

14 DAY OPPORTUNITY TO COMMENT



www.multco.us/landuse ▪ Email: land.use.planning@multco.us ▪ Phone: (503) 988-3043

Application for Accessory Use Determination and Significant Environmental Concern for Wildlife Habitat (SEC-h)

CASE FILE: T2-2024-0084 **APPLICANT:** Kim Freeman, In Clover Consulting

LOCATION: 13097 NW Old Germantown Rd, Portland **Property ID #** R168763

Map, Tax lot: 1N1W09D -02500 **Alt. Acct. #** R313901460

BASE ZONE: Rural Residential (RR)

OVERLAYS: Geologic Hazards (GH)
Significant Environmental Concern for Streams (SEC-s)
Significant Environmental Concern for Wildlife Habitat (SEC-h)

PROPOSAL: Request for Accessory Use Determination and Significant Environmental Concern for Wildlife Habitat (SEC-h) permits for a new single-family dwelling with attached accessory building, accessory structures [septic system (septic tank, piping, drainfield), stormwater drainage control system, a gate, and retaining walls], implementation of a SEC-h Wildlife Conservation Plan, creation of landscaped areas, and associated ground disturbance. No development is proposed in the Significant Environmental Concern for Streams (SEC-s) or Geologic Hazards (GH) overlays.

- ❖ **COMMENT PERIOD:** Neighbors are invited to submit written comments for the proposal described above. Comments should be directed toward the approval criteria listed below. Any neighbor that submits comments will receive the County's complete decision. Written comments will be accepted at LUP-comments@multco.us, if received by **4:00 pm on Friday, February 21, 2025**.

If you do not wish to submit comments, no response is necessary.

Further information regarding this application is available by contacting LUP-comments@multco.us. Paper copies of these materials may be purchased for \$0.46/per page.

- ❖ **APPLICABLE APPROVAL CRITERIA** [Multnomah County Code (MCC)]:

General Provisions: MCC 39.1250 Code Compliance and Applications, MCC 39.2000 Definitions

Lot of Record: MCC 39.3005 Lot of Record – Generally, MCC 39.3090 Lot of Record – Rural Residential (RR)

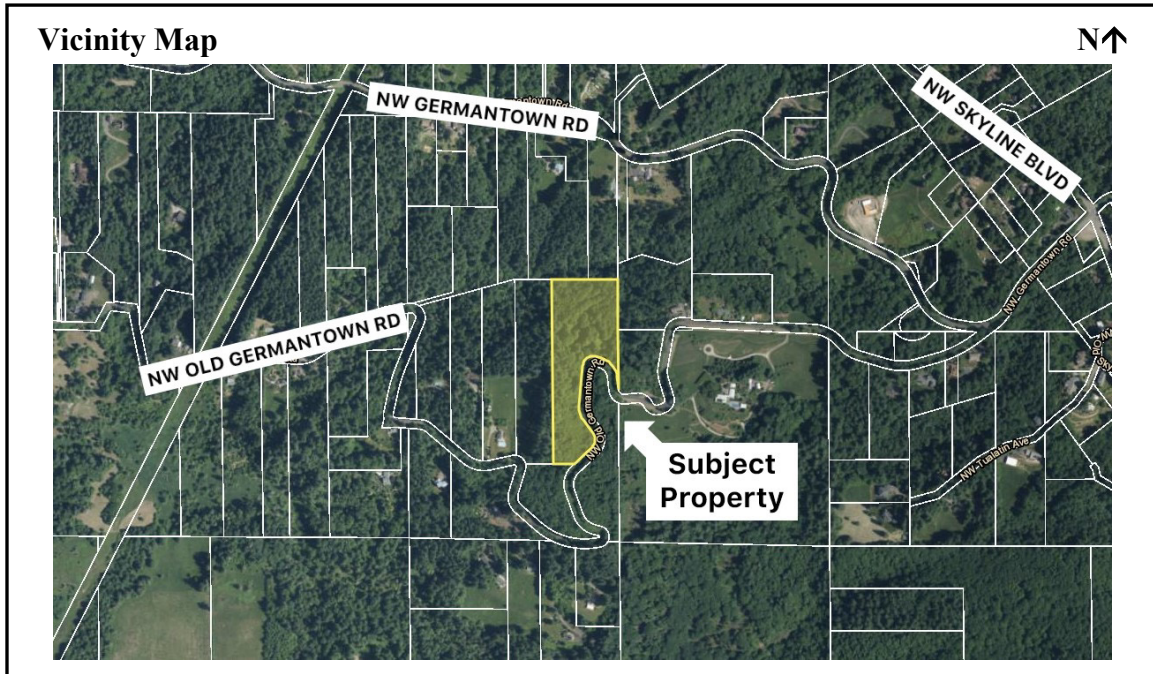
Rural Residential (RR): MCC 39.4360(A) Allowed Uses – Residential use consisting of a single family dwelling..., MCC 39.4360(F) Allowed Uses – Accessory Structures subject to the following..., MCC 39.4365(I) Review Uses – Structures or uses customarily accessory or incidental

