

14 DAY OPPORTUNITY TO COMMENT



www.multco.us/landuse ▪ Email: land.use.planning@multco.us ▪ Phone: (503) 988-3043

Application for an Accessory Use Determination, Significant Wildlife Habitat (SEC-h) Permit, and an Erosion and Sediment Control (ESC) Permit

CASE FILE: T2-2025-0012 **APPLICANT:** Bradlee Hersey, Faster Permits

LOCATION: 13118 NW Old Germantown Road, Portland **Property ID #** R324351
 Map, Tax lot: 1N1W16A -00200 **Alt. Acct. #** R961160740

BASE ZONE: Commercial Forest Use – 2 (CFU-2)

OVERLAYS: Significant Wildlife Habitat (SEC-h), Geologic Hazards (GH)

PROPOSAL: Request for an Accessory Use Determination, Significant Wildlife Habitat (SEC-h) Permit, and an Erosion and Sediment Control (ESC) Permit for a residential addition, addition to the attached deck including a sauna and changing room, and remodel of an existing accessory structure to add a second story for a home office use.

- ❖ **COMMENT PERIOD:** Neighbors are invited to submit written comments for the proposal described above. Comments should be directed toward the approval criteria listed below. Any neighbor that submits comments will receive the County’s complete decision. Written comments will be accepted at LUP-comments@multco.us if received by **4:00 pm on June 16, 2025**. **If you do not wish to submit comments, no response is necessary.**

Further information regarding this application is available by contacting LUP-comments@multco.us. Paper copies of these materials may be purchased for \$0.46/per page.

- ❖ **APPLICABLE APPROVAL CRITERIA** [Multnomah County Code (MCC)]:

General Provisions: MCC 39.1250 Code Compliance and Applications, MCC 39.2000 Definitions, MCC 39.6235 Stormwater Drainage Control, MCC 39.6850 Dark Sky Lighting Standards, MCC 39.3005 Lot of Record – Generally, MCC 39.3030 Lot of Record – Commercial Forest Use-2 (CFU-2)

Commercial Forest Use – 2 (CFU-2): MCC 39.4070(D) Allowed Use – Alteration of a Single-Family Dwelling, AND MCC 39.4075(L) Review Use – Accessory Structure Exceeding the Allowed Use Criteria of MCC 39.4070(T), MCC 39.4105 Building Height Requirements, MCC 39.4110 Forest Practices Setbacks and Fire Safety Zones, MCC 39.4115 Development Standards for Dwellings and Structures, (A)(1), (A)(3), (C) and (E)

Significant Wildlife Habitat (SEC-h) Criteria: MCC 39.5510 Permits Required, MCC 39.5540 SEC-h Permit Criteria (Significant Wildlife Habitat)

Copies of the referenced Multnomah County Code sections can be obtained by visiting our website at <https://multco.us/landuse/zoning-codes/> under the link **Chapter 39 – Zoning Code** or by contacting our office at (503) 988-3043.



- ❖ **DECISION MAKING PROCESS:** The Planning Director will render a decision on this application after the comment period expires. Notice of the Director's decision will be mailed to the applicant, parties within 750 feet of the subject property, and any other persons who submitted written comments during the comment period. The Planning Director's decision can be appealed. An explanation of the requirements for filing an appeal will be included in the notice of decision.
- ❖ **IMPORTANT NOTE:** Failure to raise an issue before the close of the public record in sufficient detail to afford the County and all parties an opportunity to respond may preclude appeal on that issue to the Land Use Board of Appeals.
- ❖ **ENCLOSURES:**
 - Site Plan
 - Floor Plan
 - Building Elevation

Notice to Mortgagee, Lien Holder, Vendor, or Seller:

ORS chapter 215 requires that if you receive this notice, it must promptly be forwarded to the purchaser.

Enclosure - Site Plan

JONES

JONES ARCHITECTURE

120 NW 6TH AVE. STE. 210
PORTLAND, OREGON 97209
T 503.477.9185
www.jonesarc.com

SITE PLAN GENERAL NOTES

1. HARDSCAPE AND LANDSCAPING FOR REFERENCE ONLY. SEE LANDSCAPE DRAWINGS FOR ADDITIONAL DETAIL AND INFORMATION
2. SEE SITE PLAN A001 FOR (E) MAIN METER LOCATION; SEE ENLARGED SITE PLAN A002 FOR APPROXIMATE (E) UTILITY ROUTING

SITE PLAN LEGEND

- AREA OF WORK; SEE ENLARGED SITE PLAN FOR SCOPE INFORMATION
- ENVIRONMENTAL OVERLAY - GEOLOGIC HAZARD
- ENVIRONMENTAL OVERLAY: SIGNIFICANT ENVIRONMENTAL CONCERN - STREAM (SEC-6)
- ENVIRONMENTAL OVERLAY: SIGNIFICANT ENVIRONMENTAL CONCERN - WILDLIFE HABITAT (SEC-H)
- (N) NEW
- (E) EXISTING

LOT INFORMATION

13118 NW OLD GERMANTOWN RD. PORTLAND, OR 97213	
TAX LOT ID:	1N1W16A-0200
LOT AREA:	144,520 SF
BASE ZONE:	CPD
ENVIRONMENTAL OVERLAY:	SEC-H
REQUIRED SETBACKS:	
FRONT:	30-FT
SIDE:	30-FT PRIMARY
REAR:	30-FT

FIRE SAFETY ZONE

FIRE SAFETY ZONE 1 (MAIN HOUSE)	
26' ELEVATION GAIN / 150' DISTANCE = 14% SLOPE	
PER TABLE 1 CHAPTER 39 MULTNOMAH COUNTY ZONING CODE: 50' ADDITIONAL FIRE SAFETY ZONE REQUIRED	
FIRE SAFETY ZONE 2 (ACC. STRUCTURE)	
17' ELEVATION GAIN / 100' - 10" DISTANCE = 17% SLOPE	
PER TABLE 1 CHAPTER 39 MULTNOMAH COUNTY ZONING CODE: 50' ADDITIONAL FIRE SAFETY ZONE REQUIRED	

