

# 14 DAY OPPORTUNITY TO COMMENT



www.multco.us/landuse ▪ Email: land.use.planning@multco.us ▪ Phone: (503) 988-3043

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## Application for Significant Wildlife Habitat (SEC-h), Significant Scenic Views (SEC-v), and Erosion and Sediment Control (ESC) Permits

**CASE FILE:** T2-2025-0019                      **APPLICANT:** Jerry Heckman and Lauren Leese

**LOCATION:** 16523 NW Sheltered Nook Road, Portland                      **Property ID #** R269548  
**Map, Tax lot:** 2N2W24D -00300                      **Alt. Acct. #** R764200210

**BASE ZONE:** Rural Residential (RR)

**OVERLAYS:** Significant Wildlife Habitat (SEC-h), Significant Scenic Views (SEC-v)

**PROPOSAL:** Request for retroactive review of the expansion of the existing driveway, construction of a drainage control system, extension of a culvert, inground propane tank, driveway gate, and light pole. The proposal also includes further expansion of the existing driveway.

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- ❖ **COMMENT PERIOD:** Neighbors are invited to submit written comments for the proposal described above. Comments should be directed toward the approval criteria listed below. Any neighbor that submits comments will receive the County's complete decision. Written comments will be accepted at [LUP-comments@multco.us](mailto:LUP-comments@multco.us) if received by **4:00 pm on August 6, 2025**.

**If you do not wish to submit comments, no response is necessary.**

Further information regarding this application is available by contacting [LUP-comments@multco.us](mailto:LUP-comments@multco.us). Paper copies of these materials may be purchased for \$0.71/per page.

- ❖ **APPLICABLE APPROVAL CRITERIA** [Multnomah County Code (MCC)]:

General Provisions: MCC 39.1250 Code Compliance and Applications, MCC 39.2000 Definitions, MCC 39.3005 Lot of Record – Generally, MCC 39.3090 Lot of Record – Rural Residential MCC 39.6235 Stormwater Drainage Control, MCC 39.6850 Dark Sky Lighting Standards

Rural Residential (RR): MCC 39.4360(A) and (F) Allowed Uses – Single-family dwellings and accessory structures, MCC 39.4375(C), (F), (H) - Dimensional Requirements and Standards

Significant Wildlife Habitat (SEC-h) Criteria: MCC 39.5510 Permits Required, MCC 39.5540 SEC-h Permit Criteria (Significant Wildlife Habitat)

Significant Scenic Views (SEC-v) Criteria: MCC 39.5510 Permits Required, MCC 39.5570 SEC-v Permit Criteria (Significant Scenic Views)

Copies of the referenced Multnomah County Code sections can be obtained by visiting our website at <https://multco.us/landuse/zoning-codes/> under the link **Chapter 39 – Zoning Code** or by contacting our office at (503) 988-3043.



- ❖ **DECISION MAKING PROCESS:** The Planning Director will render a decision on this application after the comment period expires. Notice of the Director's decision will be mailed to the applicant, parties within 750 feet of the subject property, and any other persons who submitted written comments during the comment period. The Planning Director's decision can be appealed. An explanation of the requirements for filing an appeal will be included in the notice of decision.
- ❖ **IMPORTANT NOTE:** Failure to raise an issue before the close of the public record in sufficient detail to afford the County and all parties an opportunity to respond may preclude appeal on that issue to the Land Use Board of Appeals.
- ❖ **ENCLOSURES:**  
Site Plan

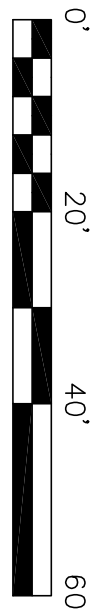
**Notice to Mortgagee, Lien Holder, Vendor, or Seller:**

ORS chapter 215 requires that if you receive this notice, it must promptly be forwarded to the purchaser.

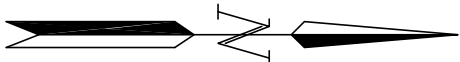


TOPOGRAPHIC SURVEY

FOR GERALD HECKMAN AND LAUREN LEESE  
LOT 3, "SHELTERED NOOK"  
IN THE SOUTHEAST 1/4 OF SECTION 24, T. 2 N., R. 2 W., W.M.  
MULTNOMAH COUNTY OREGON  
OCTOBER 7, 2024  
SCALE 1" = 20'



**BASIS OF BEARINGS**  
OREGON COORDINATE REFERENCE SYSTEM, PORTLAND ZONE,  
WITH REFERENCE TO GEOID 12A (NAD 83(2011) EPOCH 2010):  
SEE OAR 734-005-0015 (3)(d).



