

14 DAY OPPORTUNITY TO COMMENT



www.multco.us/landuse ▪ Email: land.use.planning@multco.us ▪ Phone: (503) 988-3043

Application for Significant Environmental Concern for Scenic View (SEC-v) and Significant Environmental Concern for Wildlife Habitat (SEC-h)

CASE FILE: T2-2024-0079

APPLICANT: Shawn McFaul

LOCATION: No situs address along NW McNamee Road **Property ID #** R215989

Map, Tax lot: 2N1W19D -00500

Alt. Acct. # R553601300

BASE ZONE: Rural Residential (RR)

OVERLAYS: Geologic Hazards (GH)
Significant Environmental Concern for Scenic View (SEC-v)
Significant Environmental Concern for Wildlife Habitat (SEC-h)

PROPOSAL: Request for Significant Environmental Concern for Scenic View (SEC-v) and Significant Environmental Concern for Wildlife Habitat (SEC-h) permits for a new single-family dwelling, accessory structures [septic system (tank, piping, and drainfield), propane tank, generator, stormwater drainage control system, and retaining wall] and private driveway. The request also includes an exemption request for a Geologic Hazards (GH) permit.

- ❖ **COMMENT PERIOD:** Neighbors are invited to submit written comments for the proposal described above. Comments should be directed toward the approval criteria listed below. Any neighbor that submits comments will receive the County's complete decision. Written comments will be accepted at LUP-comments@multco.us, if received by **4:00 pm on Thursday, January 9, 2025**. **If you do not wish to submit comments, no response is necessary.**

Further information regarding this application is available by contacting LUP-comments@multco.us. Paper copies of these materials may be purchased for \$0.46/per page.

- ❖ **APPLICABLE APPROVAL CRITERIA** [Multnomah County Code (MCC)]:

General Provisions: MCC 39.1250 Code Compliance and Applications, MCC 39.2000 Definitions, MCC 39.6235 Stormwater Drainage Control, MCC 39.6850 Dark Sky Lighting Standards

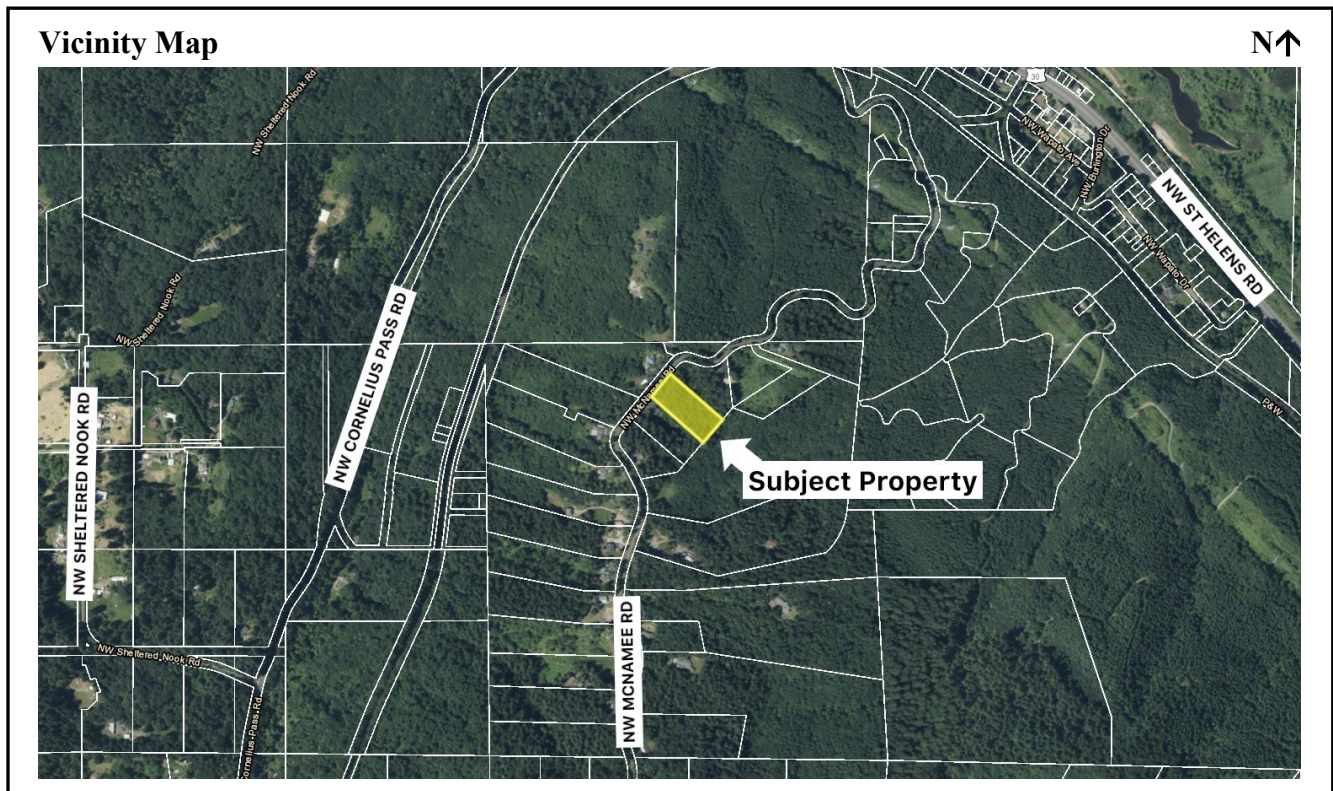
Lot of Record: MCC 39.3005 Lot of Record - Generally, MCC 39.3090 Lot of Record - Rural Residential (RR)

Rural Residential (RR): MCC 39.4360(A) Allowed Uses - Residential use consisting of a single family dwelling on a Lot of Record..., MCC 39.4360(F) Allowed Uses – Accessory Structures..., MCC 39.4375(C), (D), and (F)–(H) Dimensional Standards and Development Standards

Geologic Hazards (GH): MCC 39.5080 Exemptions

Significant Environmental Concern Overlays (SEC): MCC 39.5510 Uses; SEC Permit Required, MCC 39.5580 Nuisance Plant List, MCC 39.5650 Criteria for Approval of SEC-v Permit – Significant Scenic Views, MCC 39.5860 Criteria for Approval of SEC-h Permit – Wildlife Habitat

Copies of the referenced Multnomah County Code sections can be obtained by visiting our website at <https://multco.us/landuse/zoning-codes/> under the link **Chapter 39 – Zoning Code** or by contacting our office at (503) 988-3043.



- ❖ **DECISION MAKING PROCESS:** The Planning Director will render a decision on this application after the comment period expires. Notice of the Director's decision will be mailed to the applicant, parties within 750 feet of the subject property, and any other persons who submitted written comments during the comment period. The Planning Director's decision can be appealed. An explanation of the requirements for filing an appeal will be included in the notice of decision.

- ❖ **IMPORTANT NOTE:** Failure to raise an issue before the close of the public record in sufficient detail to afford the County and all parties an opportunity to respond may preclude appeal on that issue to the Land Use Board of Appeals.

- ❖ **ENCLOSURES:**
 - Zoning Map
 - Site Plan
 - Floor Plan
 - Building Elevation

Notice to Mortgagee, Lien Holder, Vendor, or Seller:

ORS chapter 215 requires that if you receive this notice, it must promptly be forwarded to the purchaser.

Map showing the zoning of the subject property and surrounding area

Land Use Planning





1 VICINITY PLAN
NOT TO SCALE

PROJECT ADDRESS:

Tax Lot: 2N1W19D-00500
Real Property ID: R215989
NW McNamee Rd,
Portland, OR 97231

OWNER:

Katherine Heekin & Shawn McFaul
1730 S Harbor Way #505
Portland, OR 97231
phone: (503) 967-5229
email: kghndaw@gmail.com

CONTRACTOR:

Seas Engineering, Civil Engineering Services
Tom Skuzi, P.E.
6811 SW 3564 Avenue
Portland, OR 97219
phone: (503) 967-5279
email: tomseas@seasengineering.com

ARCHITECT:

Nathan Coprider, LLC
6775 SW 111th Sully 20
Bastrop, OR 97108
phone: 503-967-4555
email: jonathan@seasengineering.com

STRUCTURAL ENGINEER:

Messard Engineering Group Inc.
6775 SW 111th Sully 20
Bastrop, OR 97108
phone: 503-967-4555
email: jonathan@seasengineering.com

PROJECT DESCRIPTION:

Build new Single Family Residence with 3 bedrooms, 2 bathrooms, 3 half-bathrooms and an attached 2 car garage.