to any use permitted or approved in this base zone..., MCC 39.4375(C), (D), (F)-(H) Dimensional Requirements and Development Standards

Geologic Hazards (GH): MCC 39.5080(N) Exemptions

Significant Environmental Concern Overlays (SEC): MCC 39.5510 Uses; SEC Permit Required, MCC 39.5580 Nuisance Plant List, MCC 39.5850 SEC-h Clear and Objective Standards, MCC 39.5860 Criteria for Approval of SEC-h Permit - Wildlife Habitat

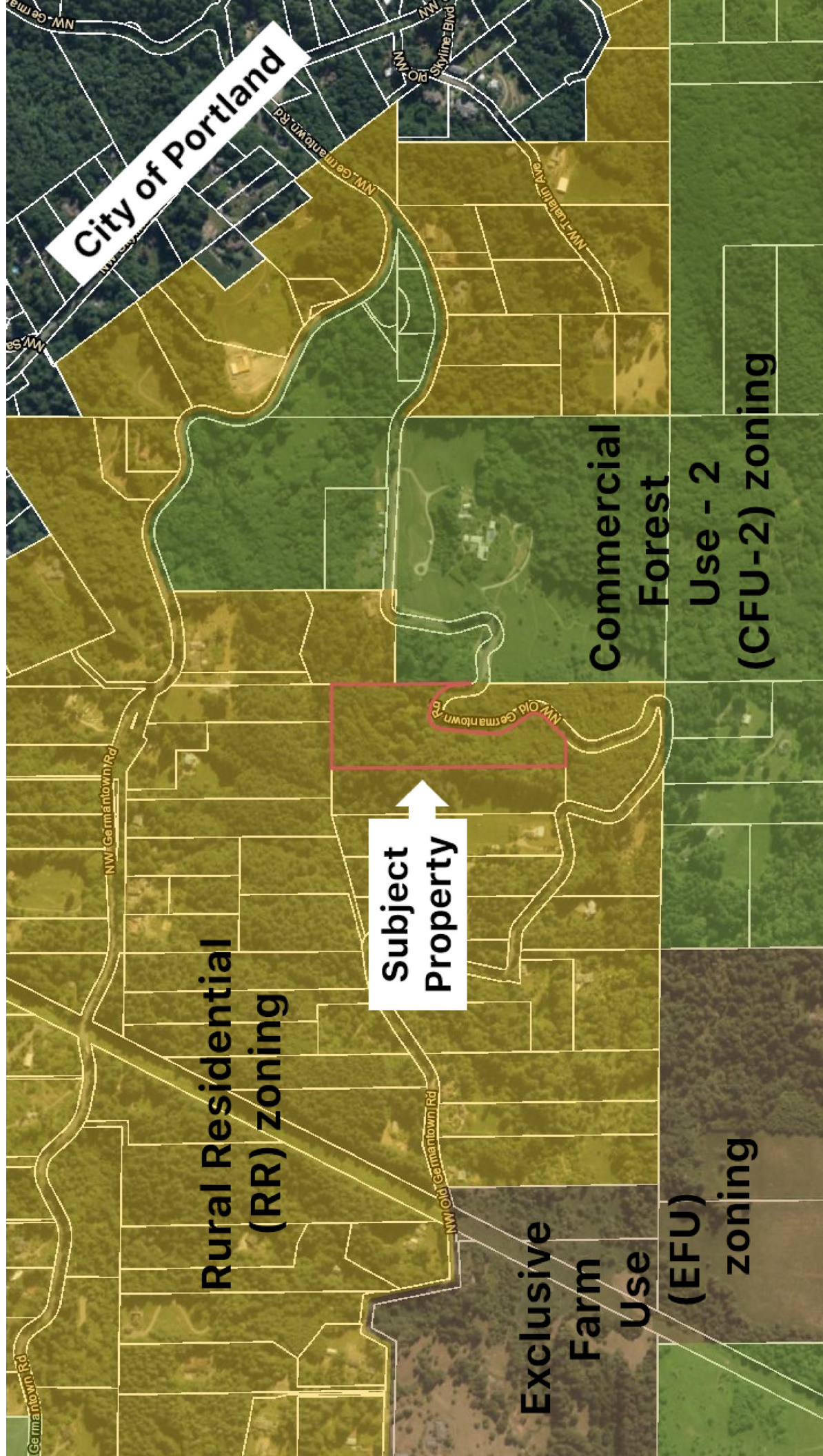
Copies of the referenced Multnomah County Code sections can be obtained by visiting our website at <https://multco.us/landuse/zoning-codes/> under the link **Chapter 39 – Zoning Code** or by contacting our office at (503) 988-3043.