REGISTERED  
PROFESSIONAL  
LAND SURVEYOR

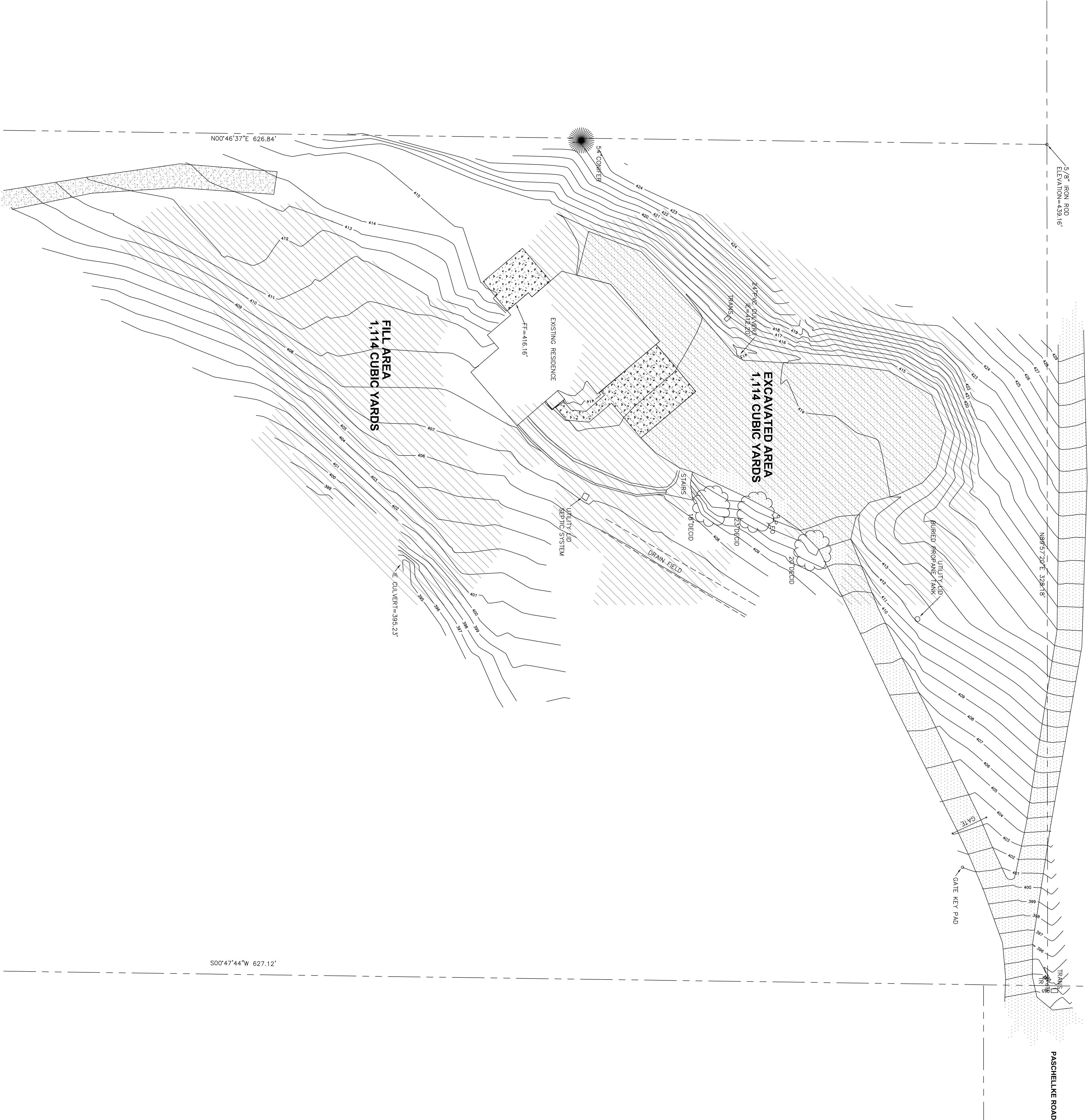
OREGON  
JANUARY 14, 2003  
BENJAMIN S. STACEY  
57191  
RENEW: 6/30/2026