SQUARE FOOTAGE:

Upper Floor 1600 sq.ft.
Lower Floor 2500 sq.ft.
Total Conditioned Space 4100 sq.ft.
Garage (unconditioned) 770 sq.ft.

GENERAL NOTES:

Site information concerning existing conditions are suitable for preparation of the Drawings and for the design of the proposed improvements. It is the responsibility of the Contractor to confirm the accuracy of such information. It is the responsibility of the Contractor to inform himself and the necessary officials as to the conditions affecting the Work.
The Work shall conform to the Contract Documents, Oregon Residential Specialty Code (latest edition), and all applicable local building codes.
The Contract Documents include Architectural and Engineering Drawings. Specifications if applicable, and any Addendums to the same mentioned. The intent of the Contract Documents is to include all items necessary for the completion of the Work. Work not shown or specified in the Contract Documents shall be provided by the Contractor. Work being necessary to produce the intended results. Damaged or defective work shall be immediately repaired or replaced to the approval of the Architect and at no additional cost to the Owner.
Dimensions shall be to face of framing or face of concrete unless otherwise indicated. Written dimensions take precedence over drawing scale. Do not scale drawing.
Contractor shall verify all dimensions and field conditions before proceeding and notify Architect of any discrepancies. Contractor shall provide adequate bracing and shoring as required for all construction. Contractor shall be responsible for obtaining all necessary permits. Contractor will notify the Owner, Architect, Engineer, and the local building official at critical points in the construction process. Contractor will obtain inspections per ORSC, RT09 and special inspections from an independent testing lab as required by the local municipality.
The Architect and Engineers have not been retained or compensated to provide design and/or construction management services. The Contractor shall be responsible for obtaining all necessary permits, techniques, sequences or procedures for the contractor to perform their work. The understanding of periodic site visits by the Architect or Engineer shall not be construed as approval of the work. The Contractor shall be responsible for the performance of the work by the Contractor or the Contractor's employees, or employees of suppliers or subcontractors, or for access, visits, use, work, travel, or occupation by any person on the site. The Contractor shall be responsible for providing adequate safety of all persons and shall provide appropriate protection to any damage, injury or loss to property of the Contractor and all other affected persons. All work, materials, and equipment, Other property at the site or adjacent thereto.

DRAWING INDEX:

- G1 GENERAL INFO / SITE PLAN
- G2 AREA MAP
- G3 SURVEY
- C1 UTILITY PLAN & DETAILS
- A1 SITE PLAN - PARTIAL POSITION CONTROL PLAN
- A2 LOWER FLOOR PLAN & LIGHTING PLAN
- A4 UPPER FLOOR PLAN & LIGHTING PLAN
- A5 ROOF PLAN
- A6 EXTERIOR ELEVATIONS
- A7 FINISHES
- A8 EXTERIOR ELEVATIONS
- A9 LIGHT FIXTURES

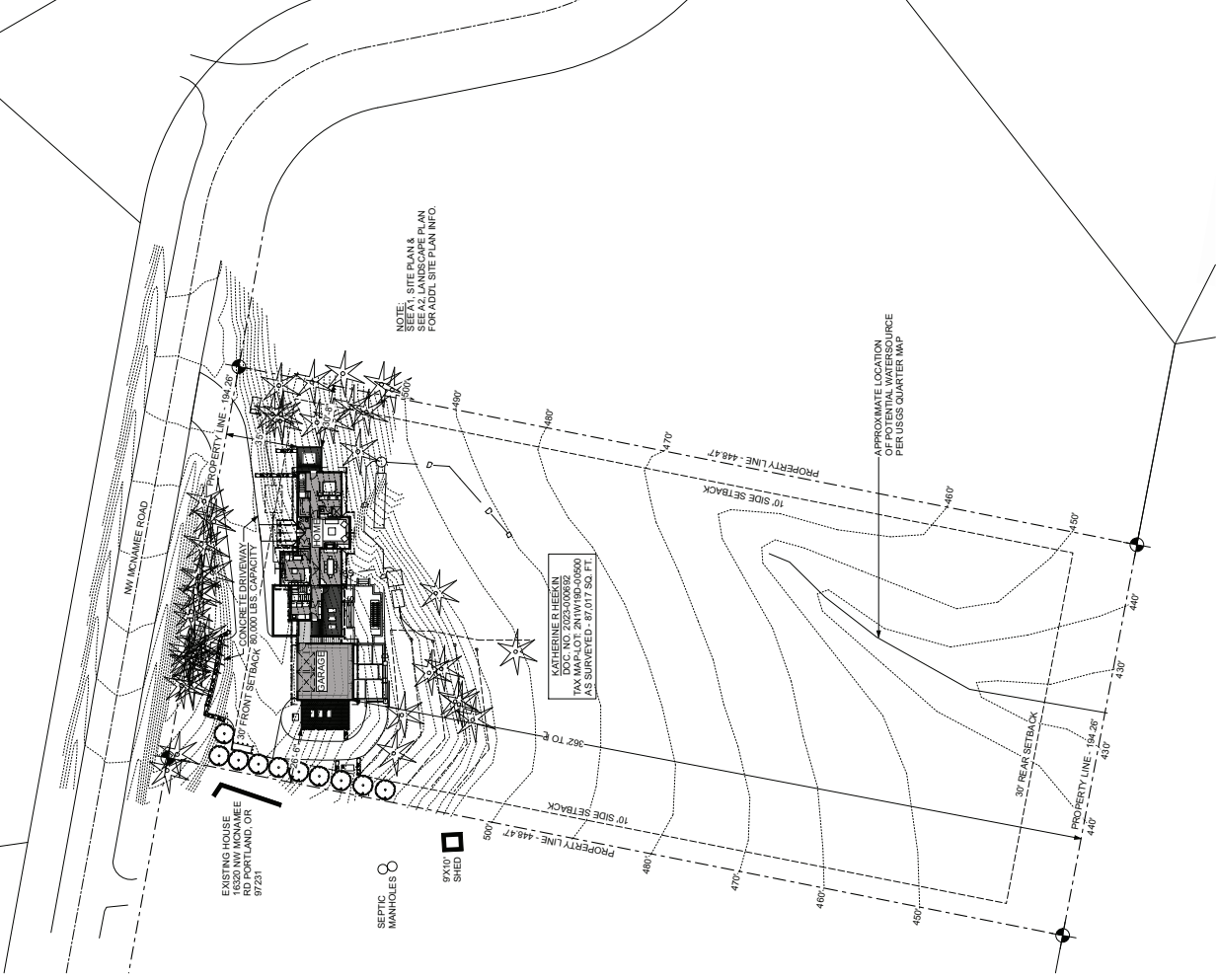
NATHAN COPRIDER ARCHITECT, LLC
 PRELIMINARY
 NOT FOR CONSTRUCTION

HEEKIN-MCFAUL RESIDENCE
 TAX LOT: 2N1W19D-00500
 NW McNamee Rd, Portland, OR 97231

THESE DIMENSIONS ARE COPYRIGHT PROTECTED AND NOT BE REPRODUCED OR REPOSTED WITHOUT WRITTEN PERMISSION FROM NATHAN COPRIDER ARCHITECT