- ❖ **DECISION MAKING PROCESS:** The Planning Director will render a decision on this application after the comment period expires. Notice of the Director's decision will be mailed to the applicant, parties within 750 feet of the subject property, and any other persons who submitted written comments during the comment period. The Planning Director's decision can be appealed. An explanation of the requirements for filing an appeal will be included in the notice of decision.
- ❖ **IMPORTANT NOTE:** Failure to raise an issue before the close of the public record in sufficient detail to afford the County and all parties an opportunity to respond may preclude appeal on that issue to the Land Use Board of Appeals.
- ❖ **ENCLOSURES:**
 - Zoning Map
 - Site Plan and Floor Plan
 - Building Elevations

Notice to Mortgagee, Lien Holder, Vendor, or Seller:
ORS chapter 215 requires that if you receive this notice, it must promptly be forwarded to the purchaser.

Map showing zoning of the subject property and surrounding properties



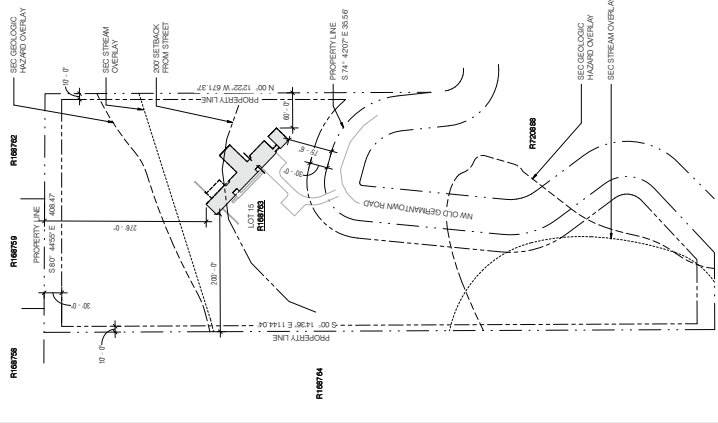
SHEET NO.	A1.1	PHASE	DD	JOB NO.	24183	DATE	10/24/2024
SHEET TITLE	SITE PLAN		PROJECT				
MOCKINGBIRD HIDEAWAY			WEST SIDE/NW OLD GERMAN TOWN ROAD, PORTLAND, OR				
REVISIONS			1. SERVIC REVIEW 10.17.2024 2. SERVIC REVIEW 10.17.2024				

RISA BOYER ARCH
 RISA BOYER ARCHITECTURE
 4522 NE CHINA AVENUE
 PORTLAND OR 97218
 P: 503 493 7143
 W: rboyer.com



SITE NOTES
 1. GRADE SHALL BE MAINTAINED TO MATCH EXISTING GRADE UNLESS NOTED AND FULLY EXPLANED. SITE TO BE GRADENED AROUND THE HOUSE.