**CASWELL/HERTEL  
SURVEYORS INC.**  
6120 S.W. 124TH AVE.  
BEAVERTON, OR 97008  
(503) 644-3179  
info@chsurveyors.com  
www.caswellhertelsurveyors.com

- NOTES**
1. VERTICAL DATUM = NAVD88 FROM GNSS MEASUREMENTS.
  2. ONE FOOT CONTOUR INTERVAL.
  3. PROPERTY LINES SHOWN WERE PROTECTED BASED ON RECORD OF SURVEY NUMBER 44232 MULTNOMAH COUNTY. SURVEY RECORDS AND ARE SHOWN FOR REFERENCE ONLY.
  4. CONTOURS ARE FINISHED GRADE AS OF OCTOBER 7, 2024.

**LEGEND**

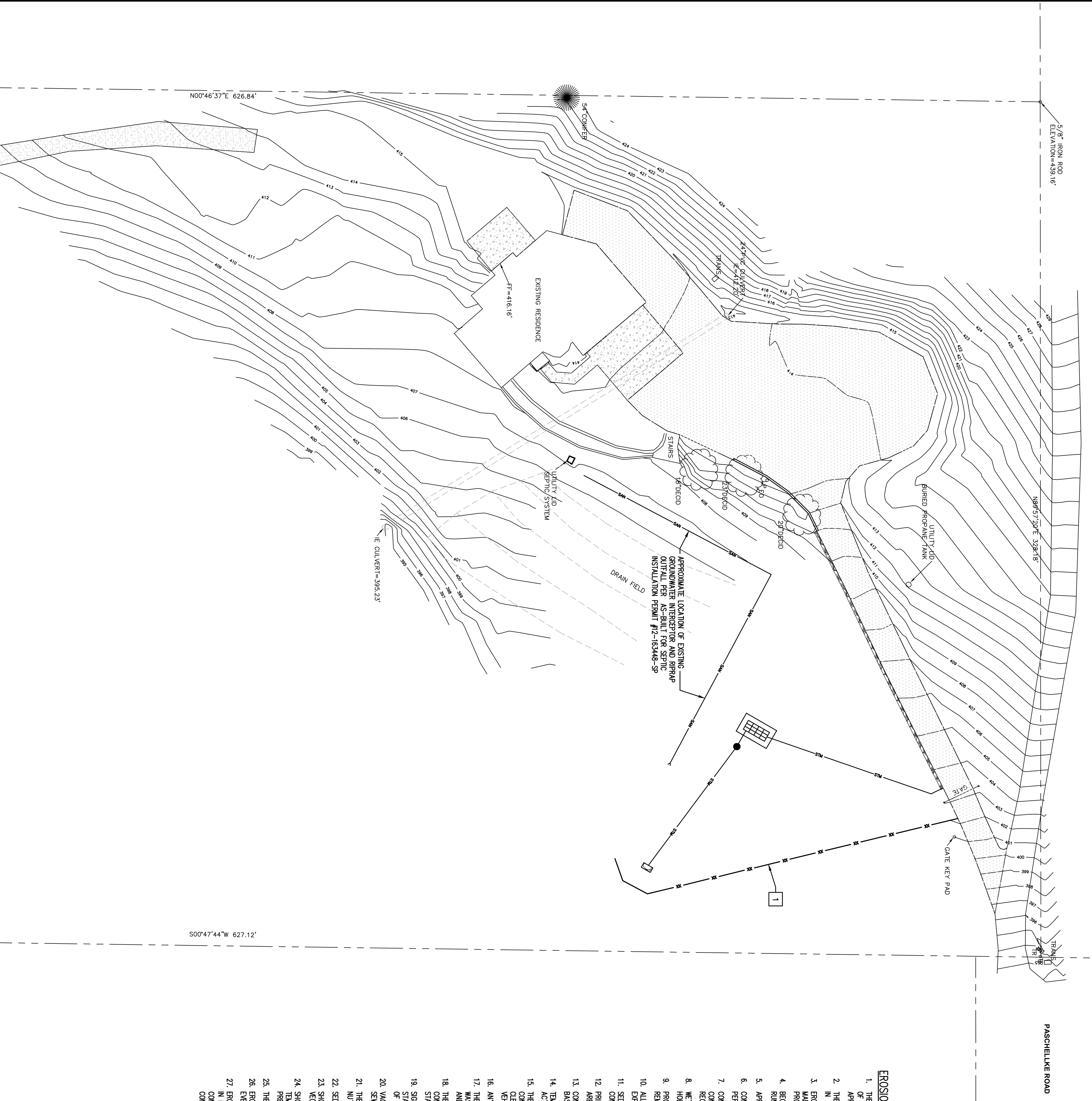
BECD	REDWOOD TREE
ESD	EXISTING DRAINAGE
ELEV	ELEVATION - OUTLET
FF	FINISH FLOOR
IF	INTERIOR FINISH FLOOR
LP	LIGHT POLE
PVC	PLASTIC PIPE
ELEC	ELECTRONIC TRANSFORMER
TRANS	TRANSFORMER
---	PROPERTY LINE
	CONCRETE SURFACE
	ASPHALT SURFACE
	ROCKED SURFACE



