

# 14 DAY OPPORTUNITY TO COMMENT



www.multco.us/landuse ▪ Email: land.use.planning@multco.us ▪ Phone: (503) 988-3043

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## Application for Lot of Record Verification, Significant Environmental Concern, Limited Design Review and Planning Director Decision

**CASE FILE:** T2-2025-0023      **APPLICANT:** Debbie Griffin, Smartlink Group

**LOCATION:** 13937 & 14111 NW Springville Rd, Portland      **Property ID #** R324301 & R324297  
**Map, Tax lot:** 1N1W16C-00100 & 1N1W16C-00400      **Alt. Acct. #** R961160140 & R961160050

**BASE ZONE:** Exclusive Farm Use (EFU)

**OVERLAYS:** Significant Wildlife Habitat (SEC-h), Significant Streams (SEC-s), Geologic Hazards (GH)

**PROPOSAL:** Request for a Lot of Record Verification, Significant Wildlife Habitat (SEC-h) permit, Limited Design Review (DR), and a Planning Director Decision to construct a new Wireless Communication Facility.

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- ❖ **COMMENT PERIOD:** Neighbors are invited to submit written comments for the proposal described above. Comments should be directed toward the approval criteria listed below. Any neighbor that submits comments will receive the County's complete decision. Written comments will be accepted at [LUP-comments@multco.us](mailto:LUP-comments@multco.us) if received by **4:00 pm on Friday, August 1, 2025. If you do not wish to submit comments, no response is necessary.**

Further information regarding this application is available by contacting [LUP-comments@multco.us](mailto:LUP-comments@multco.us). Paper copies of these materials may be purchased for \$0.46/per page.

❖ **APPLICABLE APPROVAL CRITERIA** [Multnomah County Code (MCC)]:

General Provisions: MCC 39.1250 Code Compliance and Applications, MCC 39.2000 Definitions, MCC 39.6235 Stormwater Drainage Control, MCC 39.6850 Dark Sky Lighting Standards

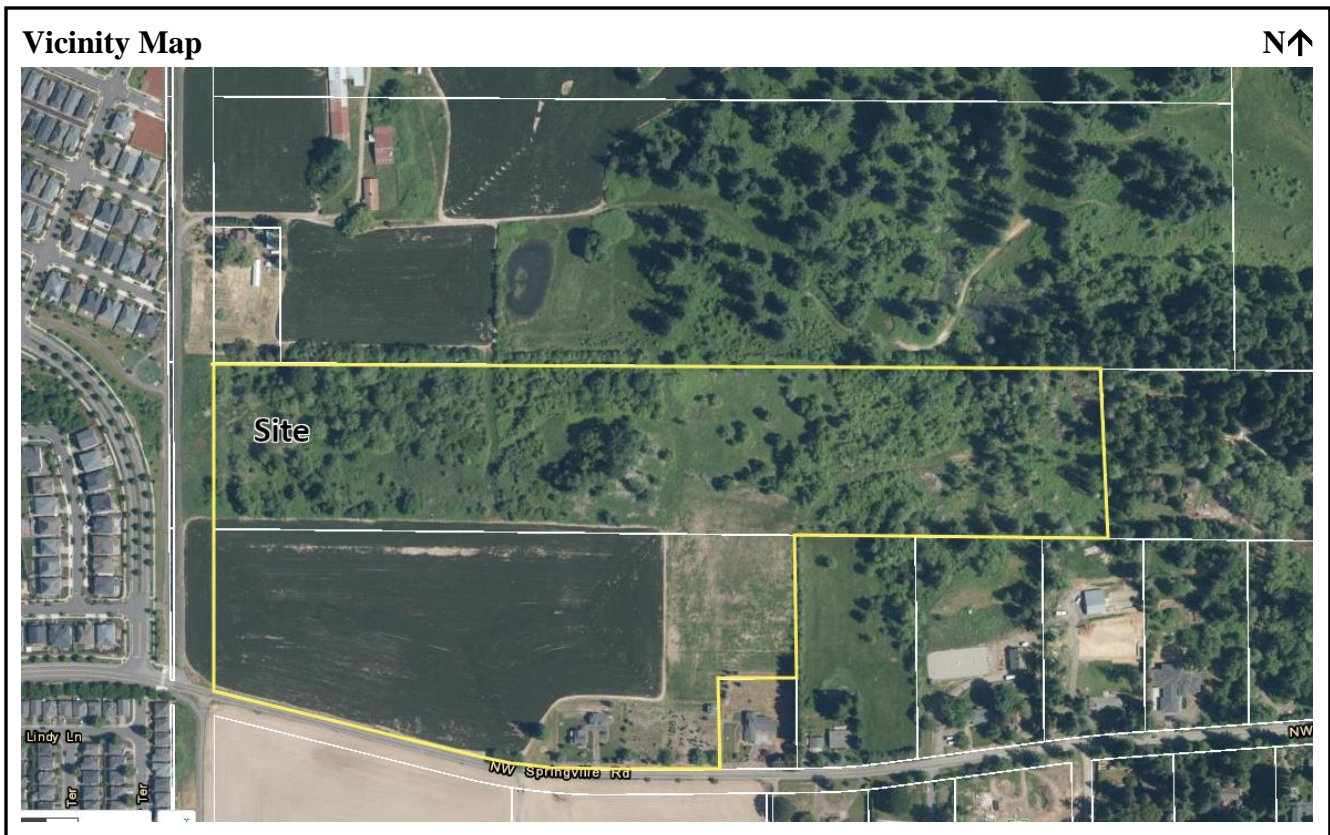
Lot of Record: MCC 39.3005 Lot of Record – Generally, MCC 39.3070 Lot of Record – Exclusive Farm Use (EFU)