- LEGEND**
- PROPERTY LINE
 - SEBACK LINE
 - DEMO
 - ROOT PROTECTION ZONE
 - CHAIN LINK FENCE
 - LIMIT OF DISTURBANCE
 - WATERLINE
 - SEWERLINE
 - GAS LINE
 - DS+ DOWNPOUT



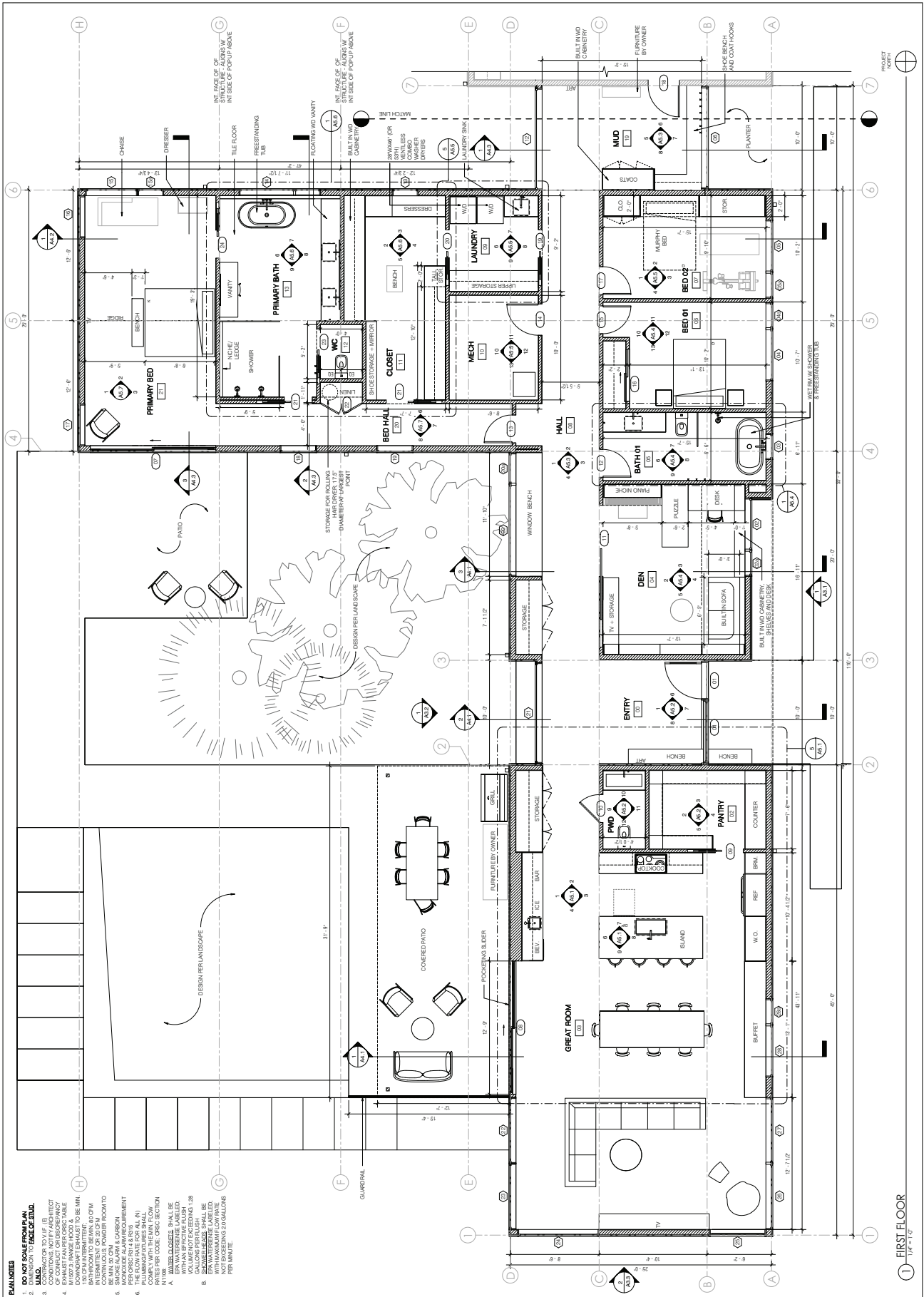
1 SITE PLAN 11.11.20.07

2 SITE PLAN - KEY 11.11.20.07





SHEET NO.	A2.1
SHEET TITLE	FIRST FLOOR
PROJECT	MOCKINGBIRD HIDEAWAY
REVISIONS	
DATE	09.04.2024
JOB NO.	24183
WEST SIDE/NEW OLD GERMAN/TOWN ROAD, PORTLAND, OR	
PHASE	LAND USE REVIEW