LEWIS RESIDENCE
PHASE II

24-006
13118 NW OLD
GERMANTOWN RD.
PORTLAND, OR 97213

LAND USE SET

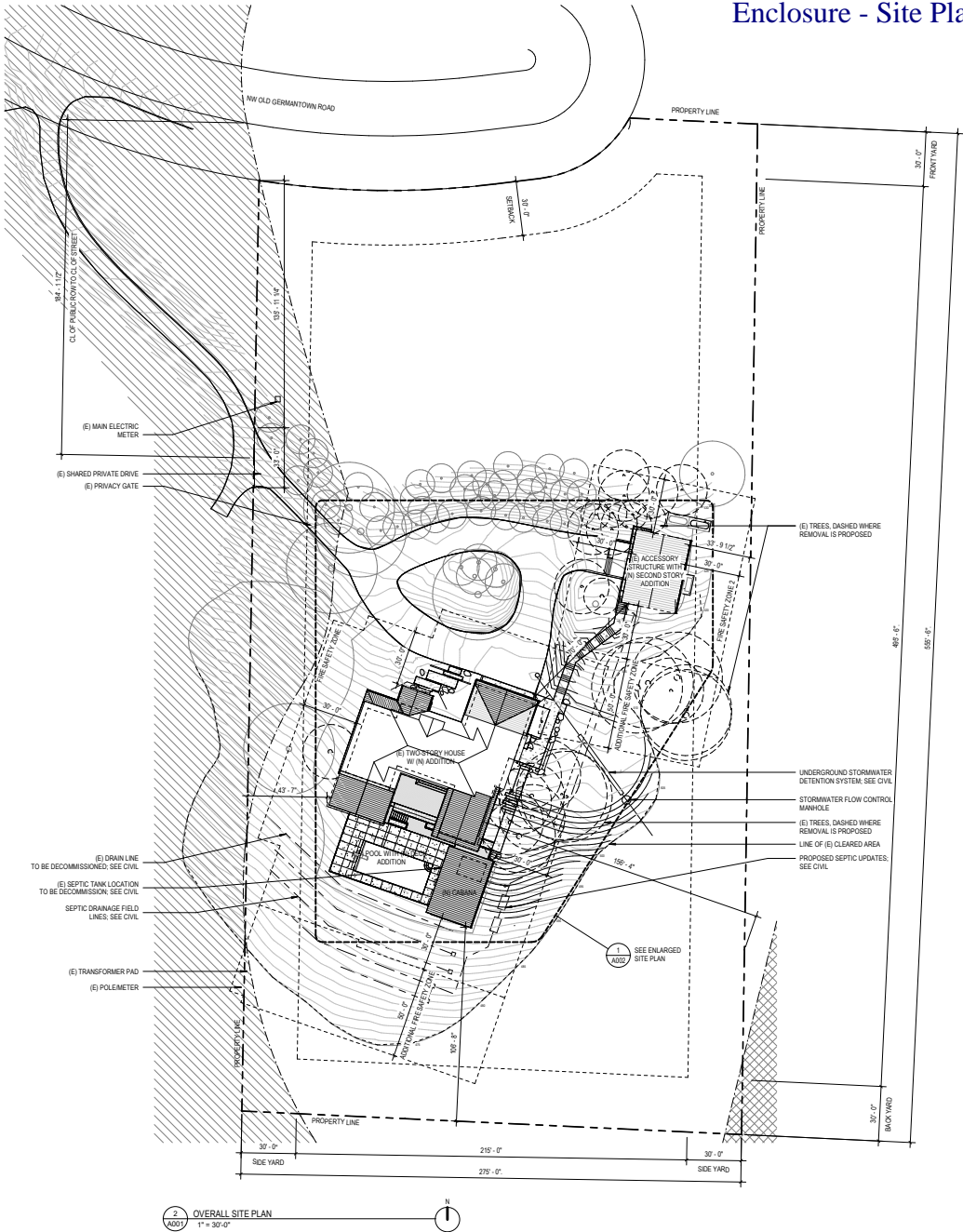
1/30/2025

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REVISIONS:

SITE PLAN

A001



Enclosure - Proposed SFD,
Sauna, Changing Room and
Deck Addition Floor Plans

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FLOOR PLAN GENERAL NOTES

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2. HARDSCAPE AND LANDSCAPING FOR REFERENCE ONLY. SEE LANDSCAPE MASTERPLAN AND DRAWINGS FOR ADDITIONAL DETAIL AND INFORMATION
3. SEE STRUCTURAL DRAWINGS FOR ADDITIONAL INFORMATION

FLOOR PLAN LEGEND

- EXISTING CONCRETE
- NEW CONCRETE
- NEW WOOD FLOOR
- NEW WOOD DECKING
- EXISTING TILE
- NEW TILE
- EXISTING WALL
- NEW WALL
- EXISTING ROOF OVERHANG ABOVE
- NEW ROOF OVERHANG ABOVE
- NEW WINDOW IN NEW R.O.
WINDOWS TAGGED IN OVERALL KEY PLANS
- NEW WINDOW IN EXISTING R.O.
WINDOWS TAGGED IN OVERALL KEY PLANS

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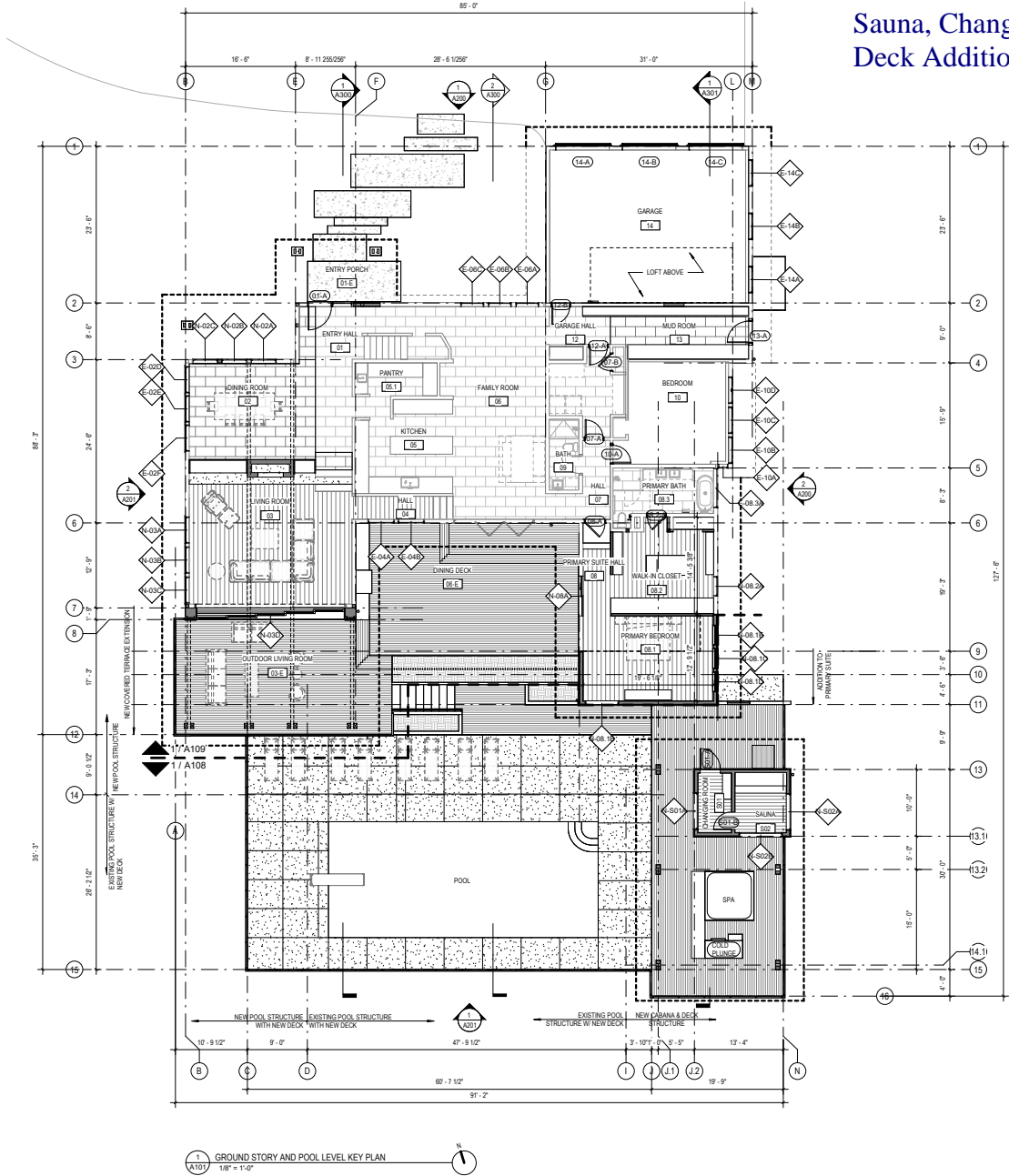
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REVISIONS:

GROUND STORY AND
POOL LEVEL KEY
PLAN

A101



Enclosure - Proposed Accessory
Structure 1st Floor Plan

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FLOOR PLAN LEGEND

- EXISTING CONCRETE
- NEW CONCRETE
- NEW WOOD FLOOR
- NEW WOOD FLOORING
- NEW WOOD DECKING
- EXISTING TILE
- NEW TILE
- EXISTING WALL
- NEW WALL
- EXISTING ROOF OVERHANG ABOVE
- NEW ROOF OVERHANG ABOVE
- NEW WINDOW IN NEW R.O.
- NEW WINDOW IN EXISTING R.O.
- WINDOWS TAGGED IN OVERALL KEY PLANS
- WINDOWS TAGGED IN OVERALL KEY PLANS

LEWIS RESIDENCE
PHASE II

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GERMANTOWN RD.
PORTLAND, OR 97213

LAND USE SET

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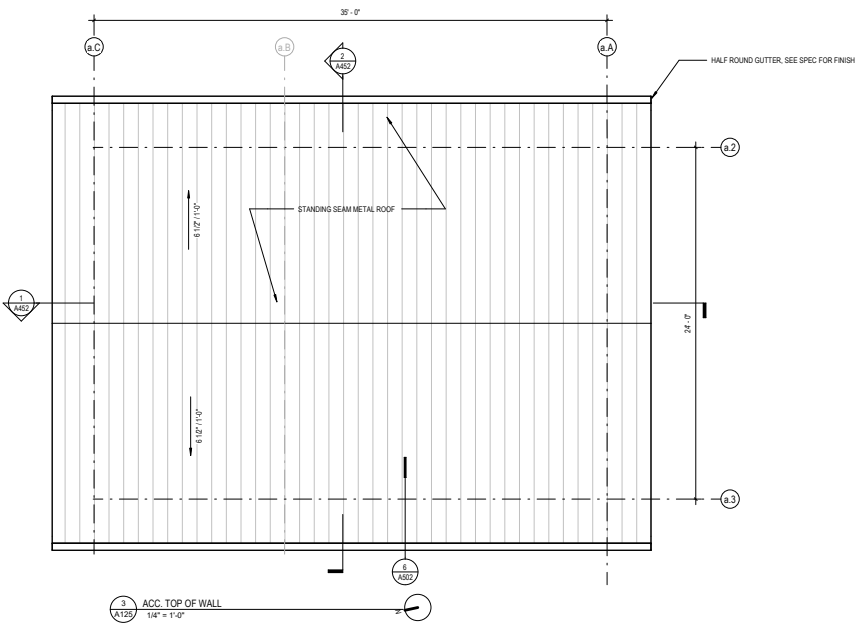
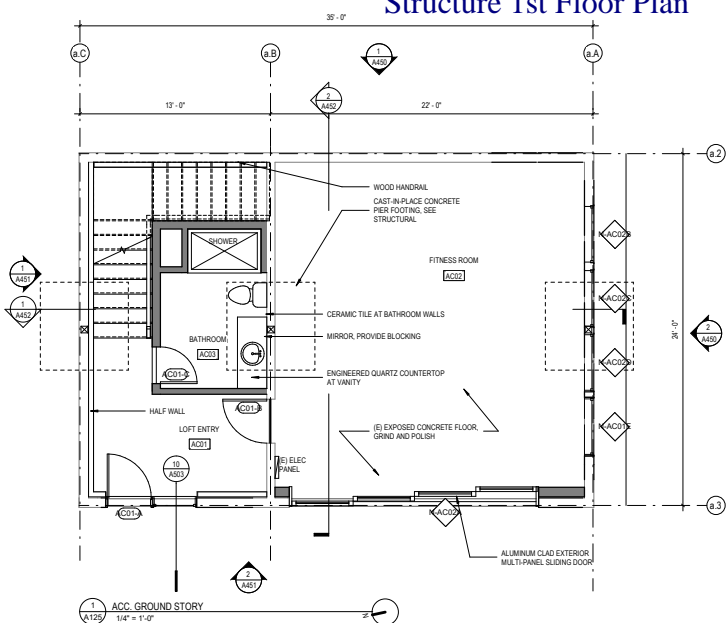
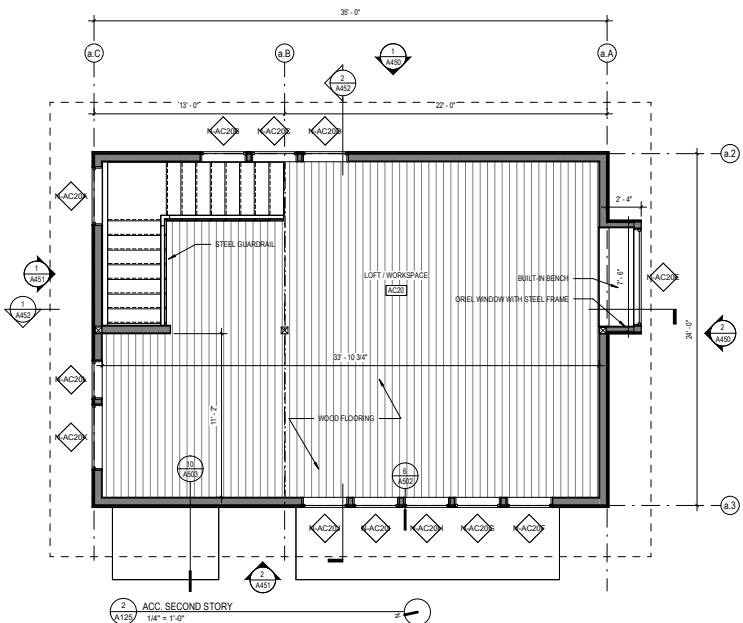
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REVISIONS:

ACCESSORY
STRUCTURE PLANS

A125

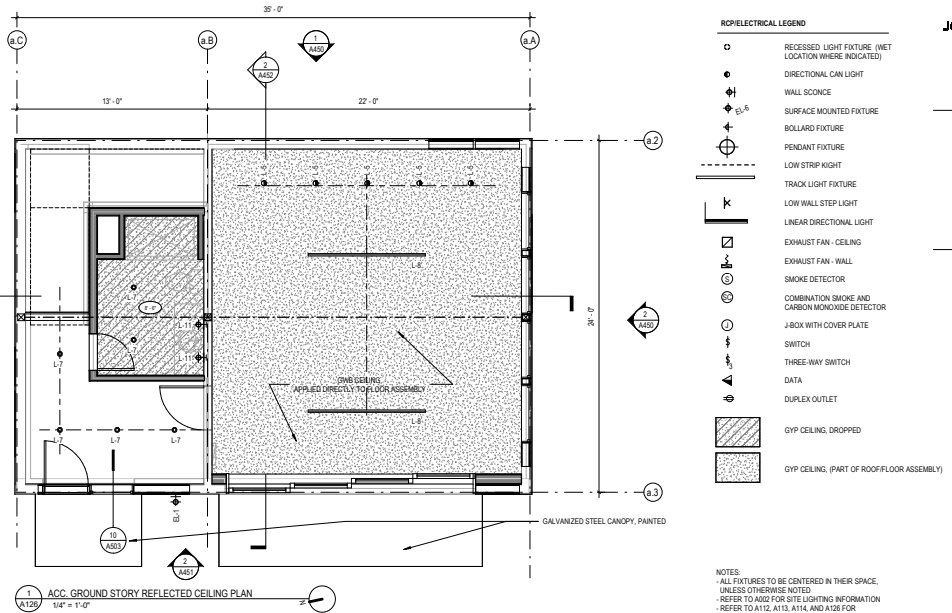
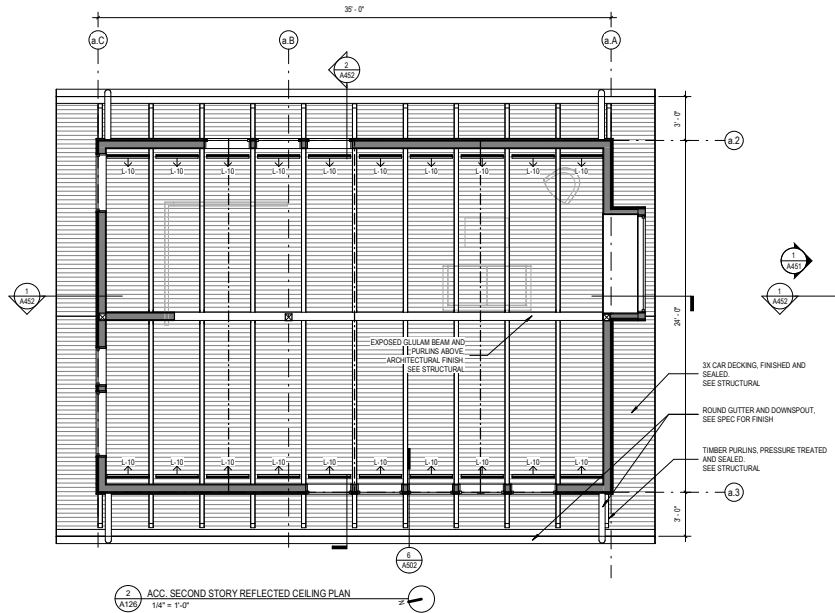


Enclosure - Proposed Accessory
Structure 2nd Floor Plan

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ROPELECTRICAL LEGEND	
	RECESSED LIGHT FIXTURE (NET LOCATION WHERE INDICATED)
	DIRECTIONAL CAN LIGHT
	WALL SCONCE
	SURFACE MOUNTED FIXTURE
	BOLLARD FIXTURE
	PENDANT FIXTURE
	LOW STRIP LIGHT
	TRACK LIGHT FIXTURE
	LOW WALL STEP LIGHT
	LINEAR DIRECTIONAL LIGHT
	EXHAUST FAN - CEILING
	EXHAUST FAN - WALL
	SMOKE DETECTOR
	COMBINATION SMOKE AND CARBON MONOXIDE DETECTOR
	J-BOX WITH COVER PLATE
	SWITCH
	THREE-WAY SWITCH
	DATA
	DUPLEX OUTLET
	GYP CEILING, DROPPED
	GYP CEILING, (PART OF ROOF/FLOOR ASSEMBLY)

NOTES:
- ALL FIXTURES TO BE CENTERED IN THEIR SPACE, UNLESS OTHERWISE NOTED
- REFER TO A002 FOR SITE LIGHTING INFORMATION
- REFER TO A112, A113, A114, AND A135 FOR ARCHITECTURAL LIGHTING INFORMATION

LEWIS RESIDENCE
PHASE II

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REVISIONS:

LIGHTING SPECIFICATIONS

- 205020 LIGHTING
- A. Basis of Design: Smart system, Lutron, Ketra or sim.
- B. Basis of Design Fixtures
- a. (EL-1) Exterior typical sconce, Exterior sconce: Bega Wall Luminaire 33 514
 - b. (EL-2) Exterior stepdown wall light, Pool deck and Cabana: Garden Light LED, Falcon Eye Recessed Light Series, Stainless Steel
 - c. (EL-3) Exterior deck surface wall light, Cabana Deck: Garden Light LED, Eagle Eye Recessed Light Series, Stainless Steel
 - d. (EL-4) Underwater pool lighting, Pool side walls under water level: Bega swimming pool Luminaire, stainless steel, 84 402
 - e. (EL-5) Exterior concealed stair nose strip light, Deck steps/stairs: Uniform Static White (Outdoor) White Light Tape
- C. Landscape Lighting
- a. (EL-6) Exterior concealed stair nose strip light, landscape path steps/stairs: Exterior concealed stair nose strip light, Deck steps/stairs: Uniform Static White (Outdoor) White Light Tape
 - b. (EL-6) Exterior bollard, main entry: Bega Direct Burial Anchorage Garden Bollard B77 230