REVISIONS:

JOB NUMBER 2024-164 VOLUME CONTOURS-2





PASCHETTE ROAD

**# KEVED EROSION & SEDIMENT CONTROL NOTES:**

1. INSTALL STRAW WATTLES PER DETAIL 6/C7.

**GENERAL NOTE:**

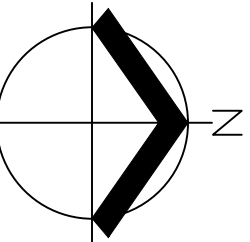
1. EARTHWORK FOR DRIVEWAY CONNECTION UTILIZED CLEAN, NATIVE SOIL BACKFILL THAT WAS MACHINE-COMPACTED PER INDUSTRY STANDARDS. INFORMATION PER OWNERS OBSERVATIONS.

**EROSION AND SEDIMENT CONTROL NOTES (LESS THAN 1 ACRE DISTURBED)**

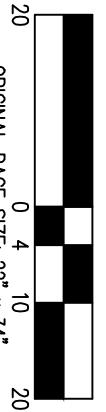
1. THE IMPLEMENTATION OF THE EROSION AND SEDIMENT CONTROL PLAN INCLUDING CONSTRUCTION, MAINTENANCE, REPLACEMENT, AND UPGRADING OF THE EROSION AND SEDIMENT CONTROL MEASURES IS THE RESPONSIBILITY OF THE CONTRACTOR UNTIL ALL CONSTRUCTION IS COMPLETED AND APPROVED BY THE LOCAL JURISDICTION AND VEGETATION/LANDSCAPING IS ESTABLISHED.
2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROPER INSTALLATION AND MAINTENANCE OF ALL EROSION AND SEDIMENT CONTROL MEASURES, IN ACCORDANCE WITH LOCAL, STATE, OR FEDERAL REGULATIONS.
3. EROSION AND SEDIMENT CONTROL MEASURES MUST BE IN PLACE BEFORE VEGETATION IS DISTURBED AND MUST REMAIN IN PLACE AND BE MAINTAINED, REPAIRED, AND PROPERLY IMPLEMENTED FOLLOWING PROCEDURES ESTABLISHED FOR THE DURATION OF CONSTRUCTION, INCLUDING PROTECTION FOR ACTIVE STORM DRAIN INLETS, CATCH BASINS, AND APPROPRIATE NON-STORMWATER POLLUTION CONTROLS.
4. BEGIN LAND CLEARING, EXCAVATION, TRENCHING, CUTTING OR GRADING AFTER INSTALLING APPLICABLE SEDIMENT, EROSION PREVENTION AND RUNOFF CONTROL MEASURES NOT IN THE DIRECT PATH OF WORK.
5. APPLY TEMPORARY AND/OR PERMANENT SOIL STABILIZATION MEASURES IMMEDIATELY ON ALL DISTURBED AREAS AS GRADING PROGRESSES.
6. CONSTRUCTION ACTIVITIES MUST AVOID OR MINIMIZE EXCAVATION AND CREATION OF BARE GROUND ON SLOPES GREATER THAN FIVE (5) PERCENT.
7. CONTRACTOR SHALL USE BIKET SO550BN EROSION CONTROL BLANKETS, OR APPROVED EQUAL, ON SLOPES GREATER THAN 3:1-V. EROSION CONTROL BLANKET AND INSTALLATION METHOD SHALL BE IN ACCORDANCE WITH APPLICABLE JURISDICTIONS AND MANUFACTURER'S RECOMMENDATIONS.
8. WET WEATHER EROSION CONTROL: TEMPORARY STABILIZATION OF THE SITE MUST BE INSTALLED AT THE END OF THE SHIFT BEFORE A HOLIDAY OR WEEKEND OR AT THE END OF EACH WORKDAY.
9. PROVIDE PERMANENT EROSION PREVENTION MEASURES ON ALL EXPOSED AREAS TO PREVENT FROM BECOMING A SOURCE OF EROSION AND REMOVE ALL TEMPORARY CONTROL MEASURES, UNLESS LOCAL ORDINANCES REQUIRE OTHERWISE, AS AREAS ARE STABILIZED.
10. ALL TEMPORARY SEDIMENT CONTROLS MUST REMAIN IN PLACE UNTIL PERMANENT VEGETATION OR OTHER PERMANENT COVERING OF EXPOSED SOIL IS ESTABLISHED.
11. SEDIMENT CONTROLS MUST BE INSTALLED AND MAINTAINED ALONG THE SITE PERIMETER ON ALL DOWN GRADIENT SIDES OF THE CONSTRUCTION SITE, AND AT ALL ACTIVE AND OPERATIONAL INTERNAL STORM DRAIN INLETS AT ALL TIMES DURING CONSTRUCTION.
12. PRIOR TO ANY LAND DISTURBING ACTIVITIES EACH SITE MUST HAVE GRAVELED, PAVED, OR CONSTRUCTED ENTRANCES, EXITS AND PARKING AREAS TO REDUCE THE TRACKING OF SEDIMENT ONTO PUBLIC OR PRIVATE ROADS.
13. CONTRACTOR SHALL LOCATE STOCK PILES SUCH THAT POSITIVE SITE DRAINAGE IS MAINTAINED AT ALL TIMES. PONDING AROUND STOCK PILE BASE IS NOT ACCEPTABLE.