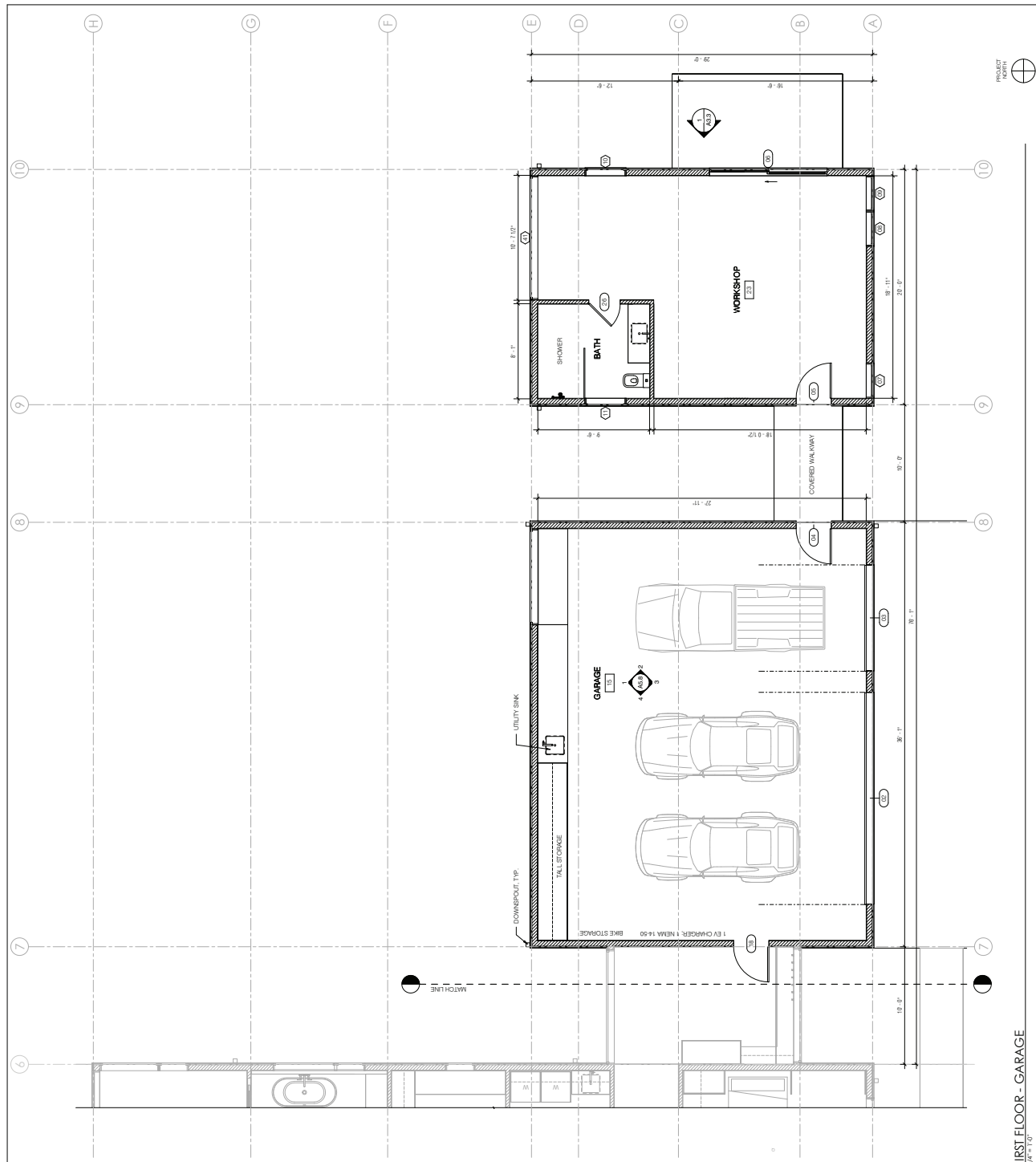


- REMARKS**
- DO NOT SCALE FROM PLAN
 - CONTRACTOR TO VERIFY ALL DIMENSIONS
 - CONTRACTOR TO VERIFY ALL MATERIALS AND FINISHES
 - CONTRACTOR TO VERIFY ALL MECHANICAL AND ELECTRICAL REQUIREMENTS
 - CONTRACTOR TO VERIFY ALL STRUCTURAL REQUIREMENTS
 - CONTRACTOR TO VERIFY ALL CODE REQUIREMENTS
 - CONTRACTOR TO VERIFY ALL PERMITS
 - CONTRACTOR TO VERIFY ALL LOCAL ORDINANCES
 - CONTRACTOR TO VERIFY ALL NEIGHBORHOOD REQUIREMENTS
 - CONTRACTOR TO VERIFY ALL HISTORIC REQUIREMENTS
 - CONTRACTOR TO VERIFY ALL ENVIRONMENTAL REQUIREMENTS
 - CONTRACTOR TO VERIFY ALL SAFETY REQUIREMENTS
 - CONTRACTOR TO VERIFY ALL ACCESSIBILITY REQUIREMENTS
 - CONTRACTOR TO VERIFY ALL ENERGY REQUIREMENTS
 - CONTRACTOR TO VERIFY ALL SUSTAINABILITY REQUIREMENTS