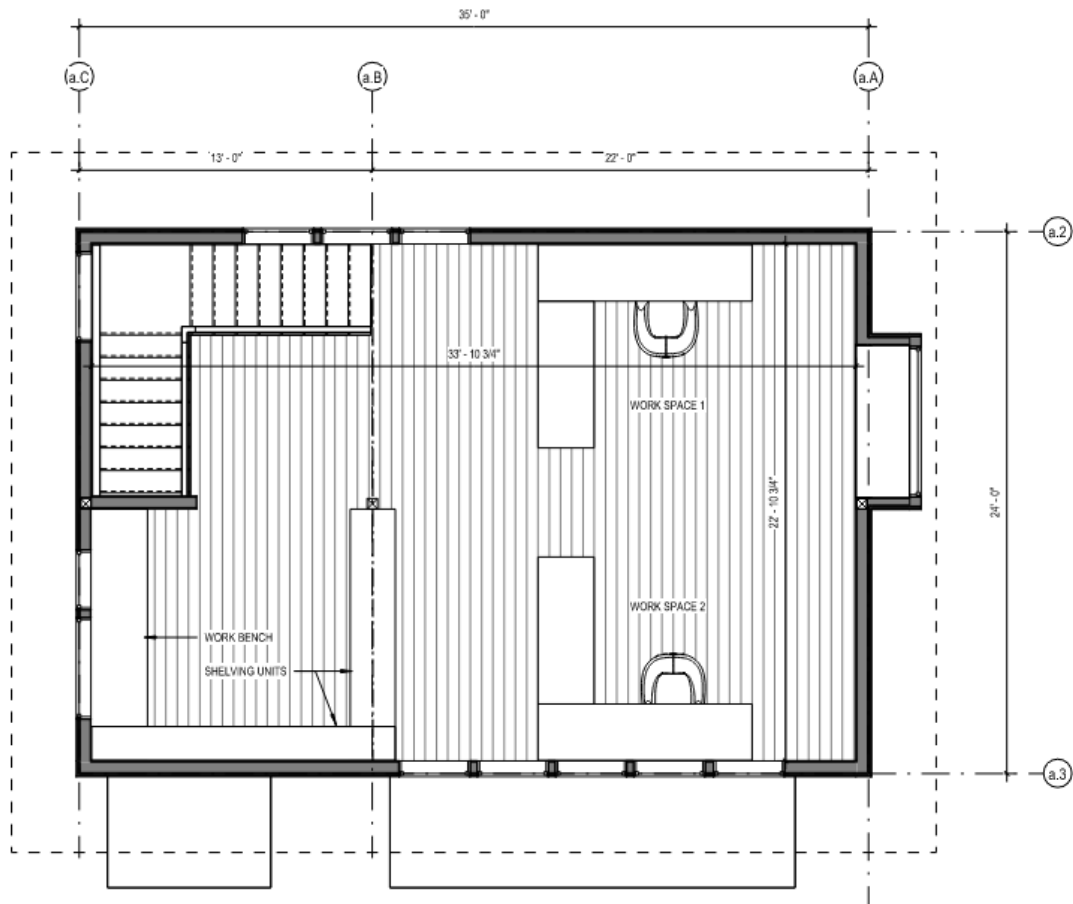
ACCESSORY
STRUCTURE RCP

A126



Exhibit 1 – Accessory Structure A Furnishing Example

Enclosure - Proposed Accessory
Structure 2nd Floor Plan



Enclosure - SFD Elevations

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ELEVATION GENERAL NOTES

- (E) WINDOW/DOOR SYSTEM TO BE REPLACED WITH NEW SYSTEM. NO CHANGE TO (E) R.O. GC TO VERIFY DIMENSIONS IN FIELD
- (N) WINDOW/DOOR SYSTEM WITH A NEW R.O.
- (O) TEMPERED GLASS
- (N-W) NEW WINDOW IN NEW R.O. (SEE KEY PLANS FOR WINDOW TAGS)
- (E-W) NEW WINDOW IN EXISTING R.O. (SEE KEY PLANS FOR WINDOW TAGS)