Exclusive Farm Use Criteria: MCC 39.4225(A)(2) Wireless Communication Facilities, MCC 39.4245(C), (E), (F), (H) Dimensional Standards and Development Requirements

Significant Wildlife Habitat Criteria: MCC 39.5510 Permits Required, MCC 39.5540 SEC-h Permit Criteria

Wireless Communication Facility: MCC 39.7710 Review Procedures Distinguished, MCC 39.7725 General Requirements, MCC 39.7730 Registration of Wireless Communications Carriers and Providers, MCC 39.7735 Application Submittal Requirements, MCC 39.7745 Approval Criteria for Land Zoned Exclusive Farm Use

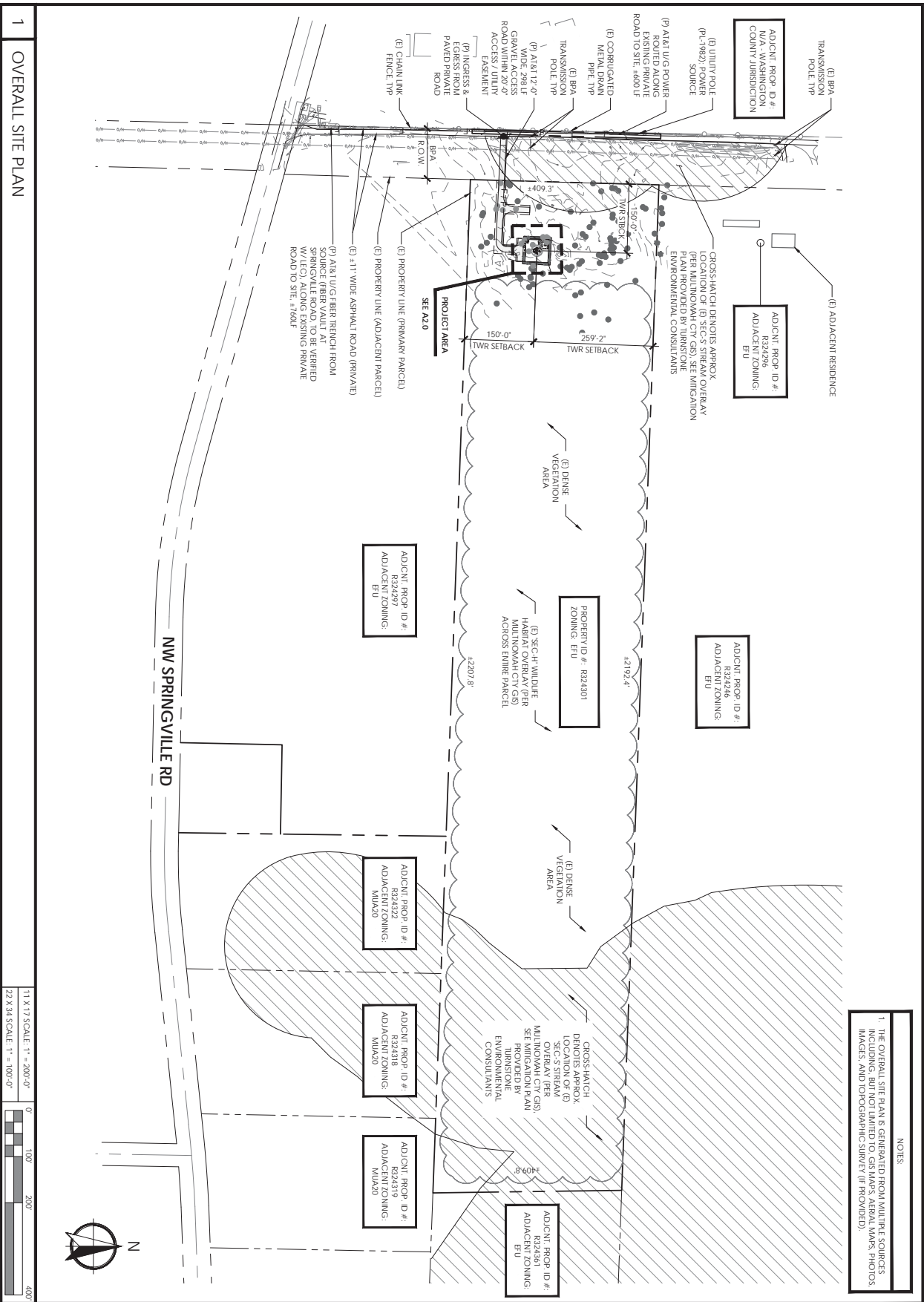
Copies of the referenced Multnomah County Code sections can be obtained by visiting our website at <https://multco.us/landuse/zoning-codes/> under the link **Chapter 39 – Zoning Code** or by contacting our office at (503) 988-3043.

