

14 DAY OPPORTUNITY TO COMMENT



www.multco.us/landuse ▪ Email: land.use.planning@multco.us ▪ Phone: (503) 988-3043

Application for a Significant Environmental Concern Review

CASE FILE: T2-2024-0102 **APPLICANT:** Colin Jensen, THESIS Studio

LOCATION: No Situs Address **Property ID #** R270702
Map, Tax lot: 1N1W09A -01900 **Alt. Acct. #** R773502800

BASE ZONE: Rural Residential (RR)

OVERLAYS: Significant Environmental Concern – Stream (SEC-s), Significant Environmental Concern – Wildlife Habitat (SEC-h), and Geologic Hazard (GH)

PROPOSAL: Request for a single-family dwelling, detached accessory building, two retaining walls and a driveway

- ❖ **COMMENT PERIOD:** Neighbors are invited to submit written comments for the proposal described above. Comments should be directed toward the approval criteria listed below. Any neighbor that submits comments will receive the County's complete decision. Written comments will be accepted at LUP-comments@multco.us if received by **4:00 pm on Tuesday, April 29, 2025. If you do not wish to submit comments, no response is necessary.**

Further information regarding this application is available by contacting LUP-comments@multco.us. Paper copies of these materials may be purchased for \$0.46/per page.

- ❖ **APPLICABLE APPROVAL CRITERIA** [Multnomah County Code (MCC)]:

General Provisions: MCC 39.1250 Code Compliance and Applications, MCC 39.2000 Definitions, MCC 39.3005 Lot of Record – Generally, MCC 39.3090 Lot of Record – Rural Residential (RR), MCC 39.6235 Stormwater Drainage Control, MCC 39.6850 Dark Sky Lighting Standards

Rural Residential Zone: MCC 39.4360 Allowed Uses, (A) Residential use consisting of a single family dwelling on a Lot of Record & (F) Accessory Structures..., MCC 39.4375 Dimensional Requirements and Development Standards

Significant Environmental Concern – Wildlife Habitat (SEC-h): MCC 39.5520 Application for SEC Permit, MCC 39.5860 Criteria for Approval of SEC-h Permit – Wildlife Habitat

Copies of the referenced Multnomah County Code sections can be obtained by visiting our website at <https://multco.us/landuse/zoning-codes/> under the link **Chapter 39 – Zoning Code** or by contacting our office at (503) 988-3043.

Vicinity Map



- ❖ **DECISION MAKING PROCESS:** The Planning Director will render a decision on this application after the comment period expires. Notice of the Director's decision will be mailed to the applicant, parties within 750 feet of the subject property, and any other persons who submitted written comments during the comment period. The Planning Director's decision can be appealed. An explanation of the requirements for filing an appeal will be included in the notice of decision.
- ❖ **IMPORTANT NOTE:** Failure to raise an issue before the close of the public record in sufficient detail to afford the County and all parties an opportunity to respond may preclude appeal on that issue to the Land Use Board of Appeals.
- ❖ **ENCLOSURES:**
 - Site Plan

Notice to Mortgagee, Lien Holder, Vendor, or Seller:

ORS chapter 215 requires that if you receive this notice, it must promptly be forwarded to the purchaser.

SCALE: 1/16" = 1'-0" (24x36" SHEET)

SHEET:

- 1) THIS PROPERTY IS FULLY WITHIN THE SEC'D WILDLIFE HABITAT RESOURCE AREA OVERLAY
- 2) THERE ARE NO EXISTING NON-FORCED* CLEARED AREAS ON THIS SITE
- 3) NO WASH OUT OR CLEANUP OF CONCRETE EQUIPMENT IS TO TAKE PLACE ON THE SITE
- 4) NO STORAGE OR HANDLING OF POTENTIAL SOURCES OF NON-DEPOSITION POLLUTION INCLUDING PESTICIDES, FERTILIZERS, PETROCHEMICALS, SOLID WASTE, CONSTRUCTION CHEMICALS, AND WASTEWATERS ARE TO TAKE PLACE ON SITE.

PROPOSED SITE PLAN

PRELIM PERMIT PLANS

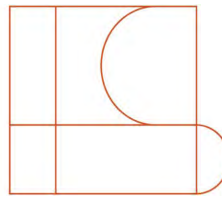
HENDERSON RESIDENCE

LOT 27, SKYLINE ACRES
MULTNOMAH COUNTY, OREGON

LOT 27, SKYLINE ACRES
MULTNOMAH COUNTY, OREGON



THESIS STUDIO
ARCHITECTURE + INTERIORS



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PROJECT NUMBER:	23022
LOT DATE:	241114
TEAM:	CDJ AB PM ZE
REVISION LOG:	