LEWIS RESIDENCE
PHASE II

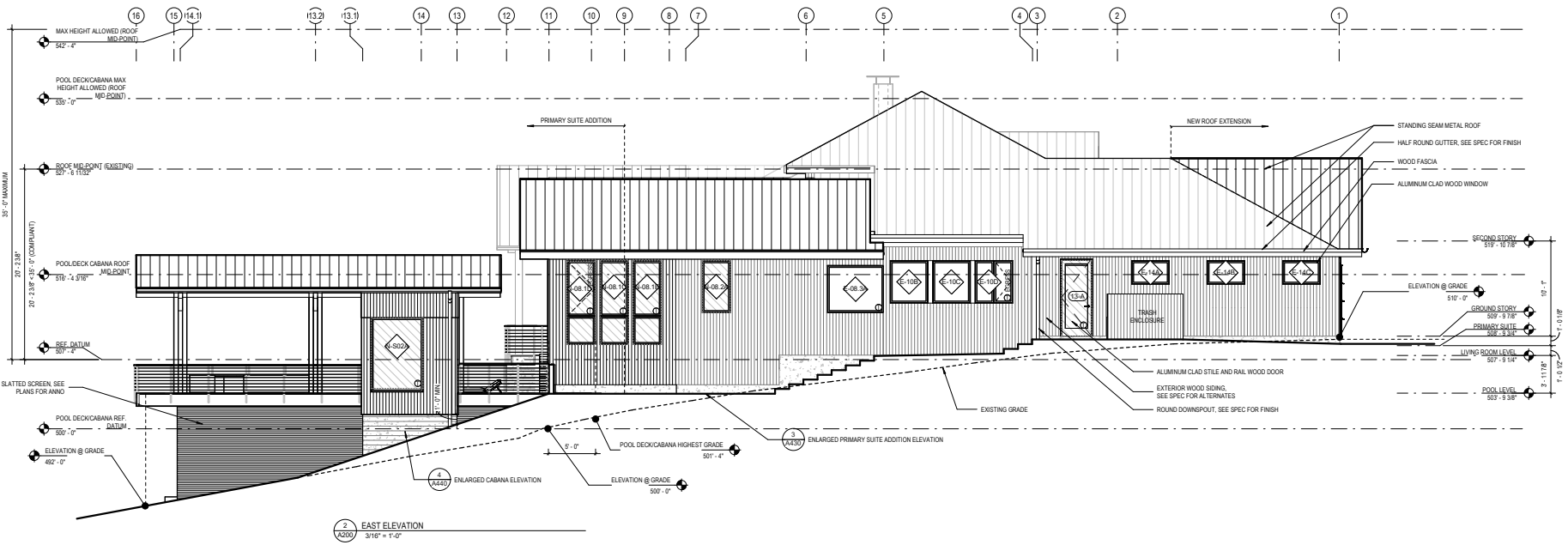
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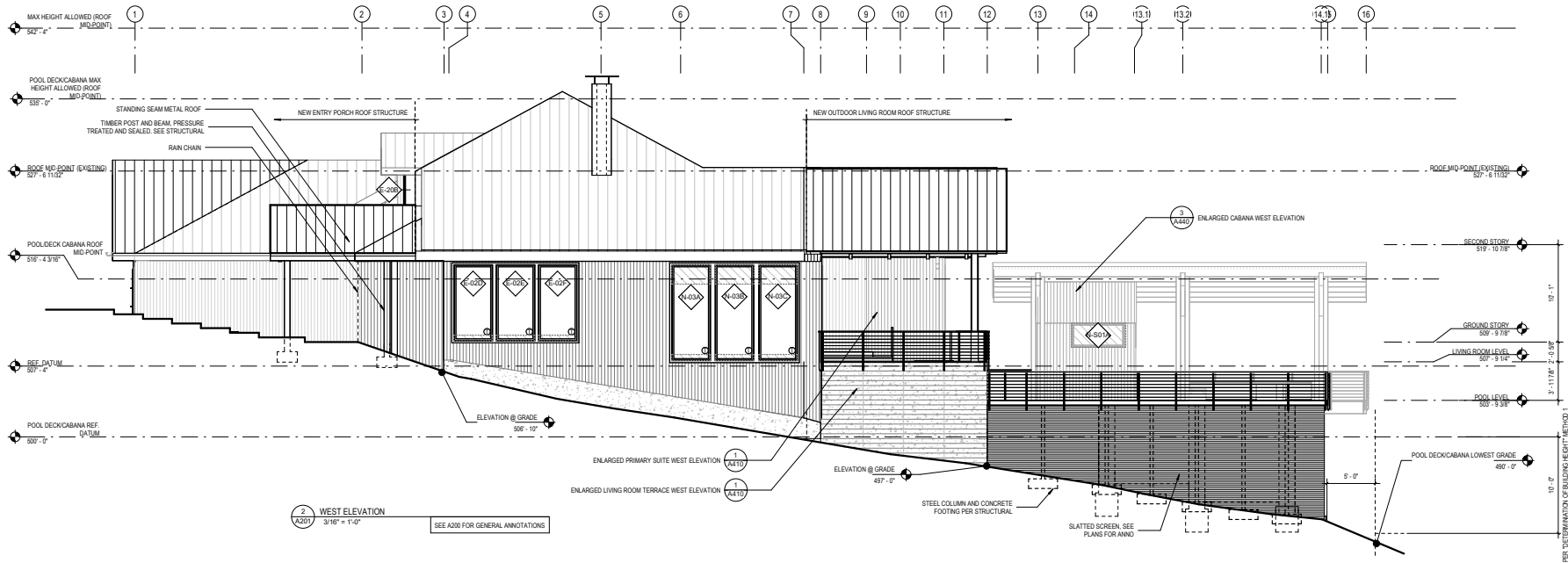
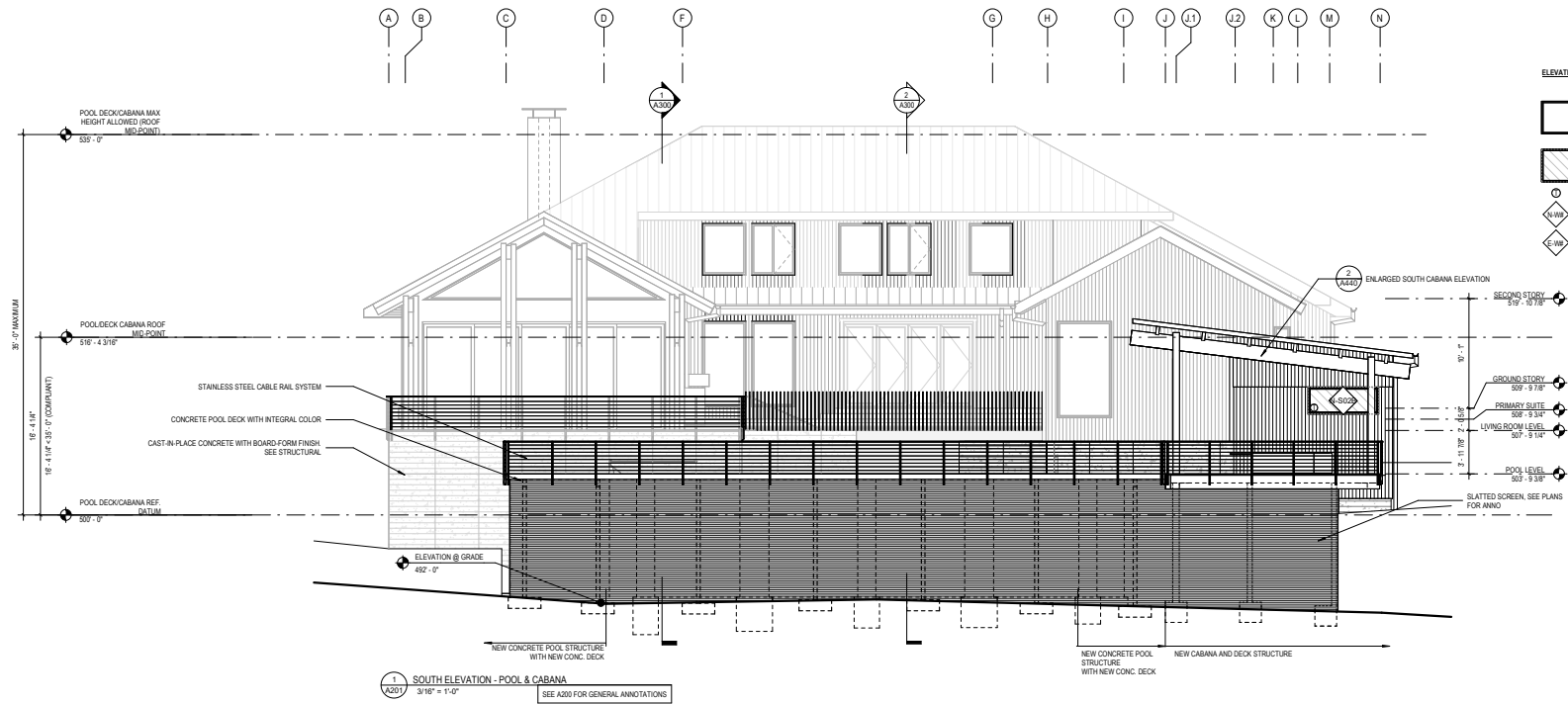