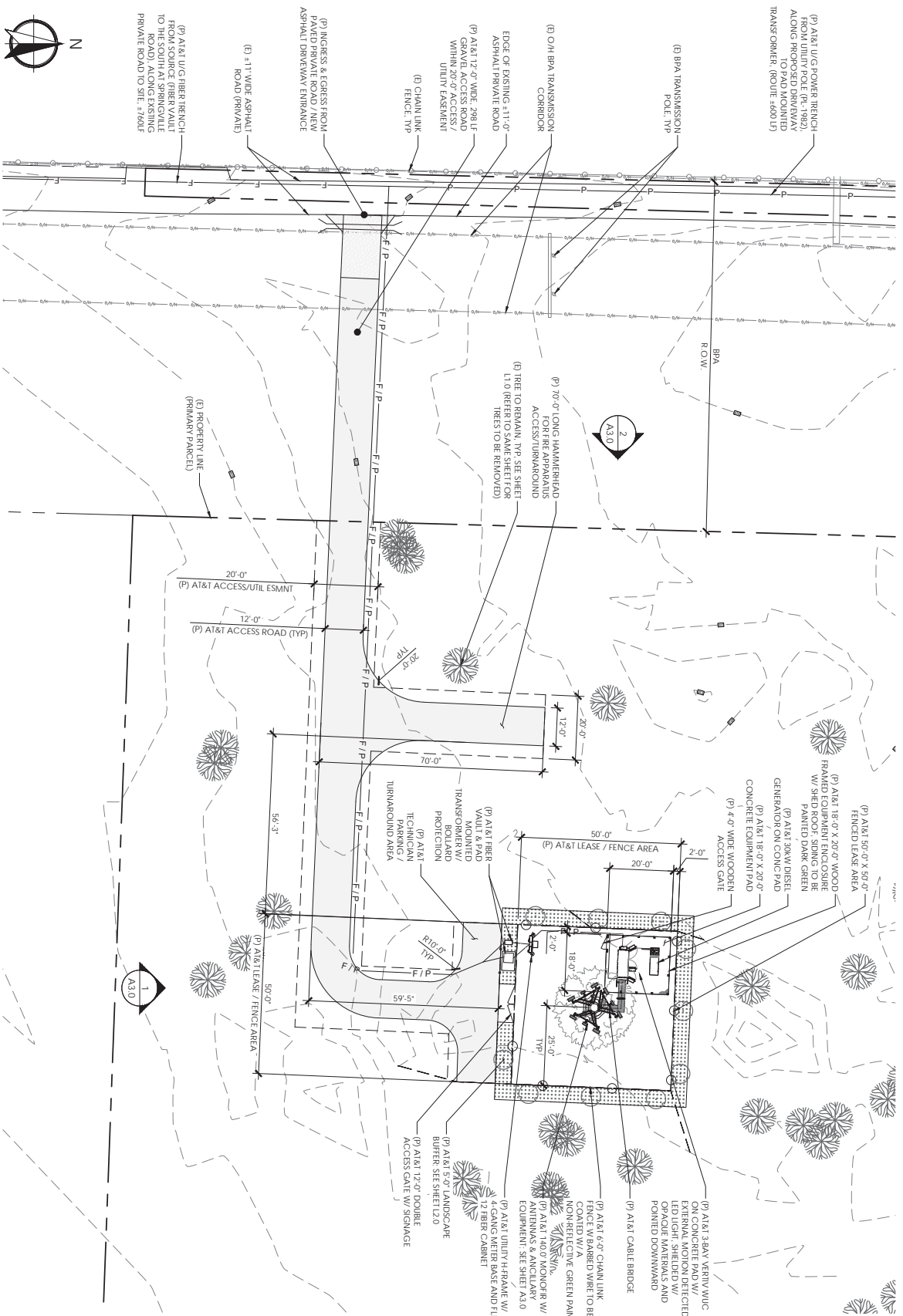


- ❖ **DECISION MAKING PROCESS:** The Planning Director will render a decision on this application after the comment period expires. Notice of the Director's decision will be mailed to the applicant, parties within 750 feet of the subject property, and any other persons who submitted written comments during the comment period. The Planning Director's decision can be appealed. An explanation of the requirements for filing an appeal will be included in the notice of decision.
- ❖ **IMPORTANT NOTE:** Failure to raise an issue before the close of the public record in sufficient detail to afford the County and all parties an opportunity to respond may preclude appeal on that issue to the Land Use Board of Appeals.
- ❖ **ENCLOSURES:**  
Plans

**Notice to Mortgagee, Lien Holder, Vendor, or Seller:**

ORS chapter 215 requires that if you receive this notice, it must promptly be forwarded to the purchaser.