14. TEMPORARY STABILIZATION OR COVERING OF SOIL STOCK PILES AND PROTECTION OF STOCK PILES LOCATED AWAY FROM CONSTRUCTION ACTIVITY MUST OCCUR AT THE END OF EACH WORKDAY.
15. THE CONTRACTOR SHALL PREVENT OR MINIMIZE STORMWATER FROM BEING EXPOSED TO POLLUTANTS FROM SPILLS, INCLUDING DISCHARGE OF CONCRETE TRUCK WASH WATER, VEHICLE AND EQUIPMENT CLEANING, WASTE HANDLING ACTIVITIES, POLLUTANTS INCLUDE FUEL, HYDRAULIC FLUID, OTHER OILS FROM VEHICLES AND MACHINERY, AS WELL AS DEBRIS, LEFTOVER PLANTS, SOLVENTS, AND GUES FROM CONSTRUCTION OPERATIONS.
16. ANY USE OF TOXIC OR OTHER HAZARDOUS MATERIALS MUST INCLUDE PROPER STORAGE, APPLICATION, AND DISPOSAL.
17. THE CONTRACTOR SHALL PROPERLY MANAGE HAZARDOUS WASTES, USED OILS, CONTAMINATED SOILS, CONCRETE WASTE, SANITARY WASTE, LIQUID WASTE, OR OTHER TOXIC SUBSTANCES DISCOVERED OR GENERATED DURING CONSTRUCTION AND MEET ALL STATE AND FEDERAL REGULATIONS AND APPROVALS.
18. THE EROSION AND SEDIMENT CONTROL MEASURES SHOWN ON THIS PLAN ARE MINIMUM REQUIREMENTS FOR ANTICIPATED DRY WEATHER SITE CONDITIONS. DURING THE CONSTRUCTION PERIOD, THESE MEASURES MUST BE UPGRADED AS NEEDED TO COMPLY WITH ALL APPLICABLE LOCAL, STATE, AND FEDERAL EROSION AND SEDIMENT CONTROL REGULATIONS.
19. SIGNIFICANT AMOUNTS OF SEDIMENT, WHICH LEAVES THE SITE, MUST BE CLEANED UP WITHIN 24 HOURS, PLACED BACK ON THE SITE, AND STABILIZED OR PROPERLY DISPOSED. THE CAUSE OF THE SEDIMENT RELEASE MUST BE FOUND AND PREVENTED FROM CAUSING A REQUIREMENT OF THE DISCHARGE WITHIN THE SAME 24 HOURS.
20. MOWING OR DRY SHEEPING MUST BE USED TO CLEAN-UP RELEASED SEDIMENT AND MUST NOT BE INTENTIONALLY WASHED INTO STORM SEWERS, DRAINAGEWAYS, OR WATER BODIES.
21. THE APPLICATION RATE OF FERTILIZERS USED TO REESTABLISH VEGETATION MUST FOLLOW MANUFACTURER'S RECOMMENDATIONS TO MINIMIZE NUTRIENT RELEASES TO SURFACE WATERS.
22. SEDIMENT MUST BE REMOVED FROM BEHIND BIO BAGS WHEN IT HAS REACHED A HEIGHT OF TWO (2) INCHES AND BEFORE BMP REMOVAL.
23. SHOULD ALL CONSTRUCTION ACTIVITIES CEASE FOR THIRTY DAYS OR MORE, THE ENTIRE SITE MUST BE TEMPORARILY STABILIZED USING VEGETATION OR A HEAVY MULCH LAYER, TEMPORARY SEEDING, OR OTHER METHOD.
24. SHOULD CONSTRUCTION ACTIVITIES CEASE FOR FIFTEEN (15) DAYS OR MORE ON ANY SIGNIFICANT PORTION OF A CONSTRUCTION SITE, TEMPORARY STABILIZATION IS REQUIRED FOR THAT PORTION OF THE SITE WITH STRAW COMPOST, OR OTHER FACTORED COVERING THAT PREVENTS SOIL OR WIND EROSION UNTIL WORK RESUMES ON THAT PORTION OF THE SITE.
25. THE CONTRACTOR SHALL PERFORM DAILY INSPECTIONS OF THE EROSION AND SEDIMENT CONTROL MEASURES AND DISCHARGE OUTFALLS.
26. EROSION AND SEDIMENT CONTROL MEASURES AND DISCHARGE OUTFALLS MUST BE INSPECTED BEFORE, DURING, AND AFTER SIGNIFICANT STORM EVENTS.
27. EROSION AND SEDIMENT CONTROL MEASURES MUST BE INSPECTED VISUALLY TO ENSURE THAT EROSION AND SEDIMENT CONTROL MEASURES ARE IN PROPER WORKING ORDER PRIOR TO THE SITE BECOMING INACTIVE OR IN ANTICIPATION OF SITE INACCESSIBILITY. EROSION AND SEDIMENT CONTROL MEASURES MUST BE INSPECTED VISUALLY ONCE EVERY TWO (2) WEEKS DURING INACTIVE PERIODS GREATER THAN FOURTEEN (14) CONSECUTIVE CALENDAR DAYS.

