

NOTICE OF NSA OPPORTUNITY TO COMMENT



www.multco.us/landuse ▪ Email: land.use.planning@multco.us ▪ Phone: (503) 988-3043

Application for National Scenic Area Post-Emergency Permit

CASE FILE: T2-2024-0112 **APPLICANT:** Edgar Diaz, Doctor Dirt LLC

LOCATION: 32131 NE Wand Rd, Troutdale **Property ID #** R322373
Map, Tax lot: 1N4E29DD-00700 **Alt. Acct. #** R944290330

BASE ZONE: Gorge Special Agriculture – 40 (GSA-40)

OVERLAYS: None

KEY VIEWING AREAS: Bridal Veil, Columbia River, Crown Point, Historic Columbia River Hwy, Interstate - 84, Larch Mtn Rd, Portland Women's Forum, Rooster Rock, WA State Route 14.

LANDSCAPE SETTING: Pastoral

PROPOSAL: Request for an NSA Post-Emergency/Disaster Response application for the installation of an on-site sewage disposal system on the subject property.

- ❖ **COMMENT PERIOD:** Neighbors are invited to submit written comments for the proposal described above. Comments should be directed toward the approval criteria listed below. Any neighbor that submits comments will receive the County's complete decision. Written comments will be accepted at LUP-comments@multco.us if received by **4:00 pm on Thursday, July 24, 2025**. Comments regarding Cultural Resources will be accepted until **4:00 pm on Monday, August 4, 2025**. **If you do not wish to submit comments, no response is necessary.**

Further information regarding this application is available by contacting LUP-comments@multco.us. Paper copies of these materials may be purchased for \$0.46/per page.

- ❖ **APPLICABLE APPROVAL CRITERIA** [Multnomah County Code (MCC)]:

General Provisions: MCC 38.0560 Code Compliance and Applications, MCC 38.0015 Definitions – Parcel, MCC 38.0110 Tribal Treaty Rights and Consultation

GSA-40 Zone: MCC 38.2225(B)(15) Review Uses, Placement of Structures...

NSA Site Review Criteria: MCC 38.7015 Application for NSA Site Review, MCC 38.7090 Responses to an Emergency/Disaster Event

Copies of the referenced Multnomah County Code sections can be obtained by visiting our website at <https://multco.us/landuse/zoning-codes/> under the link **Chapter 38 – Columbia River Gorge National Scenic Area** or by contacting our office at (503) 988-3043.

Vicinity Map

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- ❖ **DECISION MAKING PROCESS:** The Planning Director will render a decision on this application after the comment period expires. Notice of the Director's decision will be mailed to the applicant, those who submitted written comment during the comment period, those who requested the decision in writing, and the Gorge Commission. The Planning Director's decision can be appealed. An explanation of the requirements for filing an appeal will be included in the notice of decision.
- ❖ **IMPORTANT NOTE:** Failure to raise an issue before the close of the public record in sufficient detail to afford the County and all parties an opportunity to respond may preclude appeal on that issue to the Columbia River Gorge Commission.
- ❖ **ENCLOSURES:**``
Plans

Notice to Mortgagee, Lien Holder, Vendor, or Seller:

ORS chapter 215 requires that if you receive this notice, it must promptly be forwarded to the purchaser.

The following type and size of the system and absorption area are required:

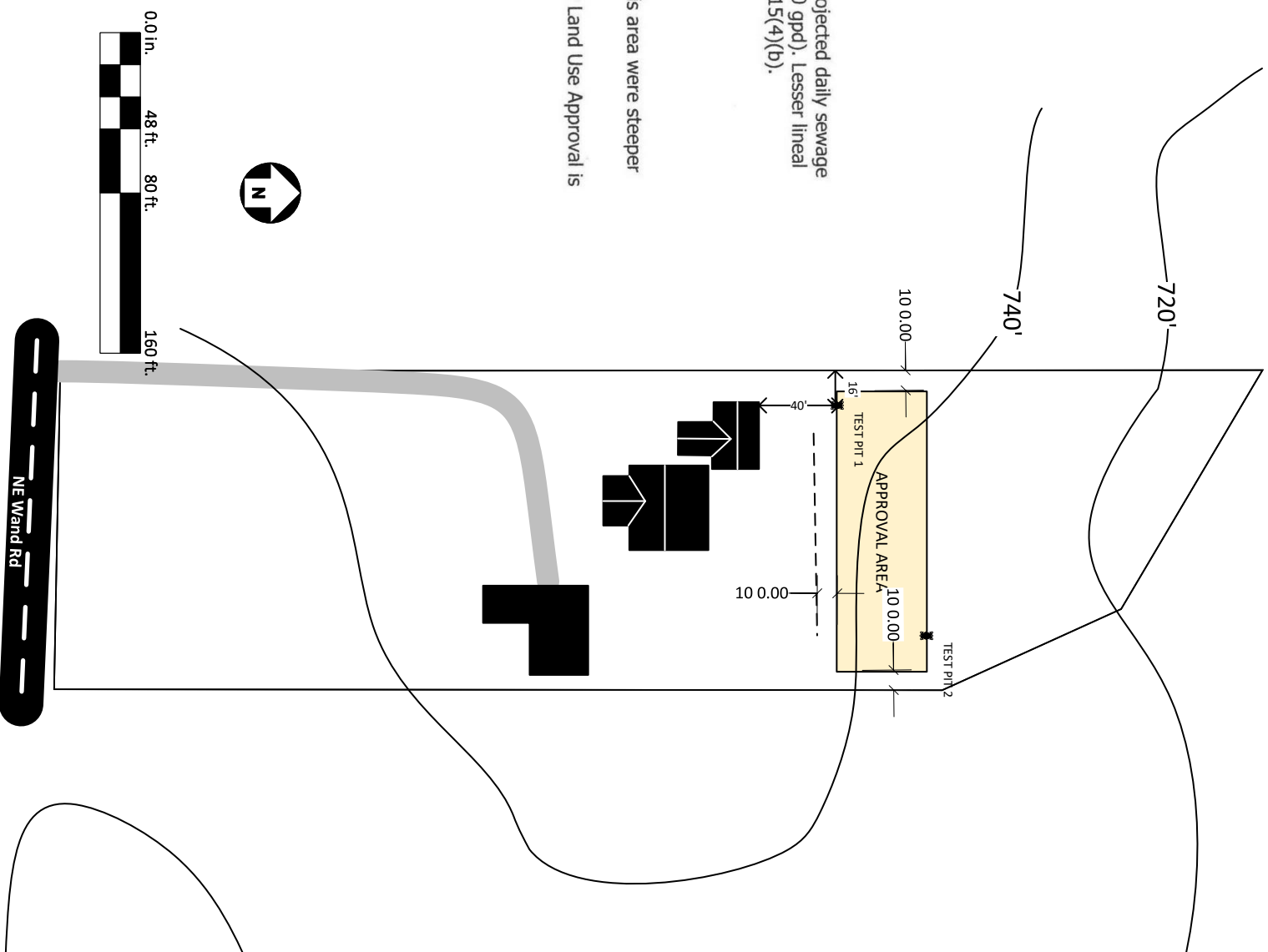
1. One, 1000-gallon septic tank.
2. Serial distribution system.
3. 125 lineal feet (LF) of absorption trench per 150 gallons per day (gpd) projected daily sewage flow is required. A total of 375LF is required for up to four bedrooms (450 gpd). Lesser lineal footage may be considered under reasonable repair per OAR 340-071-0215(4)(b).
4. Maximum trench depth 30", minimum trench depth 24".
5. A 10ft setback to property lines is required.
6. A 10ft setback to the existing drainfield is required.
7. A 10ft setback to the downslope un-mowed area is required. Slopes in this area were steeper and not evaluated.
8. The property is in the National Scenic Area (NSA) and Multnomah County Land Use Approval is required prior to septic installation permit issuance.

MCC 38.7035(A)(1)

There will be no permanent grading. Excavation is temporary. Spoil piles will be used for backfilling the septic system components to original grade
Any left over material will be removed from the site and properly recycled with a material recycling company.