DATE	REVISION
8/6/24	LAND-USE SET

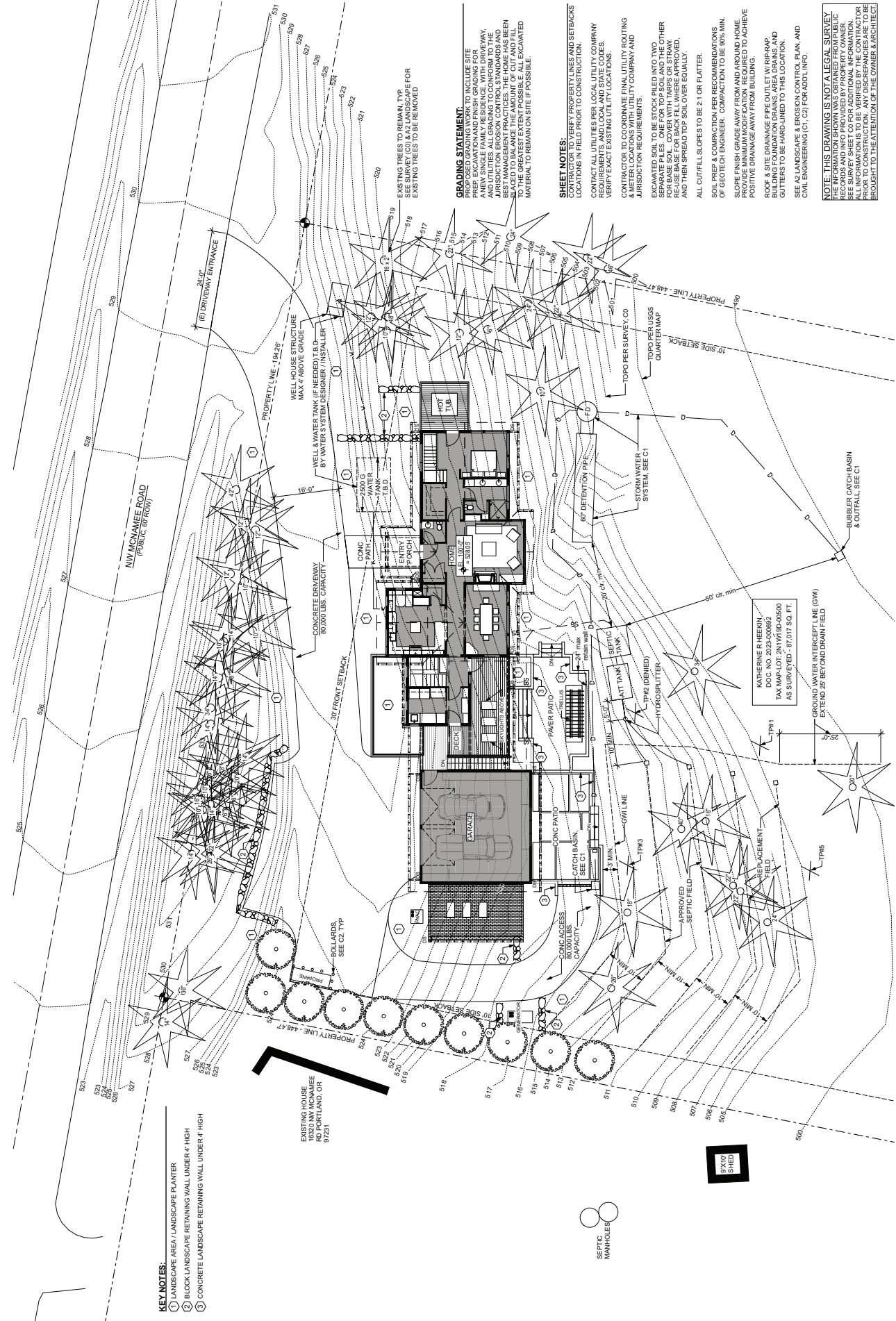
G1
 GENERAL INFO / SITE PLAN



NOTE: THIS DRAWING IS NOT A LEGAL SURVEY
 THIS DRAWING IS FOR INFORMATIONAL PURPOSES ONLY.
 RECORDS AND INFO PROVIDED BY PROPERTY OWNER.
 SEE SURVEY SHEET CO FOR ADDITIONAL INFORMATION.
 THIS DRAWING IS NOT TO BE USED FOR CONSTRUCTION. ANY DISCREPANCIES ARE TO BE BROUGHT TO THE ATTENTION OF THE OWNER & ARCHITECT.

2 FULL SITE PLAN
 SCALE: 1" = 30'
 0 30' 60'

DATE	REVISION
8/6/24	LAND-USE SET



- KEY NOTES:**
- ① LANDSCAPE AREA / LANDSCAPE PLANTER
 - ② BLOCK LANDSCAPE REMAINING WALL UNDER 4' HIGH
 - ③ CONCRETE LANDSCAPE REMAINING WALL UNDER 4' HIGH

EXISTING HOUSE SEE RD PORTLAND, OR 97231

GRADING STATEMENT:
 TO MAINTAIN THE PREP EXCAVATION AND FINISH GRADING FOR A NEW SINGLE FAMILY RESIDENCE WITH DRIVEWAY, UTILITIES, GRADING TO OCCUR TO STANDARDS AND JURISDICTION REQUIREMENTS. THE HOME HAS BEEN BEST MANAGEMENT PRACTICES. THE HOME HAS BEEN PLACED TO BALANCE THE AMOUNTS OF CUT AND FILL TO MAINTAIN THE GRADING TO REMAIN ON SITE IF POSSIBLE.

SHEET NOTES:
 CONTRACTOR TO VERIFY PROPERTY LINES AND SETBACKS LOCATIONS IN FIELD PRIOR TO CONSTRUCTION.
 CONTACT ALL UTILITIES PER LOCAL UTILITY COMPANY REQUIREMENTS AND JURISDICTION REQUIREMENTS.
 VERIFY EXISTING UTILITIES LOCATIONS.
 CONTRACTOR TO COORDINATE FINAL UTILITY ROUTING REQUIREMENTS.
 EXCAVATED SOIL TO BE STOCK PILED INTO TWO SEPARATE PILES. ONE FOR TOP SOIL AND THE OTHER FOR BASE SOIL. COVER WITH TARP OR STRAW AND SOIL TO BE REAPPLIED TO ORIGINAL GRADE AND THEN SPREAD TOP SOIL OVER EQUALLY.
 ALL CUTFILL SLOPES TO BE 2:1 OR FLATTER.
 SOIL PREP & COMPACTION PER RECOMMENDATIONS OF GEOTECH ENGINEER. COMPACTION TO BE 90% MIN. SLOPE FINISH GRADE AWAY FROM AND AROUND HOME TO ACHIEVE POSITIVE DRAINAGE AWAY FROM BUILDINGS.
 ROOF & SITE DRAINAGE PIPE OUTLET IN CURB GUTTERS TO BE HARD-LINED TO THIS LOCATION. BUILDING FOUNDATION DRAINS, AREA DRAINS AND GUTTERS TO BE HARD-LINED TO THIS LOCATION. SEE A2 LANDSCAPE & EROSION CONTROL PLAN, AND CIVIL ENGINEERING (C1, C2) FOR ADDL INFO.

NOTE: THIS DRAWING IS NOT A LEGAL SURVEY.
 THE INFORMATION SHOWN WAS OBTAINED FROM PUBLIC RECORDS AND FIELD SURVEY. THE CONTRACTOR SHALL VERIFY ALL INFORMATION IS TO BE VERIFIED BY THE CONTRACTOR. ALL INFORMATION IS TO BE VERIFIED BY THE CONTRACTOR. BROUGHT TO THE ATTENTION OF THE OWNER & ARCHITECT.

KATHERINE R HEekin
 DOC NO. 2023-00862
 TAX MAP LOT: 2N1W19D-00500
 AS SURVEYED - 6/7/07 5.0 FT. PL.

① PARTIAL SITE PLAN
 SCALE: 3/32" = 1'-0"



LEGEND:

- NOTES:
 1) GASTRAPHES AND OUTLETS TO BE AT THIS PLANTINTERS. FIELD VERIFY.
 2) PROVIDE WATERPROOF AND GFI OUTLETS WHERE RECD BY CODE.
 3) PROVIDE POWER DATA & WATER TO EQUIP & APPLIANCES AS RECD (NOT SHOWN).
 4) PROVIDE SCHEDULE FOR DOORS & WINDOWS. REFER TO FINAL MANUF SCHEDULE FOR ROUGH OPENINGS.
 5) ALARM SECURITY & LOCK BELL BY O.B SECURITY CONTRACTOR.
 6) LIGHTING & POWER SHOWN IS A PARTIAL SUGGESTED LAYOUT. DESIGN-BUILD ELECTRICAL CONTRACTOR TO PROVIDE A COMPLETE LAYOUT PER CODE & OWNER REQUIREMENTS.

