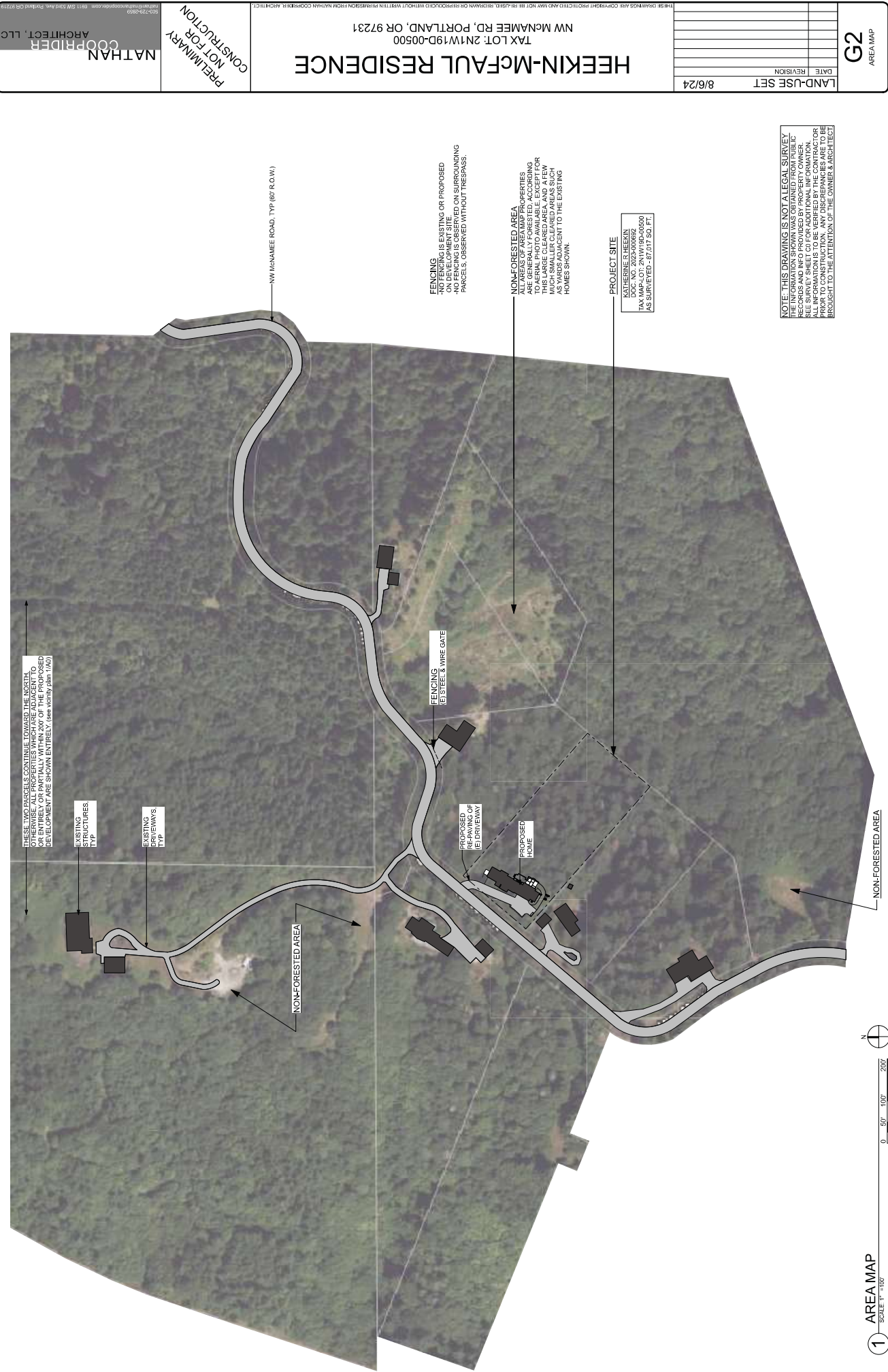
DATE
8/6/24

REVISION

GENERAL INFO / SITE
PLAN

G1

GENERAL INFO / SITE
PLAN



NOTE: THIS DRAWING IS NOT A LEGAL SURVEY. IT IS BASED ON THE SURVEY RECORDS AND INFO PROVIDED BY PROPERTY OWNER. SEE SURVEY SHEET 00 FOR ADDITIONAL INFORMATION. THIS DRAWING IS FOR INFORMATION ONLY AND IS NOT TO BE USED FOR CONSTRUCTION. ANY DISCREPANCIES ARE TO BE BROUGHT TO THE ATTENTION OF THE OWNER & ARCHITECT.

PROJECT SITE
KATHERINE R. HEELIN
DOC. NO. 2023-000092
TAX LOT 2N1W19D-00500
AS SURVEYED - 07/01/50, FT.

NON-FORESTED AREA
NON-FORESTED AREAS ARE GENERALLY FORESTED, ACCORDING TO AERIAL PHOTO AVAILABLE, EXCEPT FOR THE SMALLER CLEARED AREAS SUCH AS YARDS ADJACENT TO THE EXISTING HOMES SHOWN.

FENCING
NOT FENCING IS EXISTING OR PROPOSED ON DEVELOPMENT SITE. FENCING IS SHOWN ON SURROUNDING PARCELS, OBSERVED WITHOUT TRESPASS.

NW McNamee Road, TYP (60' R.O.W.)

THESE TWO PARCELS CONTINUE TOWARD THE NORTH, OF WHICH THE DEVELOPMENT OF THE PROPOSED OR EXISTING DRIVEWAYS OR STRUCTURES TYP DEVELOPMENT ARE SHOWN ENTIRELY (see vicinity plan 1(A)).



1 PARTIAL SITE PLAN
SCALE: 3/32" = 1'-0"



KATHERINE R. HEekin
DOC NO. 2023-00692
TAX MAP LOT: 2N1W19D-00500
AS SURVEYED - 87.07' SUT FT.





NOTE: THIS DRAWING IS NOT A LEGAL SURVEY
THE INFORMATION SHOWN WAS OBTAINED FROM PUBLIC RECORDS AND INFO PROVIDED BY PROPERTY OWNER. SEE SURVEY SHEET C0 FOR ADDITIONAL INFORMATION. ALL INFORMATION IS TO BE VERIFIED BY THE CONTRACTOR PRIOR TO CONSTRUCTION. ANY DISCREPANCIES ARE TO BE BROUGHT TO THE ATTENTION OF THE OWNER & ARCHITECT.