MCC 38.7035(A)(5)

No trees are proposed to be removed. Grass and weeds are the primary ground cover. Any exposed ground surface will be replanted using a native seed blend.

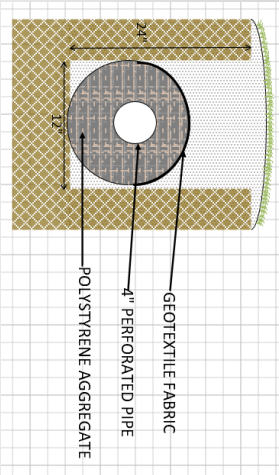


January 21, 2022

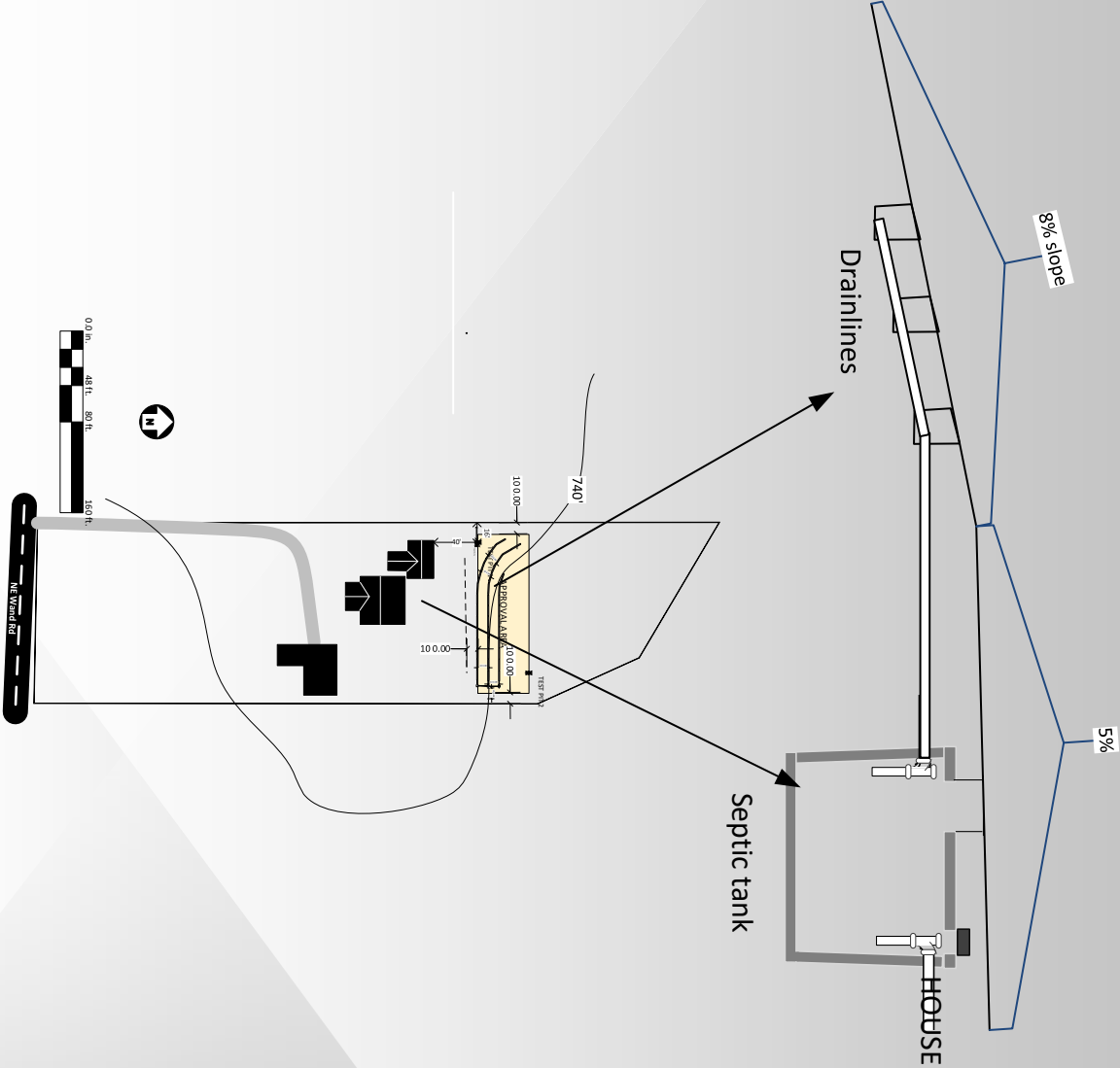
ELEVATIONS

MCC 39.55005 – 38.5520 & MCC 38.0045(A)

- All work is being done in slopes of 9% or less
- Soil disturbance will be temporary
- Land will be restored to original grade once work is completed.
- No permanent grading or filling proposed.