1 ENLARGED SITE PLAN

11 X 17 SCALE: 1" = 30'-0"  
22 X 34 SCALE: 1" = 15'-0"



DRAWING VERSION: MS-CH

CHECKED BY: BJ

DRAWN BY: MS-CH

DATE: 08/26/24

DESCRIPTION: 1. 08/26/24 90% ZONING DRAWINGS

2. 09/18/24 CLIENT COMMENTS

3. 09/25/24 100% ZONING DRAWINGS

4. 01/31/25 STORMWATER UPDATE

5. 03/03/25 JX COMMENTS

LICENSOR: PRELIMINARY UNLESS NOTED

PROJECT INFORMATION

PD31

BETHANY CREST

PARCEL #R234301

13937 NW SPRINGVILLE ROAD

PORTLAND, OR 97229

SHEET TITLE: ENLARGED SITE PLAN

SHEET NO: A2.0

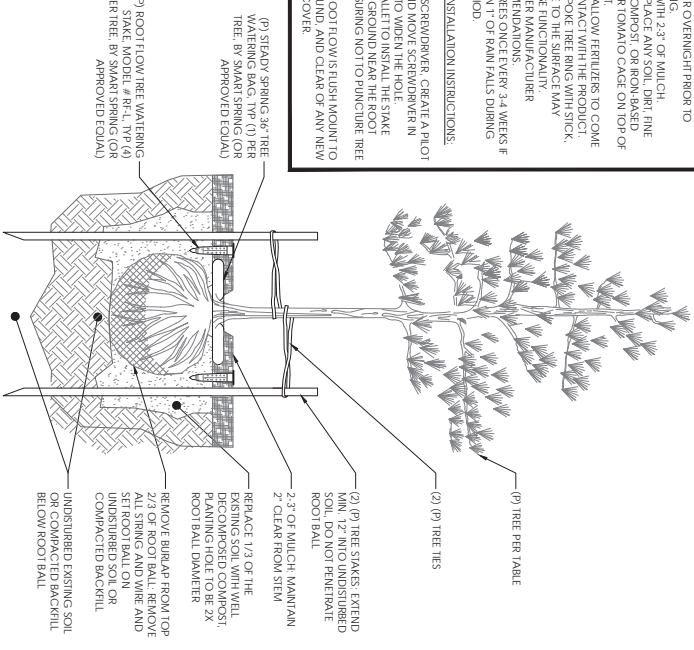
Exhibit A.7.i



1. ALL LANDSCAPING SHALL BE INSTALLED PRIOR TO RECEIVING FINAL BUILDING INSPECTION APPROVAL.
2. ALL PLANTINGS ARE DROUGHT TOLERANT, NO IRRIGATION IS REQUIRED FOLLOWING INITIAL WATERING AT INSTALLATION. IF SEVERE DROUGHT OCCURS, CONTRACTOR / OWNER TO RE-SOAK. TREE RINGS TO SATURATE AS NEEDED (ONE INCH OF RAINFALL ALLOWS TREE RING TO STEP WATER FOR A PERIOD OF 30 DAYS PER MANUFACTURER).
3. ALL PLANTINGS WILL BE WARRANTED BY LANDSCAPER FOR A PERIOD OF ONE YEAR FROM INSTALLATION.
4. ALL DEBRIS AND EXISTING GROUND COVER REMOVAL IS TO BE DONE BY THE CONTRACTOR.
5. MULCH (AS A GROUND COVER) MUST BE CONTINUED TO AREAS UNDER EXISTING PLANTS AND IS NOT A SUBSTITUTE FOR GROUND COVER PLANTS.
6. CONTRACTOR TO PROVIDE SUFFICIENT WATERING UPON INITIAL INSTALLATION OF PLANTINGS.
7. ALL PLANTINGS SHALL BE FERTILIZED PER SPECIFIC SPECIE REQUIREMENTS.
8. THE CONTRACTOR SHALL CONTACT THE OWNER'S REPRESENTATIVE TO ARRANGE AN ON-SITE MEETING TO DISCUSS PROJECT PRIOR TO COMMENCEMENT OF ANY WORK.
9. THE CONTRACTOR SHALL VERIFY THE LOCATIONS OF ALL UNDERGROUND UTILITIES AND OTHER OBSTRUCTIONS THAT MAY AFFECT THE WORK, AND SHALL BE RESPONSIBLE FOR REPAIRING AND/OR REPLACING, AT HIS OR HER OWN EXPENSE, ANY DAMAGES FROM HIS OR HER OPERATION.
10. CLEAR AND GRUB ALL NEW PLANTING AREAS PRIOR TO THE INSTALLATION OF ANY NEW PLANT MATERIAL.
11. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE REPAIR OF ALL EXISTING LANDSCAPED AREAS DAMAGED AS A RESULT OF THE CONSTRUCTION OF THIS PROJECT, AND REPLANT WITH SAME SPECIES AS NEEDED.