LEGEND:

- NOTES:
1. PROVIDE ALL ELECTRICALS AND OUTLETS TO BE APT TO APT. OUTERS FIELD VERIFY.
2. PROVIDE WATERPROOF AND GET OUTLETS WHERE RECD BY CODE.
3. PROVIDE POWER, DATA & WATER TO EQUIP & APPLIANCES AS RECD (NOT SHOWN).
4. PROVIDE ALL PLUMBING & WATER TO EQUIP & APPLIANCES AS RECD (NOT SHOWN).
5. PROVIDE ALL GAS & GAS APPLIANCES AS RECD (NOT SHOWN).
6. ALARM, SECURITY & DOOR BELL IS A PARTIAL SUGGESTED LAYOUT. DESIGN-BUILD ELECTRICAL CONTRACTOR TO PROVIDE A COMPLETE LAYOUT PER CODE & OWNER REQUIREMENTS.

- ⑤ HAND WIRED SMOKE DETECTOR WITH BATTERY BACK-UP.
UL 217 LISTED. ALL SD & CO ALARMS TO BE INTERCONNECTED.
⑥ COMBINED SMOKE DETECTOR & CARBON MONOXIDE ALARM.
HAND WIRED WITH BATTERY BACK-UP. UL 268A & UL 217 LISTED.
⑦ LIGHT & FAN PER CODE CFM REQUIREMENTS.
⑧ EXHAUST FAN PER CODE CFM REQUIREMENTS.
⑨ DECORATIVE PENDANT (P = PENDANT FIXTURE, TYP)
⑩ DECORATIVE SURFACE MOUNT CEILING FIXTURE
⑪ RECESSED CAN / ADJUSTABLE CAN
⑫ HOSE BIB. FREEZE PROTECTED
⑬ DS DWNSPT. CONTRACTOR TO LOCATE & CONFIRM W/ OWNER
⑭ SUGGESTED ELECT PANEL LOCATION (TO BE VERIFIED)
⑮ SWITCH - PROVIDE THREE & FOUR WAY WHERE RECD
SEE C2 FOR GRADING PLAN
⑯ 1/4" STRIP @ ALL EXT. STAIR TREADS, TYP

LIGHTING NOTE:
FURNISHED WITH WALL WASH LIGHTS
AT MAIN ENTRY HOUSE MARKED AT STREET

PRELIMINARY
NOT FOR
CONSTRUCTION

HEEKIN-McFAUL RESIDENCE

TAX LOT: 2N1W19D-00500
NW McNAMEE RD, PORTLAND, OR 97231

DATE	REVISION
8/6/24	

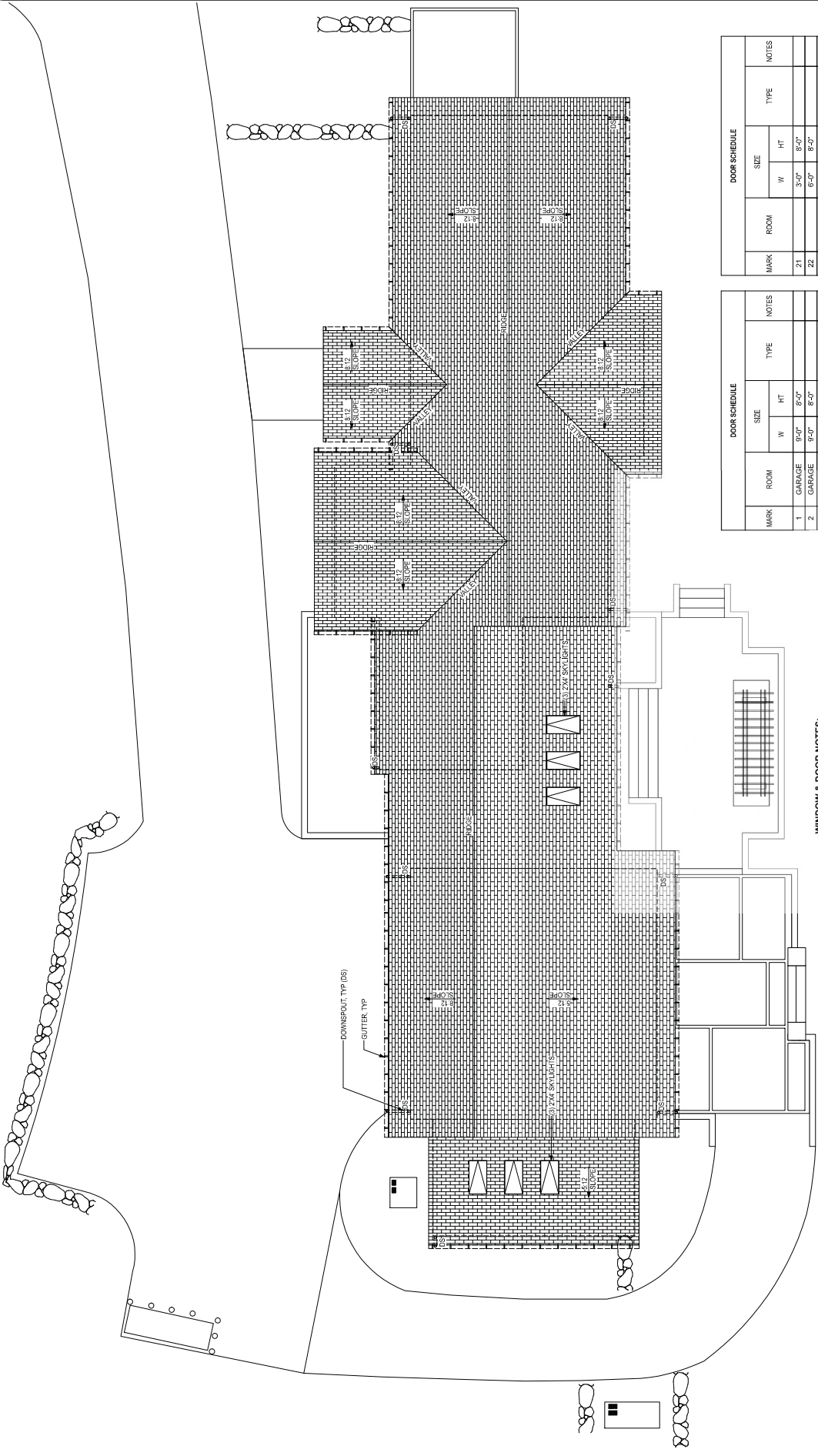
LAND-USE SET
A4
UPPER FLOOR PLAN

GENERAL NOTES:

- ALL DIMENSIONS TO F.O. CONCRETE, FRMG. PLYWOOD, EDGE OF ROUGH OPENING, OR CENTER OF OPENING UNLESS NOTED OTHERWISE. VERIFY ALL DIMS IN THE FIELD. NOTIFY ARCHITECT OF ANY DISCREPANCIES. ALL INTERIOR WALLS TO BE FINISHED WITH 5/8" GYP. BOARD. ALL INTERIOR FLOORS TO BE FINISHED WITH 3/4" GYP. BOARD. CONTRACTOR TO PROVIDE COMPLETE SYSTEMS MEETING ALL CODE REQUIREMENTS. SUBMIT DRAWINGS AND PRODUCT SPECS TO OWNER FOR REVIEW PRIOR TO SUBMITTING FOR PERMIT.
STAIRS SHALL HAVE A MAXIMUM RISE OF 8-IN. AND MINIMUM RUN OF 9-IN. RISE AND RUN ARE NOT TO VARY MORE THAN 1/4" PER FOOT. MINIMUM HEADROOM SHALL BE 6'8". MINIMUM STRINGERS SHALL BE 2X12. SEE STRUCTURAL FOR ADD'L INFO.
STAIR RUNS WITH FOUR OR MORE RISERS TO HAVE CONTINUOUS HANDRAIL ON ONE SIDE. ALL HANDRAILS SHALL BE AT 36-IN. ABOVE TREAD NOSING. ENSURE 1-1/2" MINIMUM BETWEEN INDEPENDENT HANDRAILS AND ADJACENT WALLS OR GUARDRAIL. ENDS SHALL RETURN TO WALL OR NEWEL OR SHALL HAVE ROUNDED TERMINATIONS OR BENDS.
GUARDRAILS SHALL BE AT A MINIMUM OF 36-IN. HIGH FOR ALL CHANGE IN ELEVATION OF 30" OR GREATER. IN OTHERWISE UNFINISHED AREAS, GUARDRAILS SHALL BE 36-IN. HIGH. USE 4" DIA. SPACED BALUSTRADES. PROVIDE 1" DIA. RAIL WITH 1/4" DIA. SPACED BALUSTRADES.
1. ALL EXT & INT TRIM & CASING SIZE, PROFILE & DETAILS TO BE APPROVED BY OWNER. PROVIDE MOCK-UP.
2. VERIFY OWNER SELECTED APPLANCE SIZES AND INSTALLATION REQMTS PRIOR TO CONSTRUCTION / FRAMING.
3. SEE PLAN & SCHEDULE FOR DOORS & WINDOWS. REFER TO FINAL MANUF SCHEDULE FOR ROUGH OPENINGS.
4. COLORS TBD BY OWNER. ASSUME UP TO 8 INTERIOR COLORS. 3 EXT COLORS.
5. VERIFY ALL FINISHES, MATERIALS, APPLIANCES & FIXTURES W/ OWNER. ALL FLOORS TO BE WOOD U.N.O.
6. PROVIDE CABINET SHOP DRAWINGS & DETAILS FOR OWNER & ARCHITECT REVIEW PRIOR TO FABRICATION.
7. ALL SHOWERS & BATHS TO HAVE CUSTOM TEMPERED GLASS. SWING DOORS. SUBMIT SHOP DWGS FOR REVIEW.

1 UPPER FLOOR PLAN
SCALE: 3/16" = 1'-0"





WINDOW & DOOR NOTES:

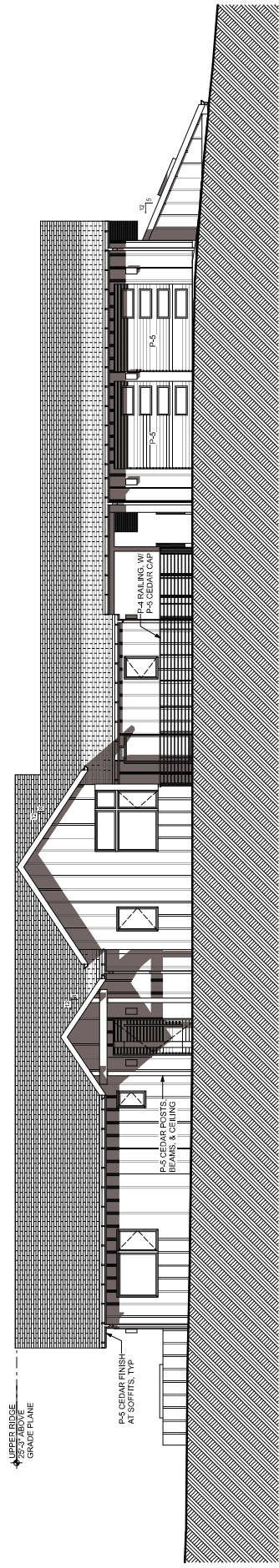
- ALL WINDOW & DOOR QUANTITIES & ROUGH OPENING SIZES TO BE VERIFIED BY THE FIELD ENGINEER PRIOR TO CONSTRUCTION.
- ALL WINDOWS & DOORS TO MEET REQUIREMENTS OF CURRENT ENERGY CODE. REFER TO ELEVATIONS FOR MILLING, DIVIDED LITE PATTERNS & OPERATION.
- PROVIDE SAFETY/TEMPERED GLASS WHERE REQUIRED BY CODE.
- DO NOT PROVIDE DOOR LITES UNLESS NOTED OTHERWISE.
- EXTERIOR DOORS TO BE WEATHER SEALED.
- FULL-LITE EXTERIOR DOORS TO HAVE L4040 MAX.
- OTHER EXTERIOR DOORS TO HAVE L4040 MAX. (SEE L4040 FOR DETAILS)
- EXTERIOR DOORS TO BE WOOD OR FIBERGLASS. TYPED BY OWNER.
- INTERIOR DOORS TO BE WOOD OR FIBERGLASS. TYPED BY OWNER.
- PROVIDE 1/2" MIN. AT DOOR THRESHOLD TO MEET CURRENT STANDARDS.
- BARRED GLASS TO OPENING BY 2" MIN. UP TO 36" HIGH.
- PROVIDE PRIVACY LOCK AT BEDROOMS / OFFICE / CRAFT / BATHROOMS, ETC.