**GRADING & ESC LEGEND**

STRAW WATTLE:

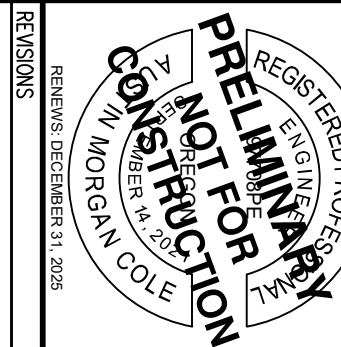


SCALE: 1" = 20 FEET



**GRADING & EROSION & SEDIMENT CONTROL PLAN**

DESIGNED BY: AMC  
DRAWN BY: BJK  
CHECKED BY: AMC  
DATE: 05/21/2025  
CREATED BY: CEG



**16523 NW SHELTERED NOOK ROAD**

**MULTNOMAH COUNTY OREGON**

TAX LOT 300

MULTNOMAH COUNTY TAX MAP 2N 2W 24D

AKS ENGINEERING & FORESTRY, LLC  
12965 SW HERMAN RD, STE 100  
TUALATIN, OR 97062  
503.563.6151  
WWW.AKS-ENG.COM

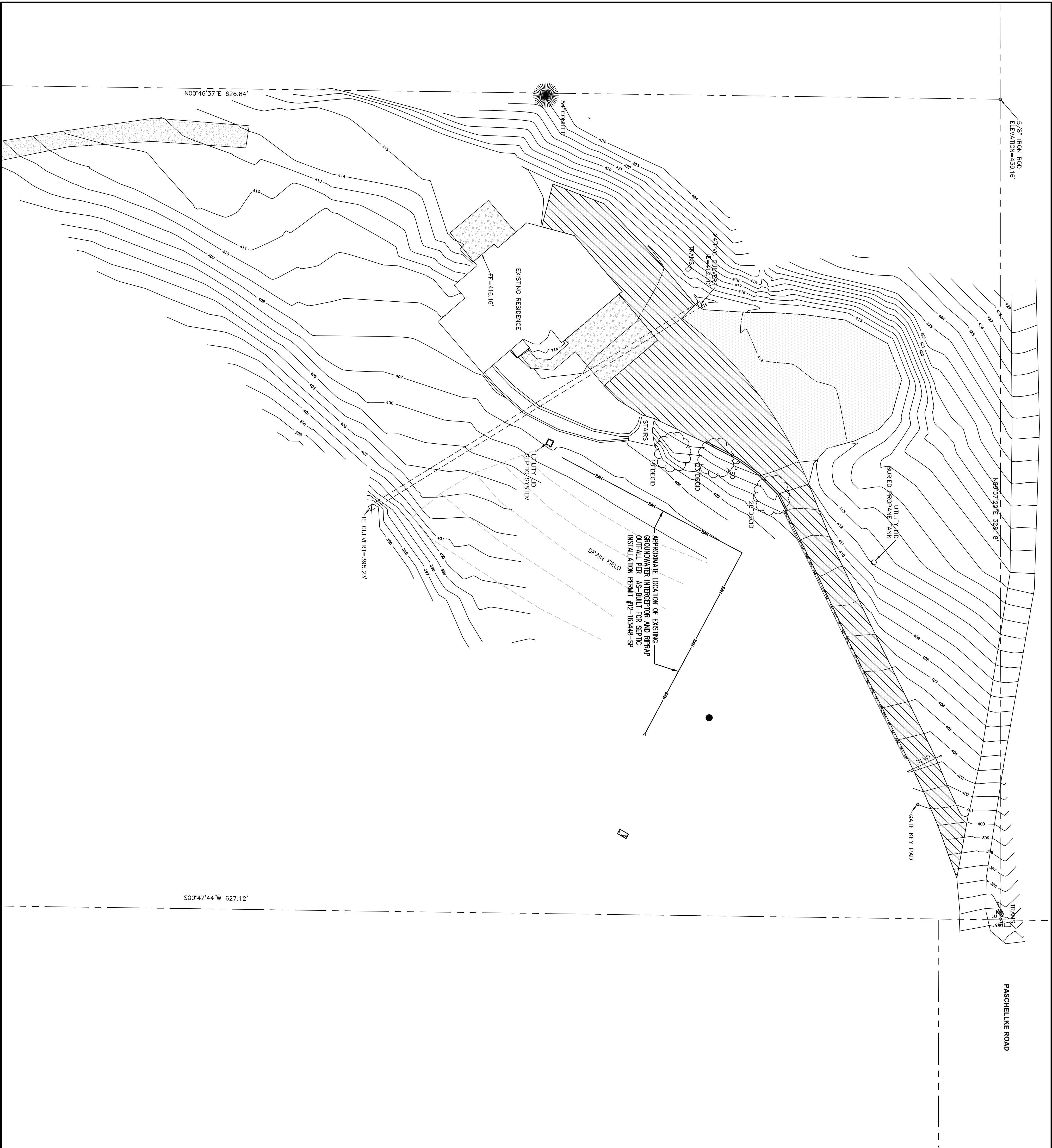


ENGINEERING • SURVEYING • NATURAL RESOURCES  
FORESTRY • PLANNING • LANDSCAPE ARCHITECTURE

**C4**

JOB NUMBER  
**11797**

SHEET



NOTE:

1. THERE ARE NO PROPOSED SITE IMPROVEMENTS OTHER THAN THE STORMWATER IMPROVEMENTS WHICH ARE DESIGNED TO MANAGE THE NET INCREASE IN UNPERMITTED IMPERVIOUS AREA. THE "NEW" IMPERVIOUS AREA LISTED IN THE PLANS REFERS TO THE IMPERVIOUS AREAS WHICH HAVE BEEN CONSTRUCTED SINCE THE LAST PERMITTED SET.

NET NEW IMPERVIOUS AREA SUMMARY	
EXISTING GRAVEL (IMPERVIOUS):	5,400 SF
EXISTING LANDSCAPE (PERVIOUS):	3,100 SF
NEW AC PAVEMENT (IMPERVIOUS):	8,500 SF
NET NEW IMPERVIOUS AREA:	3,100 SF