① FIRST FLOOR
 1/8" = 1'-0"

SHEET NO.	A2.2
SHEET TITLE	FIRST FLOOR - GARAGE
PHASE	LAND USE REVIEW
PROJECT	MOCKINGBIRD HIDEAWAY
REVISIONS	
DATE	09/04/2024
JOB NO.	24183
PROJECT	WEST SIDE/NW OLD GERMAN TOWN ROAD, PORTLAND, OR

RISA BOYER ARCHITECTURE
 4522 NE 42ND AVENUE
 PORTLAND OR 97218
 P: 503 493 7143
 W: rboyer.com

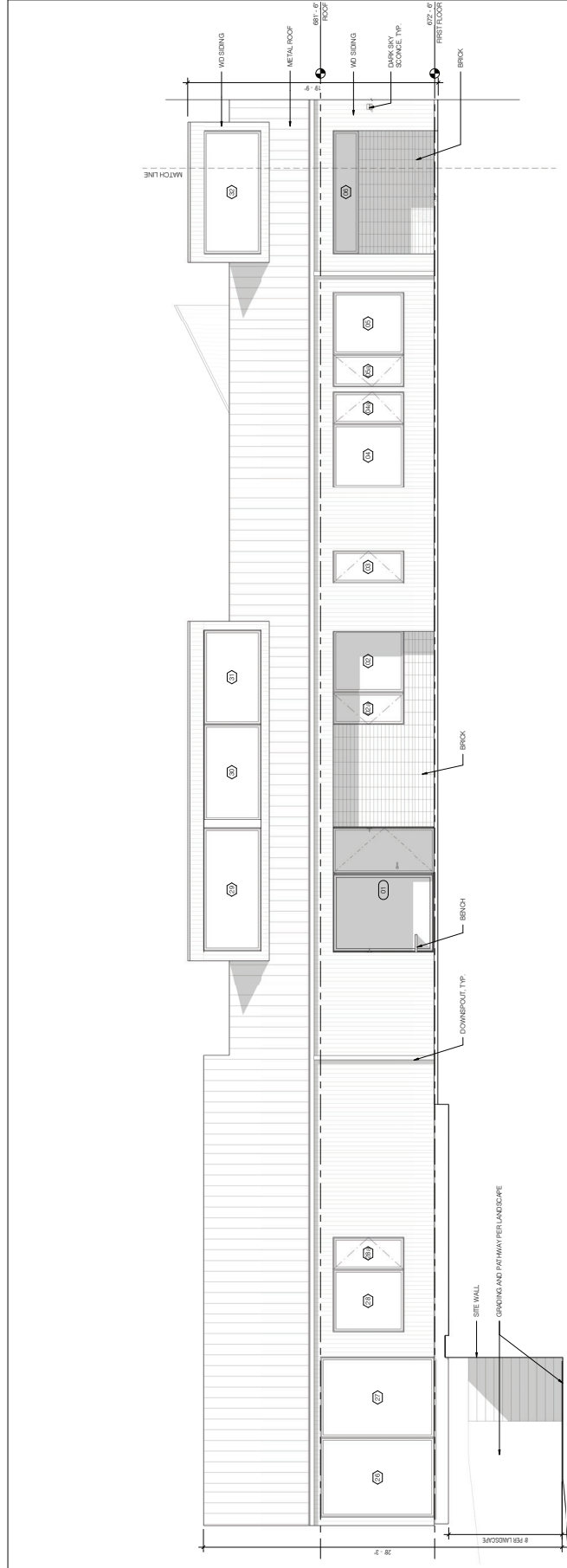


1 FIRST FLOOR - GARAGE
 1/8" = 1'-0"

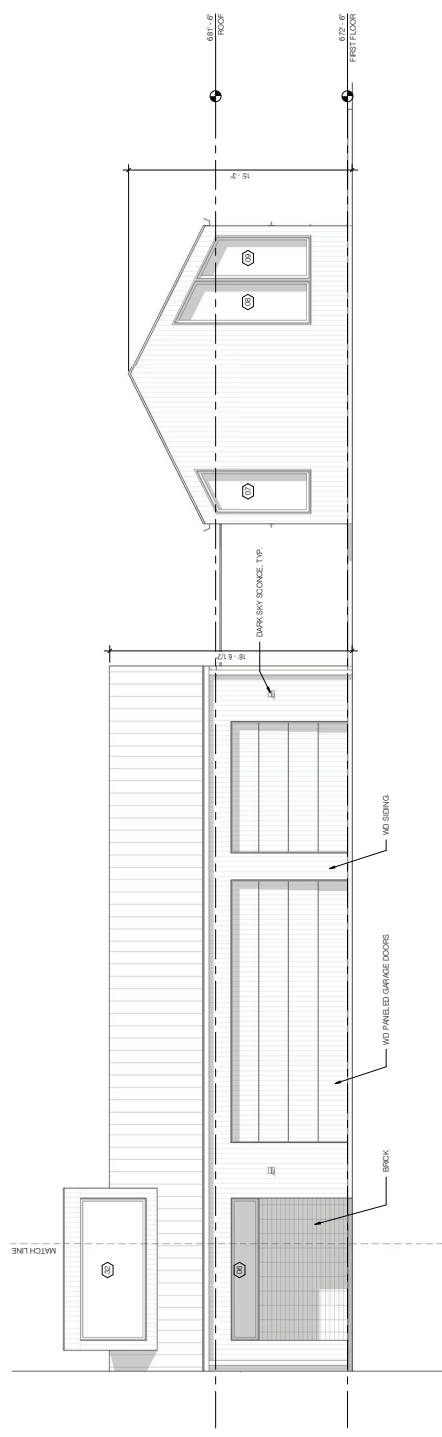
- DETAILS:**
- DO NOT SCALE FROM PLAN
 - CONTRACTOR TO U.P. (E) PLAN TO FACE OF BUILDING
 - CONTRACTOR TO U.P. (E) CONTRACT DOCUMENTS TO U.P. (E) CONTRACT DOCUMENTS
 - CONTRACTOR TO U.P. (E) CONTRACT DOCUMENTS TO U.P. (E) CONTRACT DOCUMENTS
 - CONTRACTOR TO U.P. (E) CONTRACT DOCUMENTS TO U.P. (E) CONTRACT DOCUMENTS