DOOR NOTES:

- DO NOT PROVIDE DOOR LITES UNLESS NOTED OTHERWISE.
- EXTERIOR DOORS TO BE WEATHER SEALED.
- FULL-LITE EXTERIOR DOORS TO HAVE L4040 MAX.
- OTHER EXTERIOR DOORS TO HAVE L4040 MAX. (SEE L4040 FOR DETAILS)
- EXTERIOR DOORS TO BE WOOD OR FIBERGLASS. TYPED BY OWNER.
- INTERIOR DOORS TO BE WOOD OR FIBERGLASS. TYPED BY OWNER.
- PROVIDE 1/2" MIN. AT DOOR THRESHOLD TO MEET CURRENT STANDARDS.
- BARRED GLASS TO OPENING BY 2" MIN. UP TO 36" HIGH.
- PROVIDE PRIVACY LOCK AT BEDROOMS / OFFICE / CRAFT / BATHROOMS, ETC.

DOOR SCHEDULE					
MARK	ROOM	SIZE		TYPE	NOTES
		W	H		
21		2'-0"	5'-0"		
22		5'-0"	5'-0"		
23		5'-0"	5'-0"		
24		5'-0"	5'-0"		
25		2'-6"	5'-0"		
26		5'-0"	5'-0"		
27		5'-0"	5'-0"		
28		2'-4"	5'-0"		
29		4'-0"	5'-0"		
30		2'-4"	5'-0"		
31		2'-4"	5'-0"		
32		4'-0"	5'-0"		
33		5'-0"	5'-0"		
34		3'-0"	5'-0"		
35		2'-6"	5'-0"		

DOOR SCHEDULE					
MARK	ROOM	SIZE		TYPE	NOTES
		W	H		
1	GARAGE	8'-0"	8'-0"		
2	GARAGE	8'-0"	8'-0"		
3		3'-0"	8'-0"		
4		3'-0"	8'-0"		
5		2'-6"	8'-0"		
6		3'-0"	8'-0"		
7		3'-0"	8'-0"		
8		3'-0"	8'-0"		
9		2'-4"	8'-0"		
10		4'-0"	8'-0"		
11		3'-6"	8'-0"		
12		2'-6"	8'-0"		
13		3'-0"	8'-0"		
14		2'-6"	8'-0"		
15		2'-6"	8'-0"		
16		2'-6"	8'-0"		
17		3'-0"	8'-0"		



1 WEST ELEVATION

SCALE: 3/8" = 1'-0"

WINDOW & DOOR NOTES:

- ALL WINDOW & DOOR QUANTITIES & ROUGH-OPENING SIZES TO BE VERIFIED BY THE INSTALLER.
- ALL WINDOWS & DOORS TO MEET REQUIREMENTS OF CURRENT ENERGY CODE. REFER TO ELEVATIONS FOR MALLING, DIVIDED LITE PATTERNS & OPERATION.
- REFER TO MANUFACTURERS APPROVED ORDER FOR FINAL ROUGH OPENINGS.

WINDOW NOTES:

- PROVIDE SAFETY/TEMPERED GLASS WHERE REQUIRED BY CODE.
- SEE SCHEDULE FOR UNIT ROUGH OPENING SIZES & HEADER HEIGHT.
- ALL WINDOWS TO HAVE MINIMUM CLEAR AREA OF 5.7 SQ. FT.
- EGRESS OPENINGS TO HAVE MIN WIDTH OF 20" AND MIN HEIGHT OF 24".
- WHERE SILL IS LESS THAN 24" ABOVE FLOOR, AND MORE THAN 12" ABOVE GRADE, WINDOW OPENINGS TO BE LESS THAN 4" OR FALL PREVENTION PER ASTM F2090.
- REFER TO MANUFACTURERS APPROVED ORDER FOR FINAL ROUGH OPENINGS.

WINDOW SCHEDULE					NOTES	
MARK	QUANTITY	WIDTH	HEIGHT	HT ABOVE FLOOR		
E1	3	3'-3"	2'-8 1/2"	5'-6"		
E2	1	2'-4"	5'-0"	8'-1 1/2"		
E3	2	3'-0"	6'-0"	8'-0"		
E4	1	7'-0"	8'-0"	8'-0"		
E5	2	8'-0"	8'-0"	8'-0"		
E6	1	8'-0"	8'-0"	8'-0"		
E7	1	3'-0"	3'-6 1/2"	12'-0"		
E8	1	8'-0"	8'-0 1/2"	15'-0"		
E9	1	3'-0"	3'-8 1/2"	12'-0"		
E10	1	2'-4"	5'-0"	8'-0"		
E11	1	4'-0"	5'-0"	8'-0"		
E12	1	3'-0"	6'-0"	8'-0"		
E13	1	6'-0"	6'-0"	8'-0"		
E14	2	2'-4"	2'-0"	8'-0"		
E15	2	2'-4"	4'-0"	8'-0"		
E17	2	3'-0"	6'-0"	8'-0"		
E18	1	2'-0"	5'-0"	8'-0"		
E19	1	4'-0"	5'-0"	8'-0"		
E20	1	2'-0"	5'-0"	8'-0"		
E21	1	4'-0"	5'-0"	8'-0"		
E22	1	3'-0"	6'-0"	8'-0"		
E23	1	5'-4"	6'-0"	8'-0"		
N1	1	2'-4"	4'-3"	7'-6"		
N2	1	3'-0"	6'-0"	8'-0"		
N3	1	5'-4"	6'-0"	8'-0"		
N4	1	3'-0"	6'-0"	8'-0"		
N5	1	3'-0"	6'-0"	8'-0"		
N6	1	5'-4"	6'-0"	8'-0"		
S1	1	2'-4"	3'-0"	7'-0"		
S2	1	3'-4"	4'-3"	7'-0"		
S3	1	3'-4"	2'-3"	10'-0"		
S4	1	4'-0"	6'-0"	8'-0"		
S5	1	3'-0"	6'-0"	8'-0"		
S6	1	2'-4"	3'-0"	8'-0"		
S7	1	4'-0"	6'-0"	8'-0"		
S8	1	2'-4"	5'-0"	8'-0"		
W1	1	2'-4"	3'-0"	7'-0"		
W2	1	3'-0"	7'-0"	7'-0"		
W3	1	2'-4"	4'-3"	7'-0"		
W4	1	2'-0"	5'-0"	10'-0"		
W5	1	4'-4"	5'-0"	10'-0"		
W6	1	2'-0"	4'-3"	7'-0"		
W7	1	1'-4"	3'-0"	7'-0"		
W8	1	2'-4"	4'-3"	7'-0"		
W9	1	4'-0"	4'-3"	7'-0"		
W10	1	4'-0"	4'-3"	7'-0"		
W11	1	3'-0"	2'-4"	8'-0"		