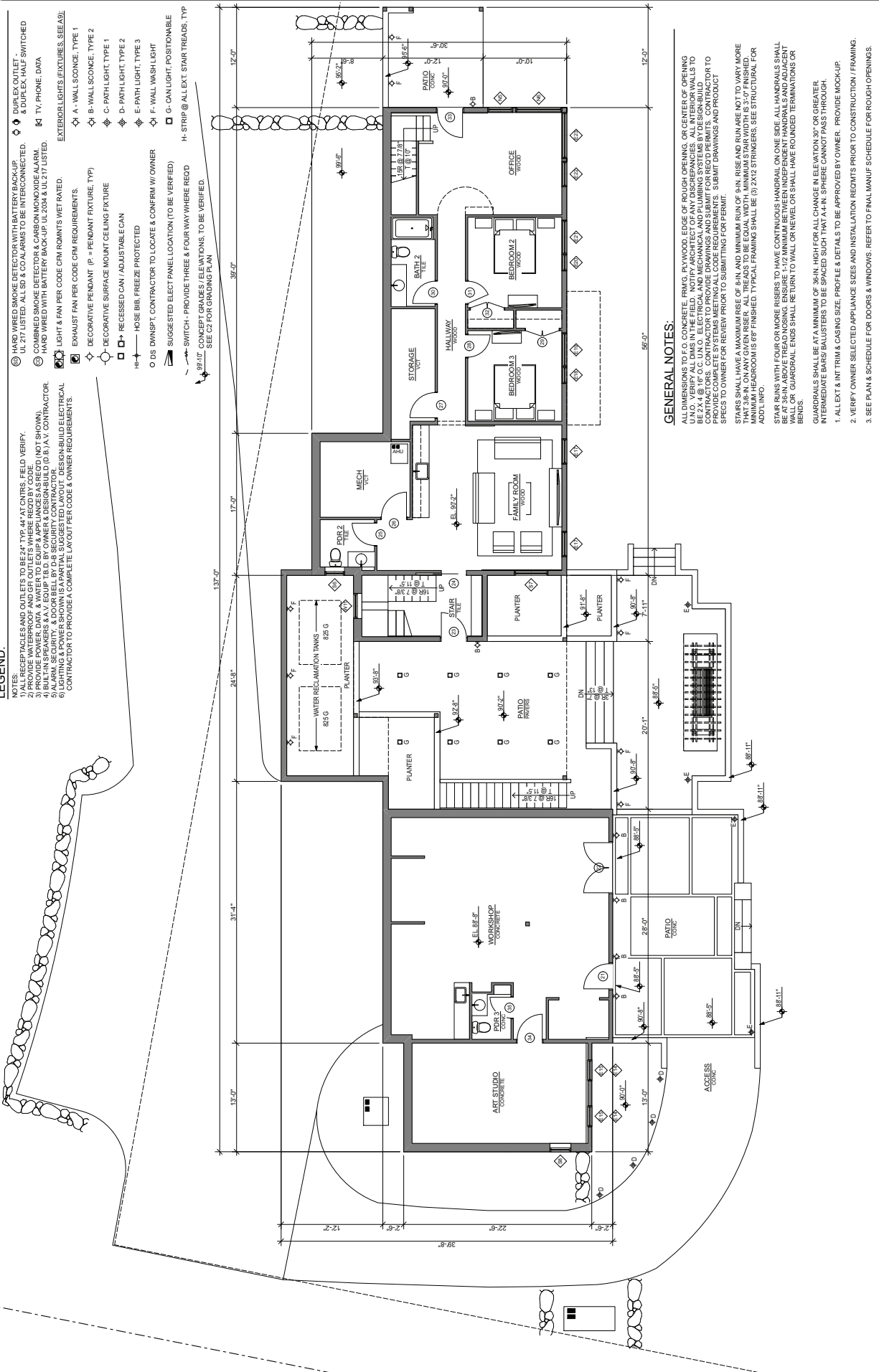
- ⊕ HAND WIRED SMOKE DETECTOR WITH BATTERY BACKUP
- ⊕ UL 217 LISTED. ALL SD & COALARMS TO BE INTERCONNECTED.
- ⊕ COMBINED SMOKE DETECTOR & CARBON MONOXIDE ALARM.
- ⊕ HAND WIRED WITH BATTERY BACKUP. UL 268A & UL 217 LISTED.
- ⊕ LIGHT & FAN PER CODE CRM REQUIREMENTS.
- ⊕ EXHAUST FAN PER CODE CRM REQUIREMENTS.
- ⊕ DECORATIVE PENDANT (P = PENDANT FIXTURE, TYP)
- ⊕ DECORATIVE SURFACE MOUNT CEILING FIXTURE
- ⊕ RECESSED CAN / ADJUSTABLE CAN
- ⊕ HOSE BIB. FREEZE PROTECTED
- ⊕ OS DIMSPT. CONTRACTOR TO LOCATE & CONFIRM W/ OWNER
- ⊕ SUGGESTED ELECT PANEL LOCATION (TO BE VERIFIED)
- ⊕ SWITCH - PROVIDE THREE & FOUR WAY WHERE RECD
- ⊕ 38'-IT CONCEPT GRADES / ELEVATIONS. TO BE VERIFIED. SEE C2 FOR GRADING PLAN
- ⊕ H-STRIP @ ALL EXT. STAIR TREADS, TYP

NATHAN COOPRIDER ARCHITECT, LLC
 PRELIMINARY NOT FOR CONSTRUCTION

HEEKIN-MCFAUL RESIDENCE
 TAX LOT: 2N1W19D-00500
 NW McNamee Rd, Portland, OR 97231

DATE	REVISION
8/6/24	LAND-USE SET

A3
LOWER FLOOR PLAN

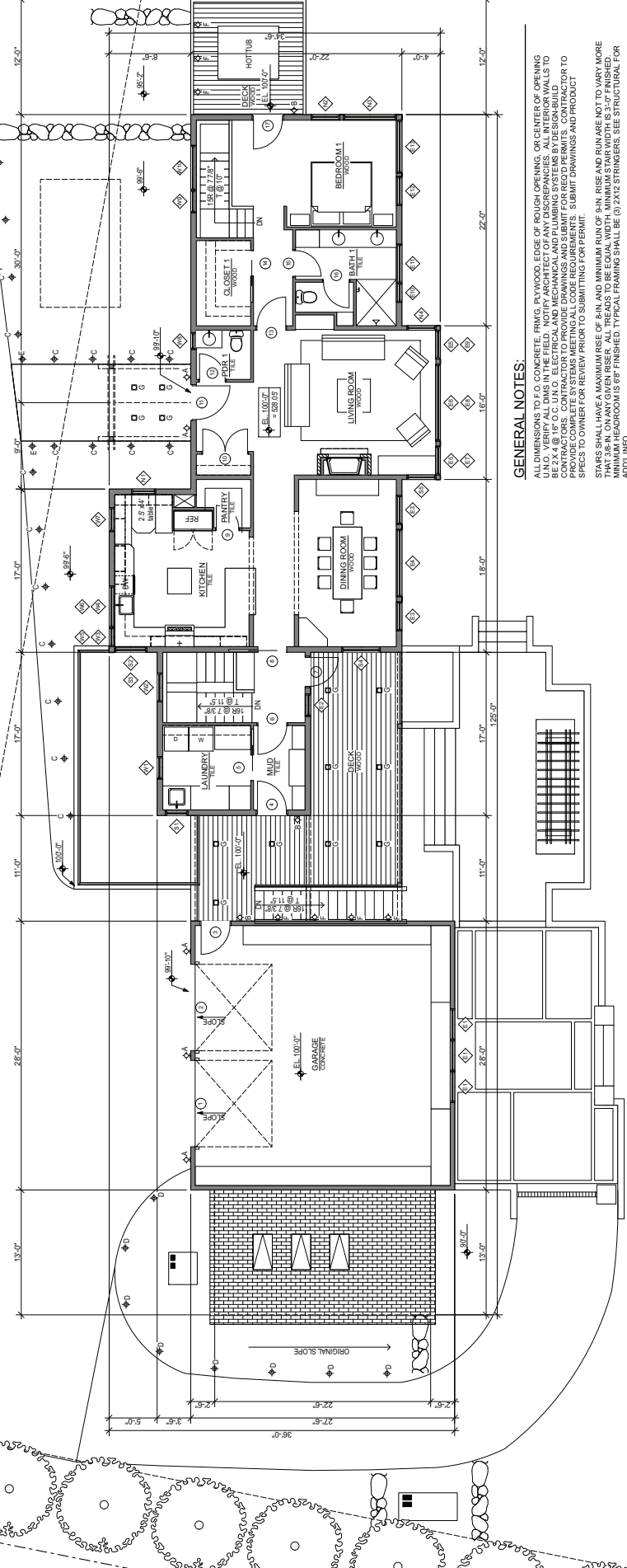


GENERAL NOTES:

1. ALL DIMENSIONS TO F.O. CONCRETE, FRMG, PLYWOOD, EDGE OF ROUGH OPENING, OR CENTER OF OPENING UNLESS NOTED OTHERWISE.
2. VERIFY ALL DIMS IN THE FIELD. NOTIFY ARCHITECT OF ANY DISCREPANCIES. ALL INTERIOR WALLS TO BE FINISHED TO FACE UNLESS NOTED OTHERWISE. CONTRACTOR TO PROVIDE FINISHES AND SUBMIT FOR RECD PERMITS. CONTRACTOR TO PROVIDE COMPLETE SYSTEMS MEETING ALL CODE REQUIREMENTS. SUBMIT DRAWINGS AND PRODUCT SPECS TO OWNER PRIOR TO SUBMITTING FOR PERMIT.
3. STAIRS SHALL HAVE A MAXIMUM RISE OF 8-IN. AND MINIMUM RUN OF 9-IN. RISE AND RUN ARE NOT TO VARY MORE THAN 1/4" PER FOOT. MINIMUM HEADROOM IS 6'-8". MINIMUM HEADROOM IS 6'-8". TYPICAL FRAMING SHALL BE (3) 2X6 STRINGERS. SEE STRUCTURAL FOR ADDL INFO.
4. STAIR RUNS WITH FOUR OR MORE RISERS TO HAVE CONTINUOUS HANDRAIL ON ONE SIDE. ALL HANDRAILS SHALL BE AT 36-IN. ABOVE TREAD NOSING. ENSURE 1-1/2" MINIMUM BETWEEN INDEPENDENT HANDRAILS AND ADJACENT HANDRAILS. HANDRAIL ENDS SHALL BE TURN TO WALL OR NEWEL OR SHALL HAVE ROUNDED TERMINATIONS OR BENDS.
5. DOORS SHALL BE AT A MINIMUM OF 36-IN. HIGH FOR ALL CHANGE IN ELEVATION. DOORS SHALL BE 36-IN. HIGH. INTERIOR DOORS SHALL BE 36-IN. HIGH. INTERIOR DOORS SHALL BE 36-IN. HIGH. INTERIOR DOORS SHALL BE 36-IN. HIGH. INTERIOR DOORS SHALL BE 36-IN. HIGH.
6. VERIFY OWNER SELECTED APPLIANCE SIZES AND INSTALLATION REQMTS PRIOR TO CONSTRUCTION / FRAMING.
7. SEE PLAN & SCHEDULE FOR DOORS & WINDOWS. REFER TO FINAL MANUF SCHEDULE FOR ROUGH OPENINGS.
8. COLORS T.B.D. BY OWNER. ASSUME UP TO 8 INTERIOR COLORS. 3 EXT COLORS.
9. VERIFY ALL FINISHES, MATERIALS, APPLIANCES & FIXTURES W/ OWNER. ALL FLOORS TO BE WOOD U.N.O.
10. PROVIDE CABINET SHOP DRAWINGS & DETAILS FOR OWNER & ARCHITECT REVIEW PRIOR TO FABRICATION.
11. ALL SHOWERS & BATHS TO HAVE CUSTOM TEMPERED GLASS. SWING DOORS. SUBMIT SHOP DWGS FOR REVIEW.

1 LOWER FLOOR PLAN
SCALE: 3/16" = 1'-0"

- NOTES:**
- 1) GASTERS AND OUTLETS TO BE SET TO MATCH OWNERS FIELD VERIFY.
 - 2) PROVIDE WATERPROOF AND GFI OUTLETS WHERE RECD BY CODE.
 - 3) PROVIDE POWER DATA & WATER TO EQUIP & APPLIANCES AS RECD (NOT SHOWN).
 - 4) PROVIDE SCHED. & SIZES FOR ALL SCHED. & SIZES TO BE PROVIDED BY A.V. CONTRACTOR.
 - 5) ALARM SECURITY & DOOR BELL BY A.P. SECURITY CONTRACTOR.
 - 6) LIGHTING & POWER SHOWN IS A PARTIAL SUGGESTED LAYOUT. DESIGN-BUILD ELECTRICAL CONTRACTOR TO PROVIDE A COMPLETE LAYOUT PER CODE & OWNER REQUIREMENTS.
- LEGEND:**
- ⊕ HAND WIRED SMOKE DETECTOR WITH BATTERY BACKUP
 - ⊕ UL 277 LISTED ALL SD & CO LAMPS TO BE INTERCONNECTED
 - ⊕ COMBINED SMOKE DETECTOR & CARBON MONOXIDE ALARM
 - ⊕ HAND WIRED WITH BATTERY BACK-UP (UL 268A & UL 217 LISTED)
 - ⊕ LIGHT & FAN PER CODE CRM ROOMS VET RATED
 - ⊕ EXHAUST FAN PER CODE CRM REQUIREMENTS
 - ⊕ DECORATIVE PENDANT (P = PENDANT FIXTURE, TYP)
 - ⊕ DECORATIVE SURFACE MOUNT CEILING FIXTURE
 - ⊕ RECESSED CAN / ADJUSTABLE CAN
 - ⊕ HOSE BIB, FREEZE PROTECTED
 - ⊕ OS DIMSPT, CONTRACTOR TO LOCATE & CONFIRM W/ OWNER
 - ⊕ DS DIMSPT, CONTRACTOR TO LOCATE & CONFIRM W/ OWNER
 - ⊕ SUGGESTED ELECT PANEL LOCATION (TO BE VERIFIED)
 - ⊕ SWITCH - PROVIDE THREE & FOUR WAY WHERE RECD
 - ⊕ 38" IT CONCEPT GRADES / ELEVATIONS, TO BE VERIFIED. SEE C2 FOR GRADING PLAN
 - ⊕ H-STRIP @ ALL EXT. STAIR TREADS, TYP
- EXTERIOR LIGHTS/FIXTURES, SEE A9:**
- ⊕ A - WALL SCONCE, TYPE 1
 - ⊕ B - WALL SCONCE, TYPE 2
 - ⊕ C - PATH LIGHT, TYPE 1
 - ⊕ D - PATH LIGHT, TYPE 2
 - ⊕ E - PATH LIGHT, TYPE 3
 - ⊕ F - WALL WASH LIGHT
 - ⊕ G - CAN LIGHT POSITIONABLE
- LIGHTING NOTE:**
 2" x 4" WALL WASH LIGHTS AT WALL BOX HOUSE MARKERS AT STREET



GENERAL NOTES:

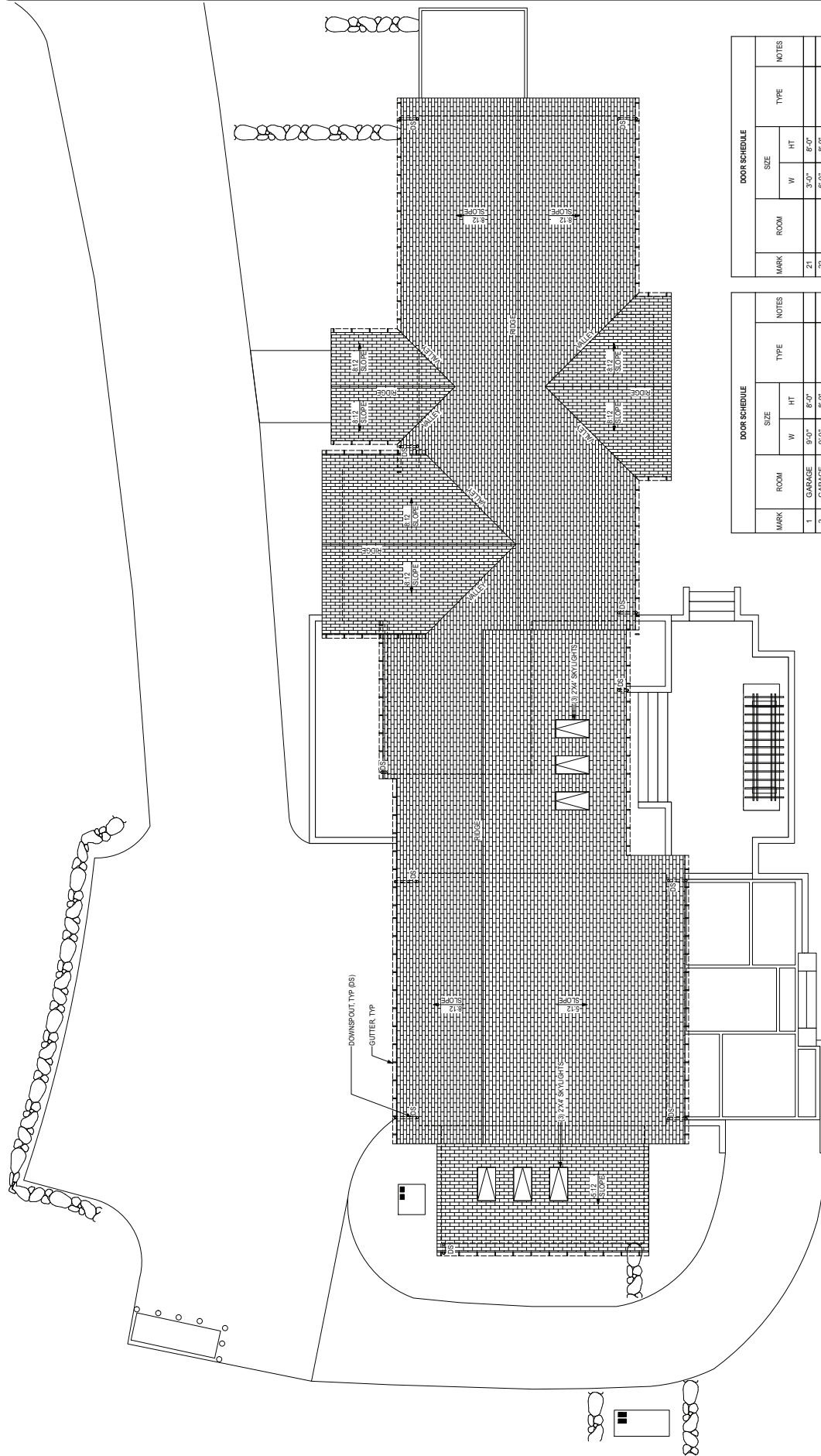
ALL DIMENSIONS TO F.O. CONCRETE, FRMG, PLYWOOD, EDGE OF ROUGH OPENING, OR CENTER OF OPENING UNLESS NOTED OTHERWISE. VERIFY ALL DIMS IN THE FIELD. NOTIFY ARCHITECT OF ANY DISCREPANCIES. ALL INTERIOR WALLS TO BE FINISHED TO FACE UNLESS NOTED OTHERWISE. CONTRACTOR TO PROVIDE DRAWINGS AND SUBMIT FOR RECORD PERMITS. CONTRACTOR TO PROVIDE COMPLETE SYSTEMS MEETING ALL CODE REQUIREMENTS. SUBMIT DRAWINGS AND PRODUCT SPECS TO OWNER FOR REVIEW PRIOR TO SUBMITTING FOR PERMIT.

STAIRS SHALL HAVE A MAXIMUM RISE OF 8-IN. AND MINIMUM RUN OF 9-IN. RISE AND RUN ARE NOT TO VARY MORE THAN 1/4" PER FOOT. MINIMUM HEADROOM SHALL BE 8'-0". MINIMUM HEADROOM SHALL BE (3) 2X6 STRINGERS, SEE STRUCTURAL FOR ADD'L INFO.

STAIR RUNS WITH FOUR OR MORE RISERS TO HAVE CONTINUOUS HANDRAIL ON ONE SIDE. ALL HANDRAILS SHALL BE AT 36-IN. ABOVE TREAD NOSING. ENSURE 1-1/2" MINIMUM BETWEEN INDEPENDENT HANDRAILS AND ADJACENT HANDRAILS. HANDRAIL ENDS SHALL BE TURN TO WALL OR NEWEL OR SHALL HAVE ROUNDED TERMINATIONS OR BENDS.

GLASS SHALL BE AT A MINIMUM OF 3/8" THICK FOR ALL GLASS IN RE-ENTRY DOORS. GLASS SHALL BE INTERLOCKED GLASS. GLASS PARTITIONS TO BE SPICED SUCH THAT MAIN SPICER CANNOT PASS THROUGH.

1. ALL EXT & INT TRIM & CASING SIZE, PROFILE & DETAILS TO BE APPROVED BY OWNER. PROVIDE MOCKUP.
2. VERIFY OWNER SELECTED APPLIANCE SIZES AND INSTALLATION REQS MTS PRIOR TO CONSTRUCTION / FRAMING.
3. SEE PLAN & SCHEDULE FOR DOORS & WINDOWS. REFER TO FINAL MANUF SCHEDULE FOR ROUGH OPENINGS.
4. COLORS T.B.D. BY OWNER. ASSUME UP TO 8 INTERIOR COLORS. 3 EXT COLORS.
5. VERIFY ALL FINISHES, MATERIALS, APPLIANCES & FIXTURES W/ OWNER. ALL FLOORS TO BE WOOD U.N.O.
6. PROVIDE CABINET SHOP DRAWINGS & DETAILS FOR OWNER & ARCHITECT REVIEW PRIOR TO FABRICATION.
7. ALL SHOWERS & BATHS TO HAVE CUSTOM TEMPERED GLASS. SWING DOORS. SUBMIT SHOP DWGS FOR REVIEW.



WINDOW & DOOR NOTES:

ALL WINDOW & DOOR QUANTITIES & ROUGH-OPENING SIZES TO BE VERIFIED BY THE CONTRACTOR. ALL WINDOW & DOOR SIZES TO BE VERIFIED BY THE CONTRACTOR. ALL WINDOWS & DOORS TO MEET REQUIREMENTS OF CURRENT ENERGY CODE. REFER TO ELEVATIONS FOR MULLING, DIVIDED LITE PATTERNS & OPERATION.

DOOR NOTES:

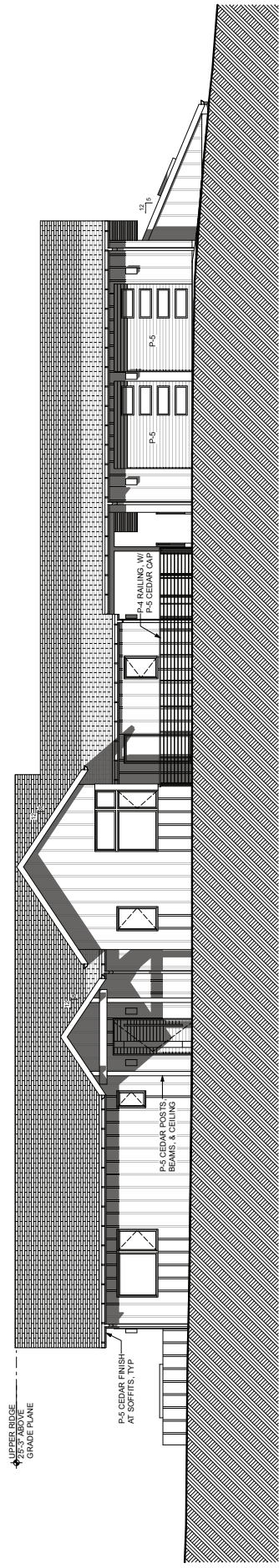
PROVIDE SAFETY TEMPERED GLASS WHERE REQUIRED BY CODE. ALL GLASS TO BE FULL HEIGHT UNLESS NOTED OTHERWISE. EXTERIOR DOORS TO BE WEATHER SEALED. FULL-LITE EXTERIOR DOORS TO HAVE L1040 MAX. GLASS HEIGHT. INTERIOR DOORS TO HAVE L1040 MAX. GLASS HEIGHT. EXTERIOR DOORS TO BE WOOD OR FIBERGLASS. TO BE BY OWNER. INTERIOR DOORS SOLID-CORE WOOD. FINAL DESIGN TO BE BY OWNER. PROVIDE DOOR PANELS TO OVERLAP OPENINGS BY 2" AT TOP AND SIDES. PROVIDE PRIVACY LOCK AT BEDROOMS / OFFICE / CRAFT / BATHROOMS, ETC.