OVERALL EXTERIOR
ELEVATIONS

A200

ELEVATION GENERAL NOTES

-  (E) WINDOW/DOOR SYSTEM TO BE REPLACED WITH NEW SYSTEM. NO CHANGE TO (E) R.O. GC TO VERIFY DIMENSIONS IN FIELD
-  (N) WINDOW/DOOR SYSTEM WITH A NEW R.O.
-  TEMPERED GLASS
-  NEW WINDOW IN NEW R.O. (SEE KEY PLANS FOR WINDOW TAGS)
-  NEW WINDOW IN EXISTING R.O. (SEE KEY PLANS FOR WINDOW TAGS)



LEWIS RESIDENCE PHASE II

24-006

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PORTLAND, OR 97213

LAND USE SET

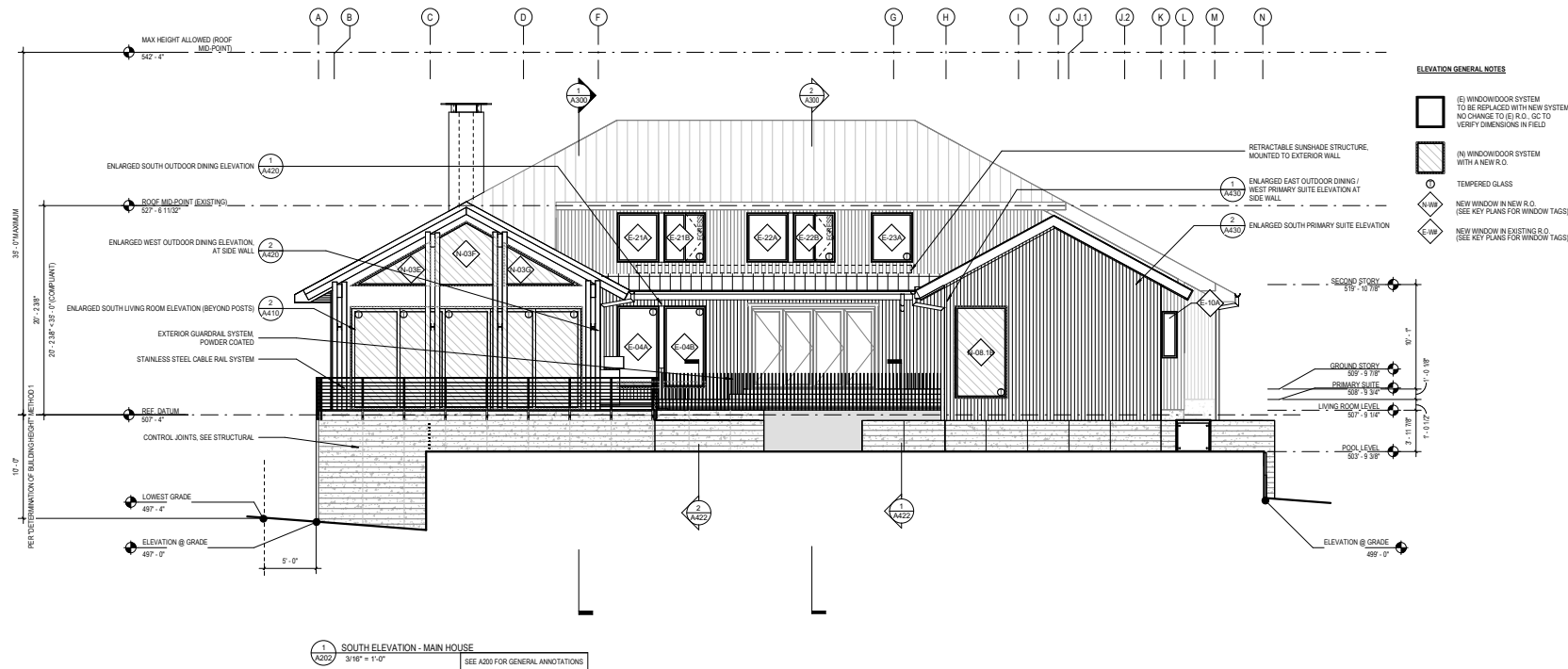
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REVISIONS:

OVERALL EXTERIOR ELEVATIONS

A201



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REVISIONS:

OVERALL EXTERIOR ELEVATIONS

A202

Enclosure - Accessory Structure Elevations

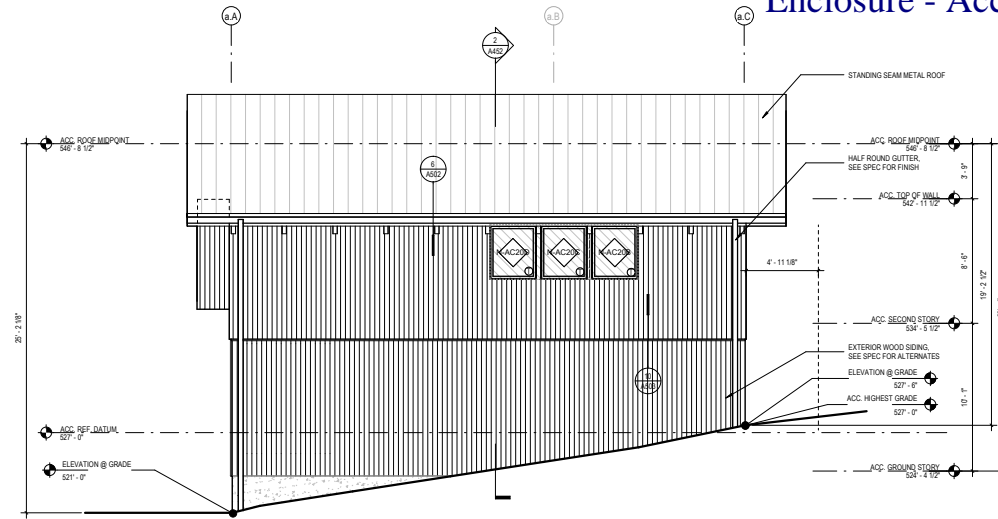
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JONES ARCHITECTURE