2 NORTH ELEVATION

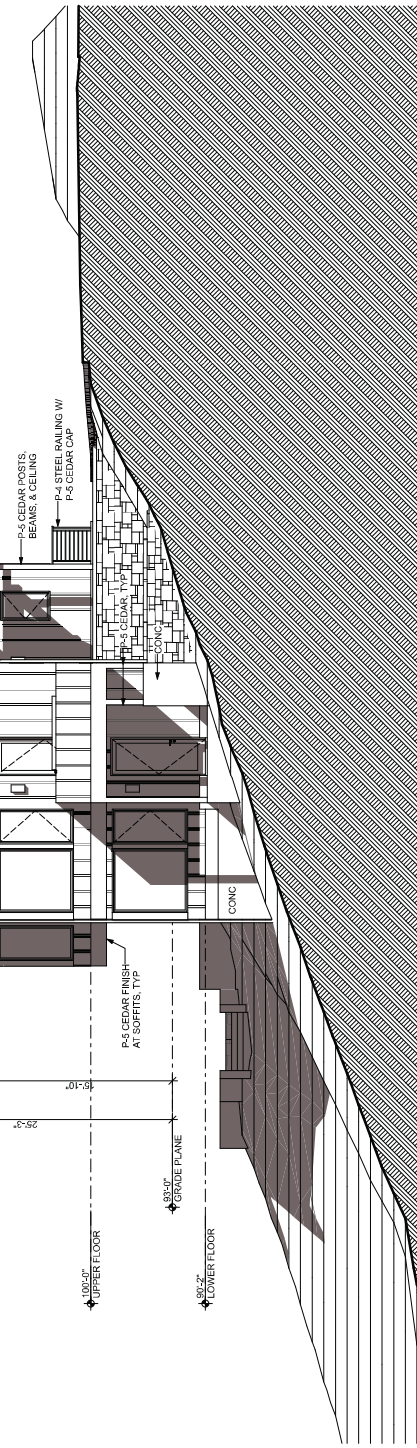
SCALE: 3/8" = 1'-0"

GENERAL NOTES

1. ALL SIDING TO BE OVER CODE APPROVED WEATHER RESISTIVE BARRIER (WRB) AND RAINSCREEN SYSTEM.
2. FLASH AND SINGLE WRB AT ALL PENETRATIONS THROUGH ROOF, WALLS, FLOORS, AND FOUNDATIONS. AAMA STANDARDS. USE SILL PANS AT ALL LOCATIONS.
3. NOTES ON SHEET APPLY TO ALL SIMILAR CONDITIONS.
4. SEE PLAN & SCHEDULE FOR EXTERIOR DOORS & WINDOWS.
5. PROVIDE MOCK-UP OF SIDING, TRIM, AND SOFFIT BOARDS FOR OWNER & ARCHITECT REVIEW.
6. SEE AS FINISHES FOR ADD. INFO. ALL SURFACES TO BE BODY COLOR (P-1 / P-2) UNLESS NOTED OTHERWISE.

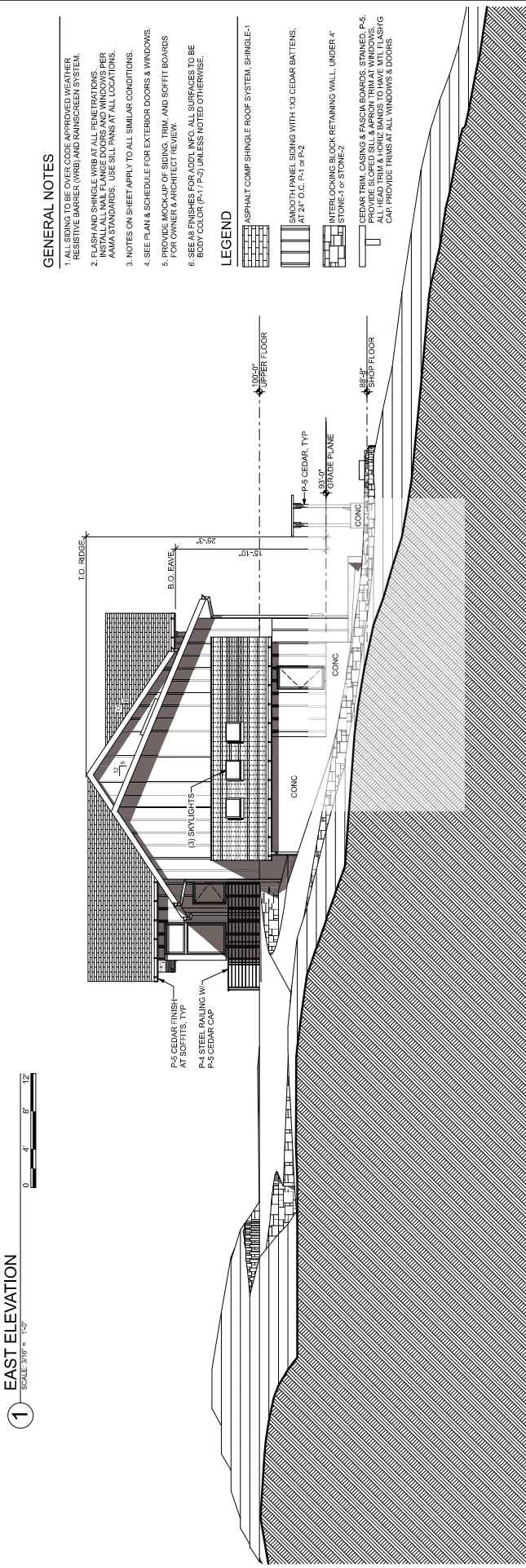
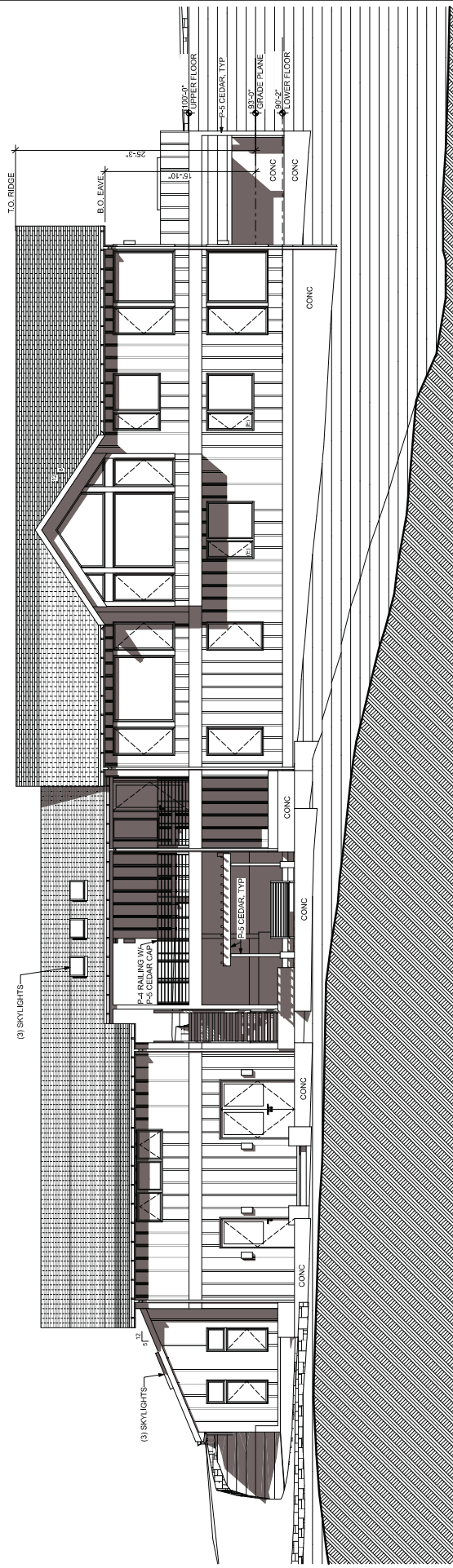
LEGEND