Elevations: (Lidar)
Building Sewer: 741.75'
Septic Tank outlet: 741.57'
First Drain line (140'): 740.49'
Second Drain line(140'): 738.73'
Third Drain line (100'): 737.54'



January 21, 2022

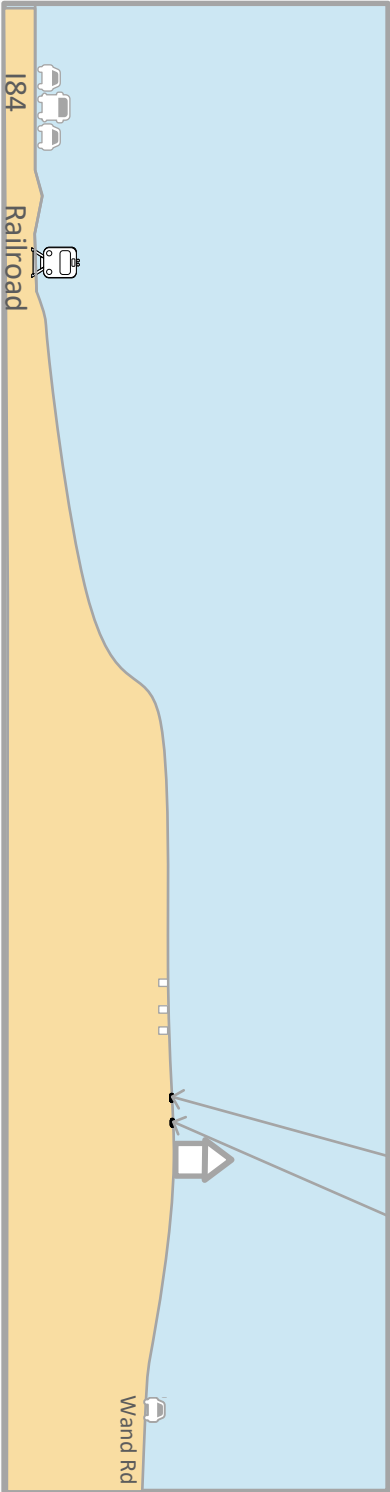
VISUAL IMPACT MCC 38.7035(B)(1), (B)(4), and (B)(12)

32131 NE WAND RD, TROUTDALE, OR 97060 // R322373 // R944290330 // SECTION 29 1N 4E, TL 700 // 2.00 ACRES // 1N4E29DD -00700

THERE WILL BE NO LONG TERM VISUAL IMPACT. PERMANENT MANHOLES TO GROUND SURFACE ARE 2' WIDE AND IMPOSSIBLE TO SEE FROM THE ROAD. THE TREE COVER WILL BE UNAFFECTED BY THIS INSTALLATION.