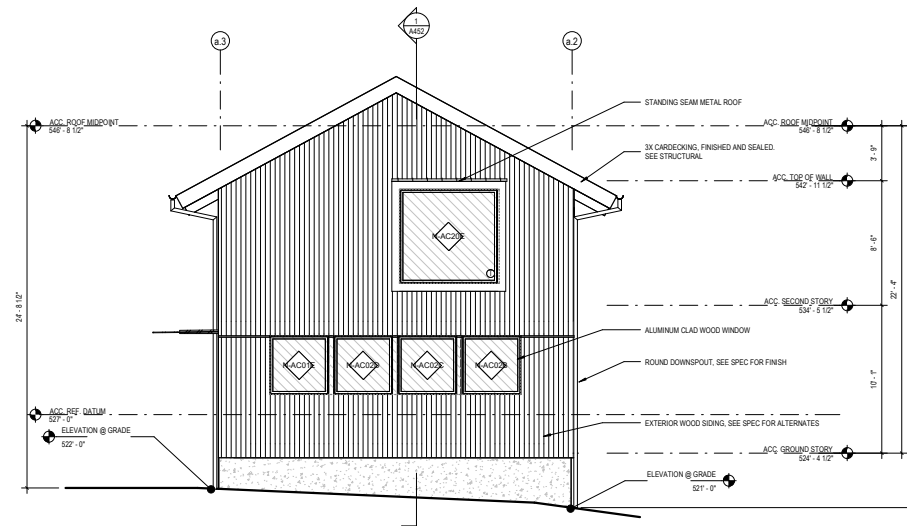
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ELEVATION GENERAL NOTES

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TO BE REPLACED WITH NEW SYSTEM
NO CHANGE TO (E) R.O. GC TO
VERIFY DIMENSIONS IN FIELD
- (N) WINDOW/DOOR SYSTEM
WITH A NEW R.O.
- (T) TEMPERED GLASS
- (N-W) NEW WINDOW IN NEW R.O.
(SEE KEY PLANS FOR WINDOW TAGS)
- (E-W) NEW WINDOW IN EXISTING R.O.
(SEE KEY PLANS FOR WINDOW TAGS)



1 ENLARGED ELEVATION - ACCESSORY STRUCTURE, EAST
1/4" = 1'-0"



2 ENLARGED ELEVATION - ACCESSORY STRUCTURE, SOUTH
1/4" = 1'-0"

LEWIS RESIDENCE
PHASE II

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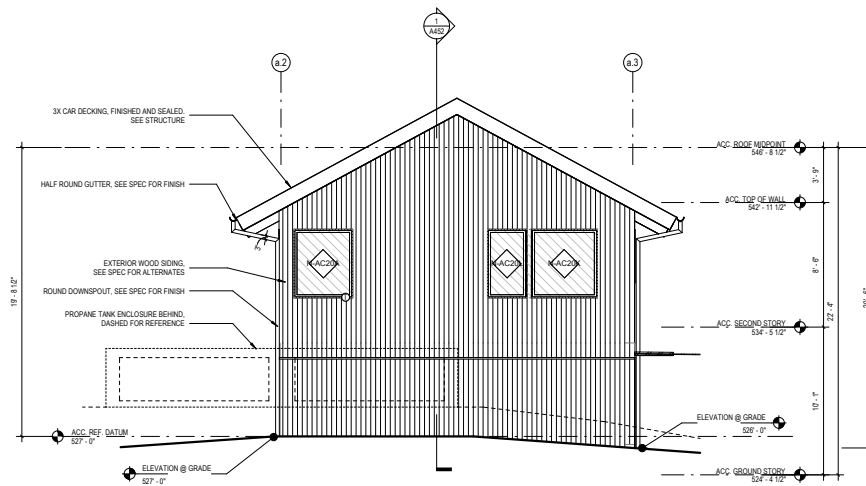
REVISIONS:

ACCESSORY
STRUCTURE
COMPOSITE

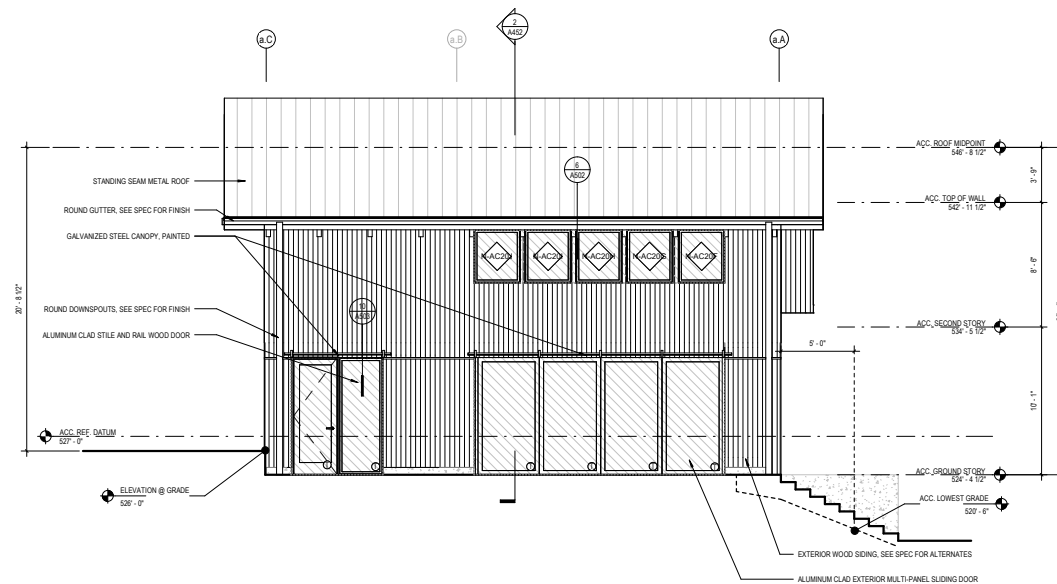
A450

ELEVATION GENERAL NOTES

-  (E) WINDOW/DOOR SYSTEM
TO BE REPLACED WITH NEW SYSTEM
NO CHANGE TO (E) R.O. GC TO
VERIFY DIMENSIONS IN FIELD
-  (N) WINDOW/DOOR SYSTEM
WITH A NEW R.O.
-  TEMPERED GLASS
-  NEW WINDOW IN NEW R.O.
(SEE KEY PLANS FOR WINDOW TAGS)
-  NEW WINDOW IN EXISTING R.O.
(SEE KEY PLANS FOR WINDOW TAGS)



1 ENLARGED ELEVATION - ACCESSORY STRUCTURE, NORTH
A451 1/4" = 1'-0"



2 ENLARGED ELEVATION - ACCESSORY STRUCTURE, WEST
A451 1/4" = 1'-0"

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REVISIONS:

ACCESSORY STRUCTURE COMPOSITE

A451