- ASPHALT COMP SINGLE ROOF SYSTEM, SHINGLE-L-1
- SMOOTH PANEL SIDING WITH 1X3 CEDAR BATTENS, AT 24" O.C. P-1 or P-2
- INTERLOCKING BLOCK RETAINING WALL, UNDER 4" STONE-1 or STONE-2
- CEDAR TRIM, CASING & FASCIA BOARDS, STAINED, P-4; PROVIDE SLOPED SILL & APRON TRIM AT WINDOWS. P-4; PROVIDE SLOPED SILL & APRON TRIM AT WINDOWS. P-4; PROVIDE TRANS AT ALL WINDOWS & DOORS.



2 NORTH ELEVATION

SCALE: 3/8" = 1'-0"



GENERAL NOTES

1. ALL SIDING TO BE OVER CODE APPROVED WEATHER RESISTIVE BARRIER (WRB) AND RAINGUARD SYSTEM.
2. FLASH AND SHINGLE WRB AT ALL PENETRATIONS. INSTALL ALL NAIL FLANGE DOORS AND WINDOWS PER AIAA STANDARDS. USE SILL PANS AT ALL LOCATIONS.
3. NOTES ON SHEET APPLY TO ALL SIMILAR CONDITIONS.
4. SEE PLAN & SCHEDULE FOR EXTERIOR DOORS & WINDOWS.
5. PROVIDE MOCKUP OF SIDING, TRIM, AND SOFFIT BOARDS FOR OWNER & ARCHITECT REVIEW.
6. SEE ALL FINISHES FOR ADDL INFO. ALL SURFACES TO BE BODY COLOR (P-1 / P-2) UNLESS NOTED OTHERWISE.

LEGEND

- ASPHALT COMP SHINGLE ROOF SYSTEM, SHINGLE-1
- SMOOTH PANEL SIDING WITH 1X3 CEDAR BATTENS, AT 24" O.C. P-1 or P-2
- INTERLOCKING BLOCK RETAINING WALL, UNDER 4" STONE-1 or STONE-2
- CEDAR TRIM, CAVING & FLASH BANDS, STAINED P-4. PROVIDE SLOPED SILL & ABRONIT TRIM AT WINDOWS. ALL HEAD TRIM & HORIZ BANDS TO HAVE MTL FLASHING CAP. PROVIDE TRIMS AT ALL WINDOWS & DOORS.



P-1: HOUSE BODY COLOR, (OPT. 1)
R039 - INDIGO LEAVES



P-2: HOUSE BODY COLOR, (OPT. 2)
R037 - MIDNIGHT WANDERER



P-3: PAINTED TRIM COLOR
R048 - VINTAGE SHUTTLE



P-4: WINDOW FRAME / TRIM / METAL RAILING
R039 - CHOCOLATE BARK



SHINGLE-1
GINGER BLACK



SHINGLE-2
MAX DEF BLACK WALNUT



SHINGLE-3
MAX DEF MOIRE BLACK



MTL-1
CHESTNUT BLACK, SRI-NA

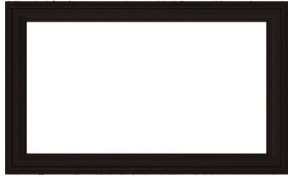


MTL-2
KODIAK BROWN, SRI-22



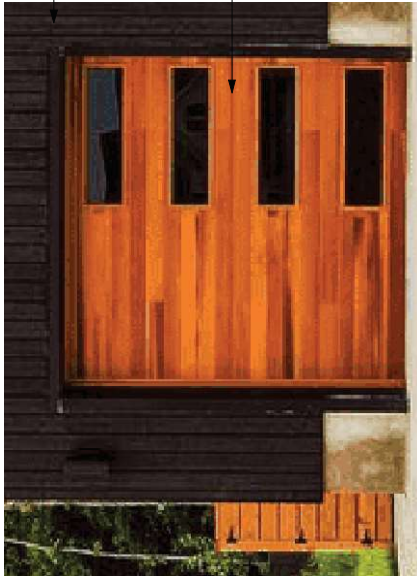
CEDAR, P-5
TYPICAL AT EXTERIOR DOORS, WOOD
TRIM, CEILING, CLOSET DOORS, BEAMS,
CEILING, AND SOFFITS