 - BATHROOM TO BE MIN 60 CFM CONTINUOUS POWDER ROOM TO CONTAIN SINK & CLOSET
 - SHOWER AREA REQUIREMENT PER CODE
 - THE FLOW RATE (FOR ALL) SHALL BE 1.2 GPM
 - COMPLY WITH THE MIN FLOW PER CODE. ORS CODE SECTION 247.150
 - WATERCLOSETS SHALL BE WITH AN EFFECTIVE FLUSH WITH A MINIMUM OF 4.0 GALLONS PER FLUSH
 - SEWERAGE SHALL BE WITH MAXIMUM FLOW RATE PER MINUTE

SHEET NO.	A3.1
SHEET TITLE	EXTERIOR ELEVATIONS
PROJECT	MOCKINGBIRD HIDEAWAY
DATE	09/24/2024
REVISIONS	
PHASE	LAND USE REVIEW
JOB NO.	24183
WEST SIDE/MW OLD GERMAN TOWN ROAD, PORTLAND, OR	

RISA BOYER ARCH
 RISA BOYER ARCHITECTURE
 4522 NE 42ND AVENUE
 PORTLAND OR 97218
 P: 503 493 7143
 W: rsbboyer.com



① SOUTH ELEVATION - MAIN HOUSE
 1/8" = 1'-0"