MARK	ROOM	SIZE		TYPE	NOTES
		W	HT		
21		2'-0"	8'-0"		
22		6'-0"	8'-0"		
23		3'-0"	8'-0"		
24		3'-0"	8'-0"		
25		2'-8"	8'-0"		
26		3'-0"	8'-0"		
27		3'-0"	8'-0"		
28		2'-8"	8'-0"		
29		4'-0"	8'-0"		
30		4'-8"	8'-0"		
31		3'-8"	8'-0"		
32		2'-8"	8'-0"		
33		3'-0"	8'-0"		
34		2'-8"	8'-0"		
35		2'-8"	8'-0"		

MARK	ROOM	SIZE		TYPE	NOTES
		W	HT		
1	GARAGE	9'-0"	8'-0"		
2	GARAGE	9'-0"	8'-0"		
3		3'-0"	8'-0"		
4		3'-0"	8'-0"		
5		2'-8"	8'-0"		
6		3'-0"	8'-0"		
7		3'-0"	8'-0"		
8		3'-0"	8'-0"		
9		2'-4"	8'-0"		
10		4'-8"	8'-0"		
11		3'-8"	8'-0"		
12		2'-8"	8'-0"		
13		3'-0"	8'-0"		
14		2'-8"	8'-0"		
15		2'-8"	8'-0"		
16		2'-8"	8'-0"		
17		3'-0"	8'-0"		

1 ROOF PLAN
 SCALE: 3/16" = 1'-0"





1 WEST ELEVATION
SCALE: 3/16" = 1'-0"

WINDOW SCHEDULE					
MARK	QUANTITY	WIDTH	HEIGHT	HT ABOVE FLOOR	NOTES
E1	3	3'-3"	2'-8 1/2"	5'-6"	
E2	1	2'-4"	5'-0"	8'-1 1/2"	
E3	2	3'-0"	6'-6"	8'-0"	
E4	1	2'-0"	6'-6"	8'-0"	
E5	2	6'-0"	5'-6"	8'-0"	
E6	1	3'-0"	5'-8 1/2"	12'-0 1/2"	
E7	1	8'-0"	6'-10 1/2"	15'-0 1/2"	
E8	1	3'-0"	5'-0"	8'-0"	
E9	1	2'-4"	5'-0"	8'-0"	
E10	1	2'-4"	5'-0"	8'-0"	
E11	1	3'-0"	6'-6"	8'-0"	
E12	1	3'-0"	6'-6"	8'-0"	
E13	1	5'-6"	6'-6"	8'-0"	
E14	2	2'-6"	2'-0"	8'-0"	
E15	2	2'-6"	4'-6"	6'-0"	
E17	2	3'-0"	6'-0"	8'-0"	
E18	1	2'-0"	5'-0"	8'-0"	
E19	1	4'-0 1/2"	5'-0"	8'-0"	
E20	1	2'-0"	5'-0"	8'-0"	
E21	1	4'-0 1/2"	5'-0"	8'-0"	
E22	1	3'-0"	6'-6"	8'-0"	
E23	1	5'-6"	6'-6"	8'-0"	
N1	1	2'-4"	4'-3"	7'-9"	
N2	1	3'-0"	6'-6"	8'-0"	
N3	1	5'-6"	6'-6"	8'-0"	
N4	1	3'-0"	6'-6"	8'-0"	
N5	1	3'-0"	6'-6"	8'-0"	
N6	1	5'-6"	6'-6"	8'-0"	
S1	1	2'-4"	3'-6"	7'-9"	
S2	1	3'-4"	4'-3"	7'-9"	
S3	1	3'-4"	2'-3"	10'-0"	
S4	1	4'-0"	6'-6"	8'-0"	
S5	1	3'-0"	6'-6"	8'-0"	
S6	1	2'-4"	3'-6"	8'-6"	
S7	1	4'-0"	6'-0"	8'-0"	
S8	1	2'-6"	5'-0"	8'-0"	
W1	1	2'-4"	3'-6"	7'-0"	
W2	1	3'-0"	7'-6"	7'-0"	
W3	1	4'-4"	4'-3"	7'-9"	
W4	1	2'-0"	3'-3"	10'-0"	
W5	1	4'-4"	4'-3"	10'-0"	
W6	1	2'-6"	4'-3"	7'-9"	
W7	1	1'-9"	3'-0"	7'-9"	
W8	1	2'-4"	4'-3"	7'-9"	
W9	1	4'-8"	4'-3"	7'-9"	
W10	1	4'-8"	4'-3"	7'-9"	
W11	1	3'-0"	2'-4"	8'-0"	

WINDOW & DOOR NOTES:
 ALL WINDOW & DOOR QUANTITIES & ROUGH-OPENING SIZES TO BE VERIFIED BY THE ARCHITECT. ALL WINDOW & DOOR SIZES TO BE VERIFIED BY THE ARCHITECT. ALL WINDOW & DOORS TO MEET REQUIREMENTS OF CURRENT ENERGY CODE. REFER TO ELEVATIONS FOR MILLING, DIVIDED LITE PATTERNS & OPERATION.

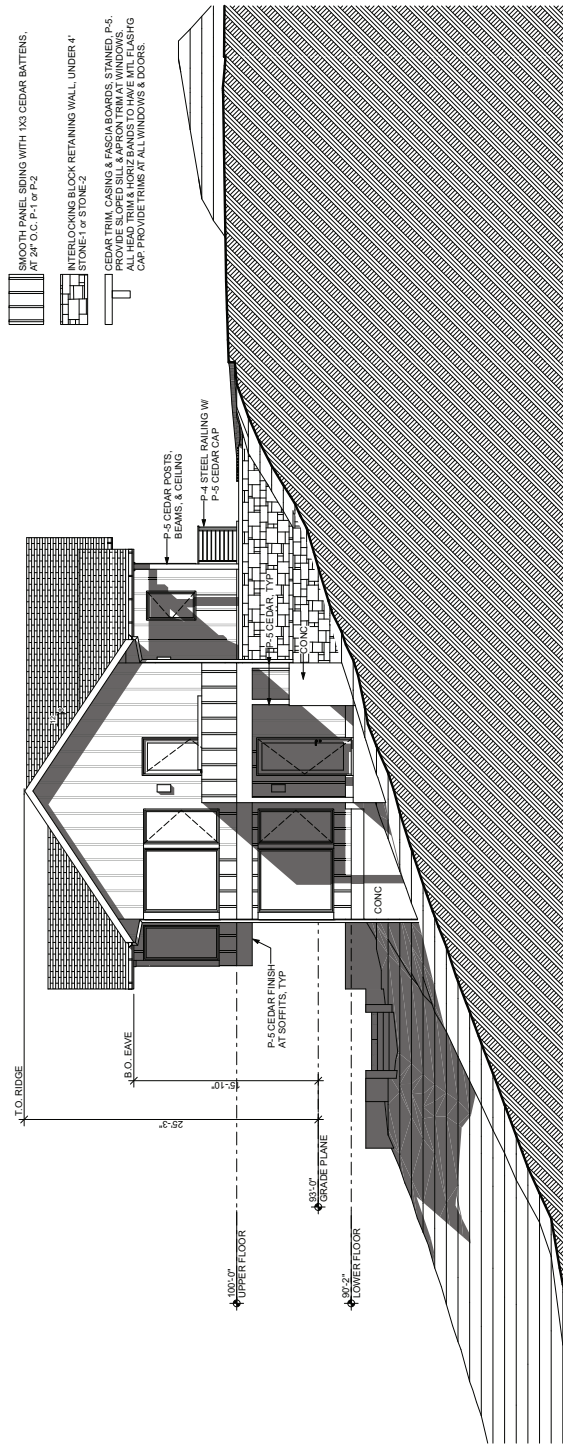
WINDOW NOTES:
 -PROVIDE SAFETY/TEMPERED GLASS WHERE REQUIRED BY CODE.
 -SEE SCHEDULE FOR UNIT ROUGH OPENING SIZES & HEADER HEIGHTS.
 -REGRESS OPENINGS TO HAVE A MINIMUM CLEAR AREA OF 5.7 SQ. FT.
 -WHERE SILL IS LESS THAN 24" ABOVE FLOOR, AND MORE THAN 17" ABOVE GRADE, WINDOW OPENINGS TO BE LESS THAN 4" OR FALL PREVENTION PER ASTM F2090.
 -GANGED WINDOWS & DOORS TO BE FACTORY MILLED (VERT & HORIZONTAL).
 -REFER TO MANUFACTURERS APPROVED ORDER FOR FINAL ROUGH OPENINGS.