GLAZING
CUSTOM VERTICAL LITE WITHIN DOOR



MILGARD VINYL WINDOW
BLACK-BEAN OR EQUAL

ENTRY DOOR, CUSTOM WOOD & GLASS
DANUM BY ETO DOORS, OR EQUAL



P-1 / P-2
TYPICAL HOUSE BODY COLOR

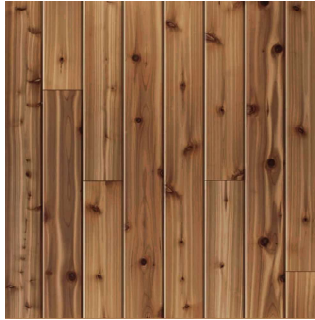
GARAGE DOOR
CITIL OVERHEAD DOORS, CONTEMPORARY COLLECTION
WOOD-LOOK GARAGE DOORS
STACKED BLACK FRAME WINDOWS AND PLAIN GLASS



GRAVEL FINISH
AT LANDSCAPE PATHS



CONCRETE FINISH
AT SITE PAVING, CURBS,
& RETAINING WALLS



P-5: TIGHT-KNOT CEDAR, CLEAR FINISH
ACCENT WALL(S); SOFFITS; CEILING BEAM CASING, GUARDRAIL CAP



STONE-1: GEORGETOWN RUN - PHANTOM SHADOW
ACCENT WALL(S); SITE RETAINING WALL



STONE-2: GEORGETOWN RUN - MORNING ASPEN
ACCENT WALL(S); SITE RETAINING WALL

MATERIAL / PRODUCT / FINISH NOTES:

CONTRACTOR TO SUBMIT SAMPLES, MOCK-UPS, AND DRAWINGS FOR FINAL OWNER APPROVAL OF ALL MATERIALS, COLORS, AND PRODUCTS.
SEE DRAWINGS AND SCHEDULES FOR ADDITIONAL INFORMATION.
PROVIDE SAFETY/TEMPERED GLASS WHERE REQUIRED BY CODE. ALL GLASS TO BE CLEAR / NON-REFLECTED.
ALL COATINGS, PAINTS AND STAINS TO BE IN LOW-REFLECTIVE WHITE FINISH.
PAINT COLORS FROM THE MILLER PAINT WORKSHEET COLOR COLLECTION, OR COLOR MATCHED FROM ALTERNATE MANUFACTURER.
METAL ROOFING COLORS BASED ON ANY OR METAL PRODUCTS, STANDARD ARMORTECH COATINGS, 40-YEAR LIMITED WARRANTY, OR EQUAL.
SRI+ SOLAR REFLECTIVE INDEX VALUE.
ASPHALT SHINGLE COLOR BASED ON CERTAINTED LANDMARK PRO DESIGNER ROOF SHINGLES.
STONE CLADDING COLOR AND PATTERN BASED ON EVOLVE STONE MORTARLESS SERIES.
ALL WINDOWS AND SLIDING DOORS TO BE MILGARD VINYL, BLACK-BEAN OR OF MATCHING COLOR FROM ALTERNATE MANUFACTURER.
ALL DOORS TO WOOD FINISH, TO MATCH P-5 WOOD SAMPLE, OR FACTORY COATED TO MATCH BLACK-BEAN MILGARD VINYL WINDOWS.
GARAGE DOOR BASED ON CLOSING AVANTE ALUMINUM, MODEL 9920, BLACK ALUMINUM FINISH, SATIN ETCHED GLASS.
COLORS AND FINISHES ARE VERY CLOSE APPROXIMATIONS, AND MAY VARY SLIGHTLY BY MANUFACTURER.

Jupiter Collection 18 1/2" High Black LED Landscape Path Light

★★★★★ 9 reviews

\$45.99

Pay in 4 interest-free payments of \$11.50 with **PayPal**. Learn More.

SHIPS FREE WITH OVERSEAS COSTS £40*

SHIPS FROM NEWCASTLE (UK)

Build Full System

☐ 1

ADD TO CART

Finish: Black

Brass: Black

FIXTURE C - PATH LIGHT #1

VIEW IN YOUR ROOM

Build Full System

☐ 1

ADD TO CART

Product Details

Only if you want, but having a light output comparable to a 30 watt incandescent, this energy saving LED path light is a great way to illuminate garden walkways or flower beds.

Additional Info:

Brighten your pathways in low profile, modern style with the Chesapeake LED Path Light. The output is energy efficient, long lasting and has a sleek look that will blend into any landscape lighting system.

- 12 1/2" high x 8 3/4" wide x hood is 8 3/4" wide, 2" high, includes 18' high and 6" high pole, 5' high, shade included.
- 3 watt LED module.
- 2000 lumens, 2700K, warm white, incandescent bulb, integrated 3 watt LED module.
- Chesapeake LED landscape lighting path light, from the Super Duty collection by the John Industries



Largo Midform 167 High Bright Low Voltage LED Landscape Light

★★★★★ 19 Reviews

\$49.99

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FREE SHIPPING*
 Ships Today! Arrives by 7 PM local

1 **\$49.99 (\$49.99)** **SAVE**



Quick Color Selection

Finish: Bronze

Back

Options


Get in your home

0 **1** **2** **3** **4** **5** **6** **7** **8** **9** **10**



0 **1** **2** **3** **4** **5** **6** **7** **8** **9** **10**

[illegible]

Silo Small Down Light Wall Lantern in Black by Hinkley Lighting			
Product Number:	6385196 or 780097	Dark Side:	Yes
Manufacturer:	Hinkley	AOA Compliant:	No
Model Number:	1350864-L	Material:	Composite
Collection:	Silo	Shipping:	UPS Regular
Manufacturer Finish:	Black	Certification Agencies:	UL, CUL, CSA
Manufacturer Material:	Aluminum	Backplate Material:	4 x 6 in.
Finish:	Black	Wet Location:	Yes
Glaze Treatment:	Etched	Damp Location:	Yes
Total Wattage:	6 w	Harsh Environment:	Coastal
Voltage Type:	Line Voltage	Weight:	1.30 lbs
Voltage Input:	120 v.	Height:	10.00 in.
Average Rated Life:	20,000 hrs.	Width:	6.00 in.
		Dimmable:	Yes
		Watt LED:	CTL
		Dimmable:	Dimmer
		Height:	6.00 in.
		Width:	6.00 in.
		Length:	5.75 in.
		Wattage:	6
		Base Type:	LED
		Watt Load (GU10):	10 w
		Number of Lights:	Yes
		Built Included:	Yes
		Color Rendering Index:	90
		Made in America:	No
		Dusk To Dawn:	No
		Material:	Aluminum
		Finish:	Black
		THH 24:	Yes