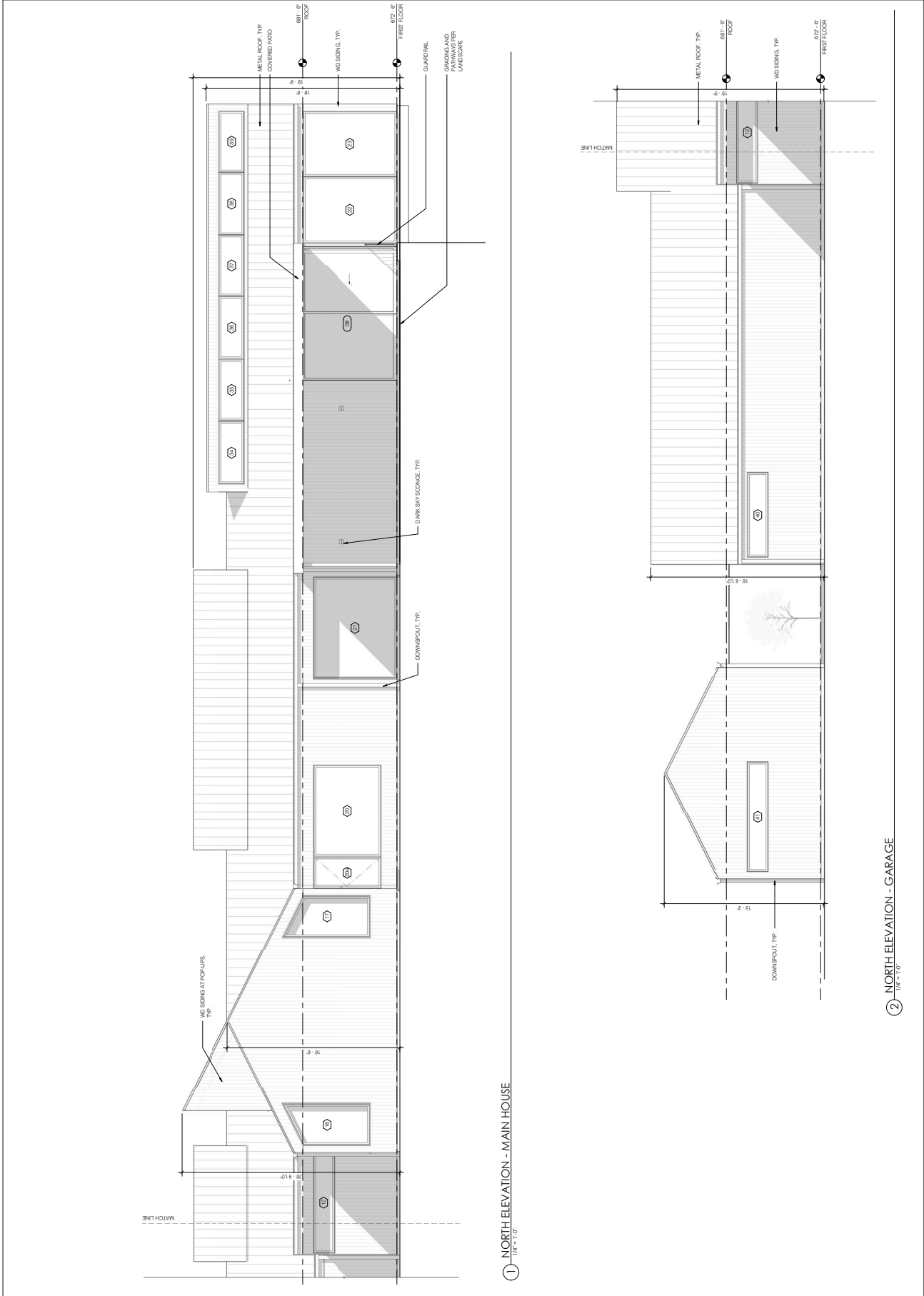


② SOUTH ELEVATION - GARAGE
 1/8" = 1'-0"

SHEET NO.	A3.2	PHASE	LAND USE REVIEW	JOB NO.	24183	DATE	09.04.2024
SHEET TITLE	EXTERIOR ELEVATIONS	PROJECT	MOCKINGBIRD HIDEAWAY	WEST SIDE/MW OLD GERMANTOWN ROAD, PORTLAND, OR			
REVISIONS							



RISA BOYER ARCHITECTS, INC.
 4522 NE 42ND AVENUE
 PORTLAND, OR 97218
 P: 503.493.7143
 W: rboyer.com



SHEET NO.	A3.3
PHASE	LAND USE REVIEW
PROJECT	MOCKINGBIRD HIDEAWAY
DATE	09.04.2024
REVISIONS	
JOB NO.	24183
WEST SIDE/NEW OLD GERMANTOWN ROAD, PORTLAND, OR	

RISA BOYER ARCH
 RISA BOYER ARCHITECTURE
 4522 NE 42ND AVENUE
 PORTLAND OR 97218
 P: 503 493 7143
 W: risaboyer.com