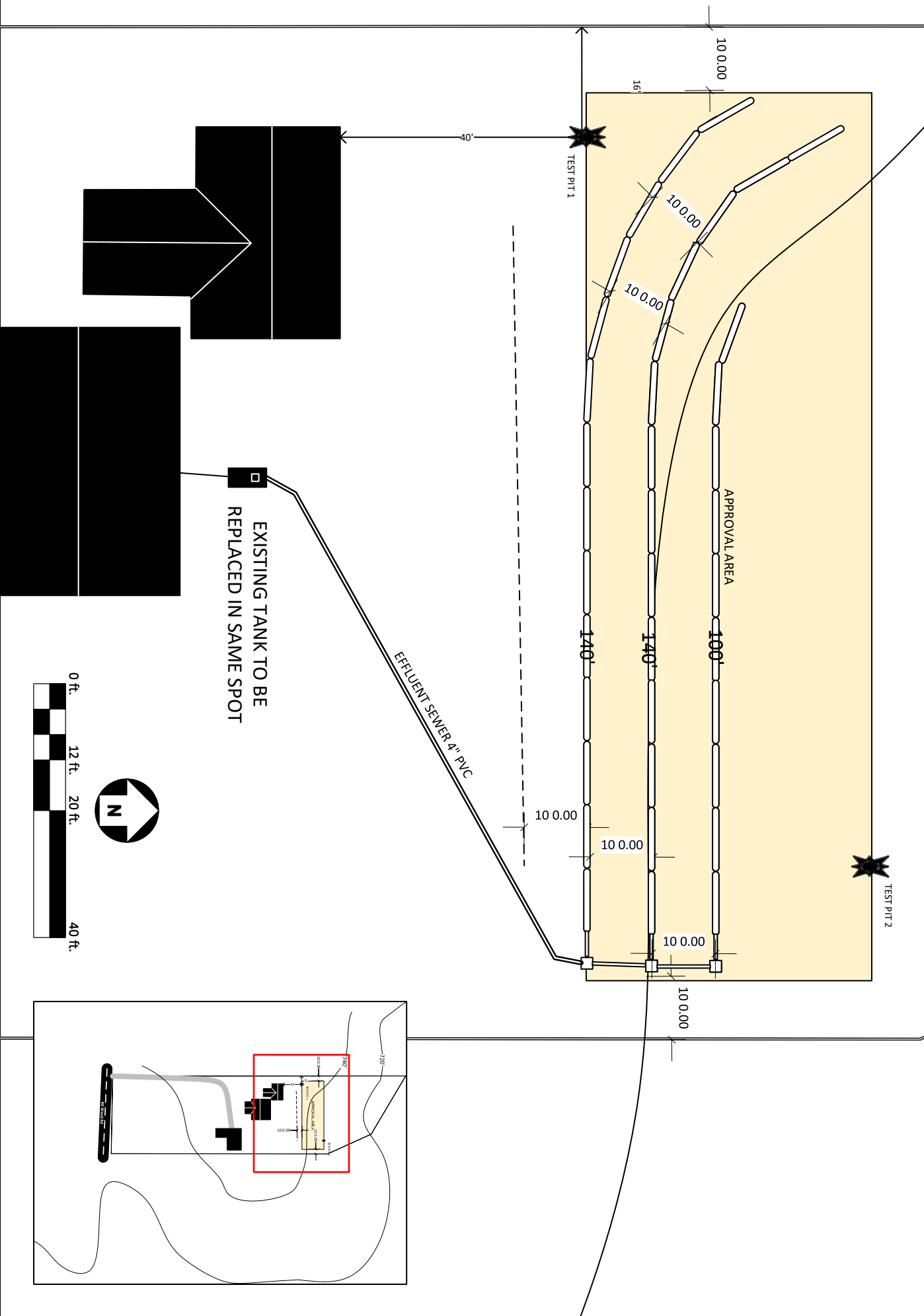
Septic Tank Manhole Cover



Facing south from 184



Looking north from Wand Rd



RAU, JOSHUA D & RAU, LISA & RAU, LAURA A

MCC 38.7035(A)(1)