502-729-2869
info@nathanarchitect.com 6811 SW 54th Ave, Midland, TX 79701

NATHAN COOPER ARCHITECT, LLC

**PRELIMINARY
NOT FOR
CONSTRUCTION**

Outdoor Wall Light in Bronze Finish			EnergySaver Shade		W W		Certification Backpack		Harsh Environments Made in		
	Product Number: 883825		Manufacturer: Despres Conain Lighting		Model Number: 231712		Material: Cast Iron		Finish: Bronze		
		Manufacturer Finish: Bronze		Manufacturer Shade Color: Bronze		Total Weight: 100 lb.		Voltage Type: Low Voltage		Voltage: 120V	
		Length: 8.00in.		Width: 7.00in.		Depth: 8.00in.		Weight: 100		Bulb Shape: Medium Screw (E26)	
		Bulb Type: Incandescent		Bulb Base: A19		Base Type: Medium Screw (E26)		Number of Bulbs: 1		Bulb Included: No	
		Bulb Dimmable: Yes									

WAC Lighting Mac Landscape Black LED Surface Mounted Step Light

Product Number: P203118 or P20528	Shipping: UPS Regular
Manufacturer: WAC Lighting	Certification Agencies: ETL
Model Number: WACLED185-GRK	Wet Location: Yes
Finish: Mac Landscape	Damp Location: Yes
Manufacturer Finish: Black	Weight: 0.4 lbs
Total Weight: 3.5 lb	Kelvin Temperature: 3000
Storage Type: Box Storage	Lumens: 3
Volts: 120V	Wattage: 18W
Average Rated Life: 50,000 hrs	Tile Size: Yes
Height: 3.13 in.	
Width: 5.00 in.	
Depth: 1.68 in.	
Warranty: 3.5	
Sub Type: LED	
Back Type: Integrated LED	

FIXTURE F - WALL WASH LIGHT (opt 1)

Black LED Recessed Step Light with White LED by WAC Lighting

[illegible]

Black Outside Wall Light Square Cylinder Down Light			Shade Material: Aluminum		Weight: 1.5kg	
	Product Number: CS236		Design: Q233		Made In: America	
Black Outside Wall Light Square Cylinder Down Light	Manufacturer: Lighting		Certification: Agencio		Dusk to Dawn: Yes	
	Model Number: 17750		Badplata Dimension: 177x50mm		Material: Aluminum	
Black Outside Wall Light Square Cylinder Down Light	Finish: Black		Badplata Dimension: 177x50mm		Title: 2	
	Manufacturer Finish: Matte Black		Damp Location: Yes			
Black Outside Wall Light Square Cylinder Down Light	Manufacturer Shade Color: Matte Black		Harsh Envriont/Coastal: Yes			
	Total Wattage: 7 w.					
Black Outside Wall Light Square Cylinder Down Light	Voltage Type: Line Voltage					
	Voltage: 120V					
Black Outside Wall Light Square Cylinder Down Light	Width: 4.3 in.					
	Depth: 3.8 in.					
Black Outside Wall Light Square Cylinder Down Light	Wattage: 7					
	Bulb Type: LED					
Black Outside Wall Light Square Cylinder Down Light	Bulb Type: LED					
	Base Type: Twist Lock (d170)					
Black Outside Wall Light Square Cylinder Down Light	Number of Bulbs: 1					
	Bulbs Included: No					
Black Outside Wall Light Square Cylinder Down Light	Bulb Color: Clear					
	Bulb Color: Clear					
Black Outside Wall Light Square Cylinder Down Light	EnergyStar Compliant: No					

[illegible][illegible]



SLS Small Down Light Wall Lumen in Black by Hideo Lighting

Product Number: P23018 (or 78097)

Manufacturer: Hideo

Model Number: 135068-LL

Collection: SLS

Manufacturer Finish: Black

Material: Steel

Glass Treatment: Etched

Total Wattage: 6 w.

Voltage Type: Line Voltage

Voltage Input: 120 v.

Average Rated Life: 15,000 hrs.

Dimmable: No

Ornament: Downer

Height: 8.00 in.

Width: 3.00 in.

Length: 5.75 in.

Wattage: 6

Bulb Type: LED

Base Type: Twist Lock (GU10)

Numbers: 1

Bulb Included: Yes

Dark Sky: No

ADA Compliant: No

Material: Steel

Shipping: Standard

Certification Agency: ETL

Backpack: No

Wet Location: No

Damp Location: No

Harsh Environment: Coastal

Weight: 1.00 lb.

Kelvin Temp: Warm White

Lumens: 400

Color Rendering Index: 90

Made in America: No

Draw to Open: No

Material: Steel

Finish: Black

Item #: TH242

STRUCTURE A - WALL SCONCE #1 (opt)

[illegible]

Jaysen Collection 18 1/2" High Black LED Landscape Path Light

★★★★★ 9 Reviews

\$45.99

Pay in 4 interest-free payments of \$11.50 with **PayPal Layaway** starting 1/20/20

SHIPS FREE WITH ORDERS OVER \$49*
**excludes heavy machinery items*

BUILD-A-BUY Solution

Finish: Black

Base: Black

\$69.99

Pay in 4 interest-free payments of \$17.50 with **PayPal Layaway** starting 1/20/20


QUICK-TO-GET Solution

FREE SHIPPING*
**excludes heavy machinery items*

PATH LIGHT #1

VIEW IN YOUR ROOM

[illegible]



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FIXTURE C



Product Details

Using only 3 watts, but having the same output as a 30-watt incandescent bulb, this energy-efficient LED fixture can illuminate garden walkways or stairs.

Additional Info:

Brighten your pathways in the garden with a recessed LED light fixture. The fixture can be installed in a variety of locations, including in landscape lighting systems.

FIXTURE DETAILS



Product Details
Illuminate your back and front
stately bronze.

Additional Info:
This stylish path light is a perfect
walkways and garden accents.
This "mudroom top" design
life energy-efficient LED m
And, because it uses so little
transformer and overall lan

FIXTURE E