GENERAL NOTES

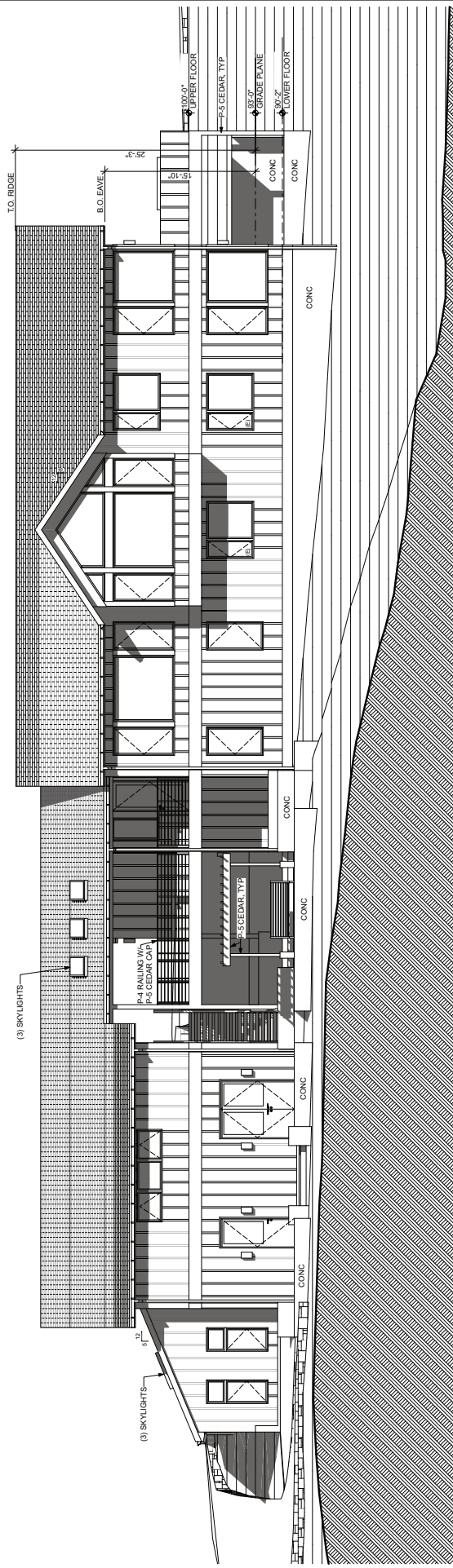
1. ALL SIDING TO BE OVERLAPPING JOINTS WITH INTERLOCKING BLOCK RETAINING WALL UNDER 4" STONE 1 OF STONE 2
2. FLASH AND SINGLE WRB AT ALL PENETRATIONS PER AAMA STANDARDS. USE SILL PANS AT ALL LOCATIONS.
3. NOTES ON SHEET APPLY TO ALL SIMILAR CONDITIONS.
4. SEE PLAN & SCHEDULE FOR EXTERIOR DOORS & WINDOWS.
5. PROVIDE MOCK-UP OF SIDING, TRIM, AND SOFFIT BOARDS FOR OWNER & ARCHITECT REVIEW.
6. SEE AS FINISHES FOR ADDL INFO. ALL SURFACES TO BE BODY COLOR (P-1 / P-2) UNLESS NOTED OTHERWISE.

LEGEND

- ASPHALT COMP SHINGLE ROOF SYSTEM, SINGLE-PLY
- SMOOTH PANEL SIDING WITH 1X3 CEDAR BATTENS, AT 24" O.C. P-1 or P-2
- INTERLOCKING BLOCK RETAINING WALL UNDER 4" STONE 1 OF STONE 2
- CEDAR TRIM, CASING & FASCIA BOARDS, STAINED, P-5. PROVIDE SLOPED SILL & APRON TRIM AT WINDOWS. PROVIDE TRIM AT ALL WINDOWS & DOORS. CAP PROVIDE TRIMS AT ALL WINDOWS & DOORS.



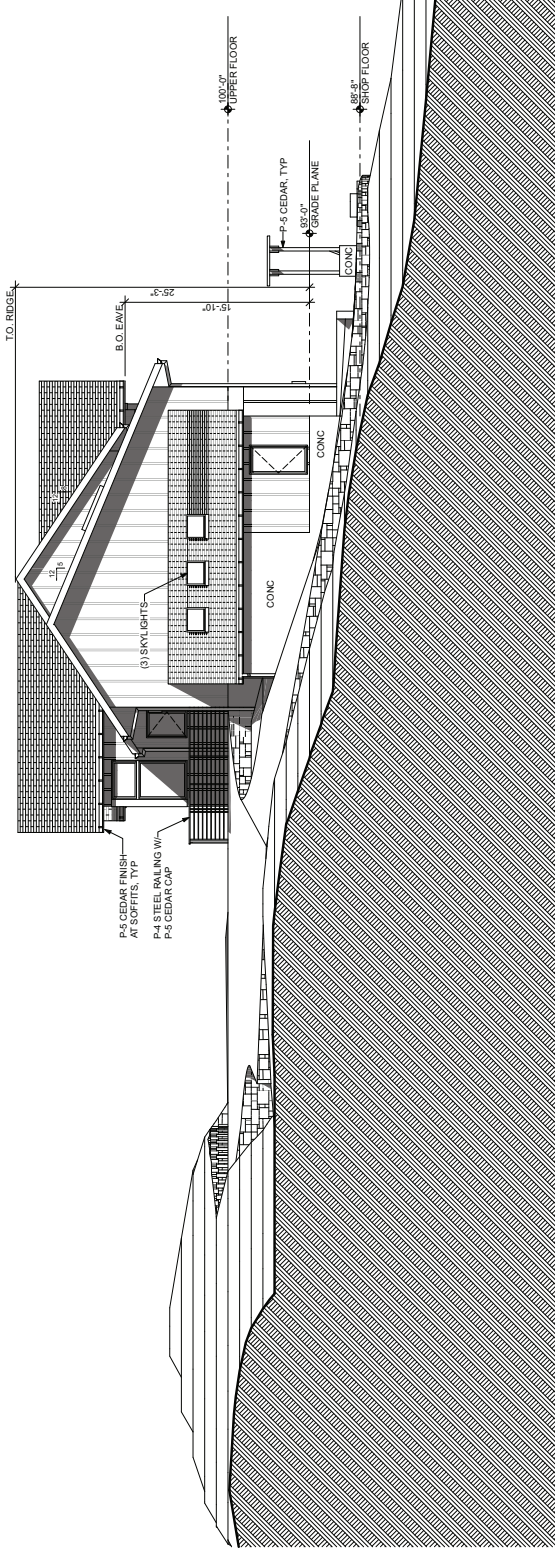
2 NORTH ELEVATION
SCALE: 3/16" = 1'-0"



1 EAST ELEVATION
 SCALE: 3/8" = 1'-0"



- GENERAL NOTES**
1. ALL SIDING TO BE OVER CODE APPROVED WEATHER RESISTIVE BARRIER (WRB) AND RAINDRIP SYSTEM.
 2. FLASH AND SHINGLE (W/S) AT ALL PENETRATIONS. INSTALL ALL VAIL FLANGE DOORS AND WINDOWS PER MANUFACTURER'S INSTRUCTIONS. USE VAIL FLASHING AT ALL LOCATIONS.
 3. NOTES ON SHEET APPLY TO ALL SIMILAR CONDITIONS.
 4. SEE PLAN & SCHEDULE FOR EXTERIOR DOORS & WINDOWS.
 5. PROVIDE MOCKUP OF SIDING, TRIM, AND SOFFIT BOARDS FOR OWNER & ARCHITECT REVIEW.
 6. SEE FINISHES FOR ADJ. FIN. ALL SURFACES TO BE BODY COLOR (P-1/P-2) UNLESS NOTED OTHERWISE.
- LEGEND**
- ASPHALT COMP SHINGLE ROOF SYSTEM, SHINGLE-1
 - SMOOTH PANEL SIDING WITH X3 CEDAR BATTENS AT 24" O.C. P-1 or P-2
 - INTERLOCKING BLOCK RETAINING WALL UNDER 4" STONE-1 or STONE-2
 - CEDAR TRIM, CASING & PUNCH BOARDS, STAINED P-5. PROVIDE SLOPED SILL & FRONT TRIM AT WINDOWS. ALL-HEAD TRIM & HORSE BANDS TO HAVE MTL FLASHING CAP. PROVIDE TRIM AT ALL WINDOWS & DOORS.



2 SOUTH ELEVATION
 SCALE: 3/8" = 1'-0"