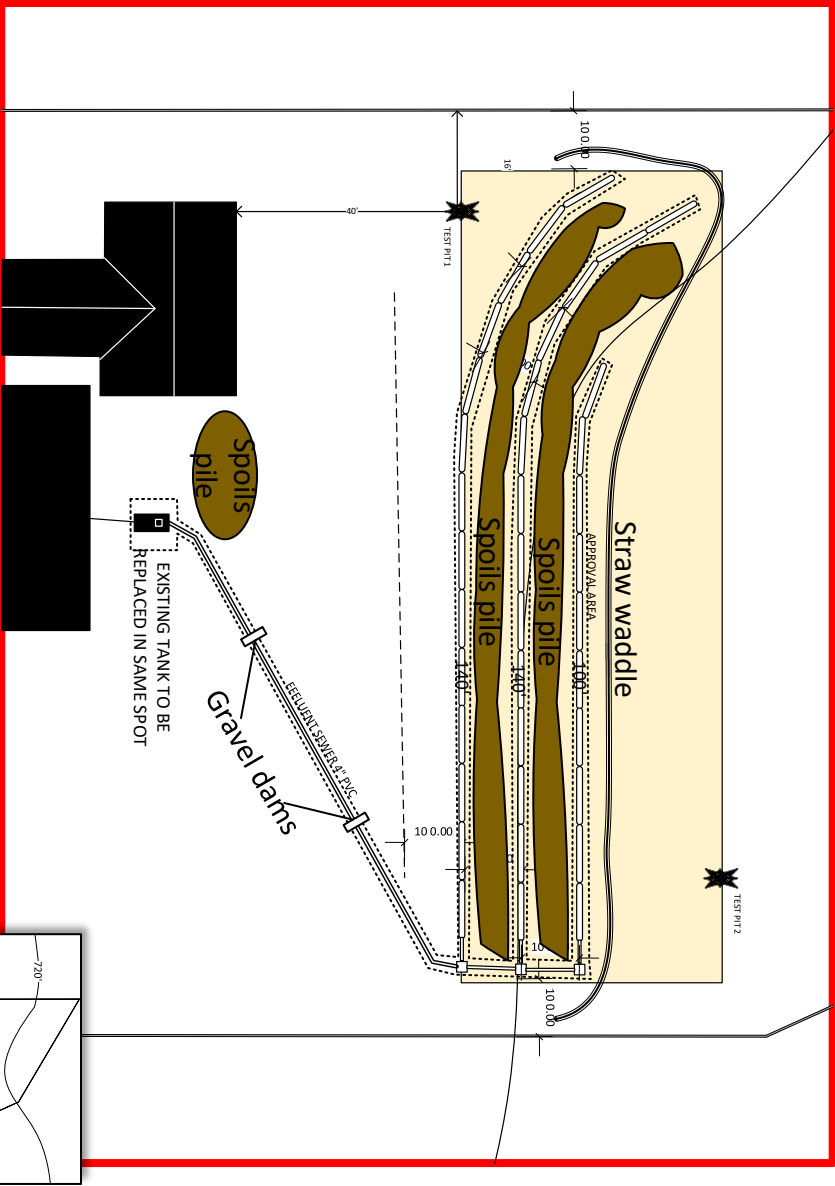
There will be no permanent grading. Excavation is temporary. Spoil piles will be used for backfilling the septic system components to original grade. NO EXCAVATION WORK TO TAKE PLACE DURING RAIN EVENTS. SPOILS PILES WILL BE COVERED IN PLASTIC WHEN NOT IN USE.

Excess material, identified below, will be removed from the site and properly recycled with a material recycling company.

MCC 38.7035(A)(5)

No trees are proposed to be removed. Impact is limited to grass and weeds (lawn). Disturbed ground surface areas will be replanted using a native seed blend.

Excavation size					
System component	Length (feet)	Width (feet)	Depth (feet)	Excavation Area (Square Feet)	Excavation Volume (cubic feet)
Septic tank	7	8.5	7.5	59.5	446.25
Effluent sewer	103	1	2	103	206
Drainline 1	140	1	2	140	280
Distribution line	10	1	2	10	20
Drainline 2	140	1	2	140	280
Distribution pipe	10	1	2	10	20
Drainline 3	100	1	2	100	200
Total Disturbed area				462.5	
Permanent ground surface system foot print				4	
Total volume of spoils pile					1452.25
Volume of existing tank					220
Amount of soils to be removed (cubic yards)					492.9
Amount of soil to be graded onsite					0



Erosion control plan:

- Spoils piles to be covered in plastic when not in use
- Excavation work will occur on days without rain (segmented line denotes excavation foot print)
- Gravel dams will be installed every 25" to slow water in open effluent pipe trench.
- Back fill as soon as county approves inspection and seed with native seed grass blend. Apply a weed free temporary soil cover will seed sprout and new cover is established.
- Install straw waddles on down hill of excavation