## 1 NOTES

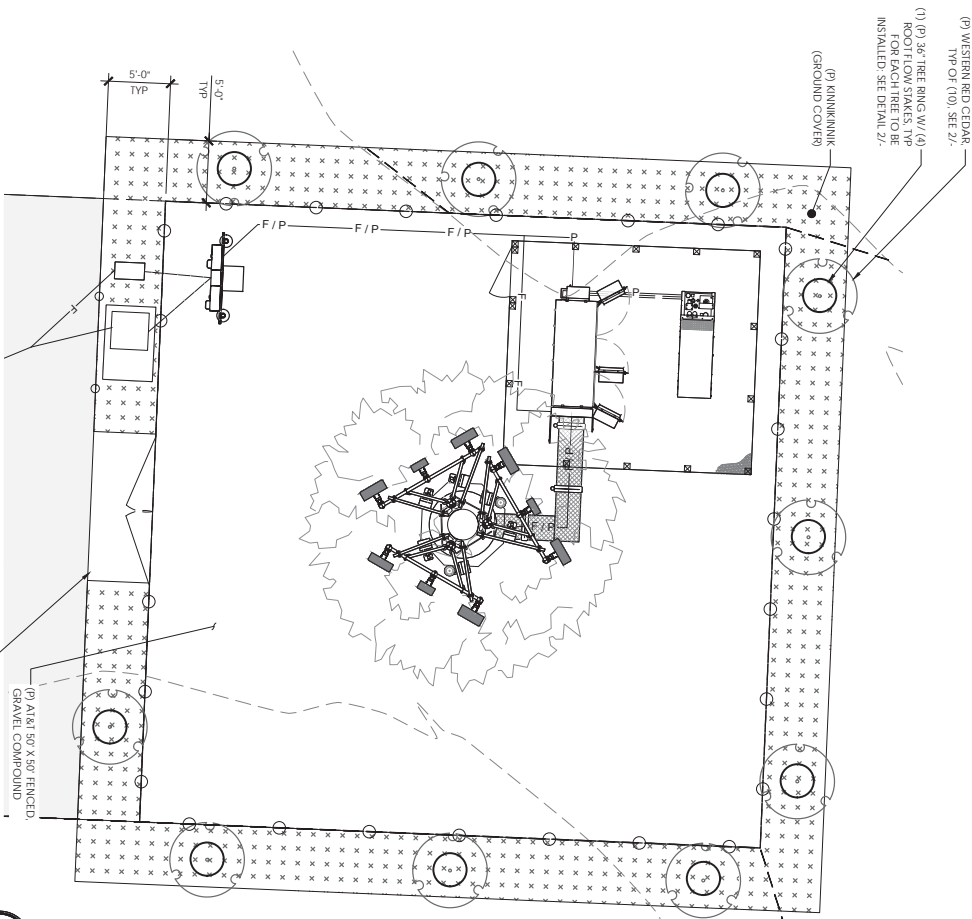
- TREE RING INSTALLATION INSTRUCTIONS:**
1. PLACE THE TREE RING COMPLETELY SUBMERGED IN WATER FOR AT LEAST 5 HOURS OR OVERNIGHT PRIOR TO INSTALLING.
  2. DO NOT PLACE ANY SOIL, DIRT, FINE SAND, COMPOST, OR ROWN-BASED SLICES OR TOMATO CAGE ON TOP OF PRODUCT.
  3. DO NOT ALLOW FERTILIZERS TO COME INTO CONTACT WITH THE PRODUCT.
  4. DO NOT POKE TREE RING WITH STICK, DAMAGE TO THE SURFACE MAY DECREASE FUNCTIONALITY.
  5. INSTALL PER MANUFACTURER.
  6. WATER TREES ONCE EVERY 3-4 WEEKS IF LESS THAN 1" OF RAIN FALLS DURING THAT PERIOD.
- ROOT FLOW INSTALLATION INSTRUCTIONS:**
1. USING A SCREWDRIVER, CREATE A PILOT HOLE, AND MOVE SCREWDRIVER IN CIRCLES TO WIDEN THE HOLE.
  2. USE A WALLEY TO INSTALL THE STAKE BALL, ENSURING NOT TO PINCHURE TREE RING.
  3. ENSURE ROOT FLOW IS FLUSH MOUNT TO THE GROUND AND CLEAR OF ANY NEW MULCH COVER.



## 2 TREE / SHRUB PLANTING

11X17 SCALE: NTS  
22 X 34 SCALE: NTS

PLANT LIST				
SYMBOL	BOTANICAL NAME	COMMON NAME	QTY.	SIZE
	ARCOSAPHYCOS UVA-URSI	KINK KINK (BEARBERRY)	(1 B.D.)	1 GAL. & 30" O.C. EACH WAY
	THUJA PLICATA	WESTERN RED CEDAR	(10)	6 FT. MIN. @ PLANTING



## 3 LANDSCAPE PLAN

11X17 SCALE: 1" = 10'-0"  
22 X 34 SCALE: 1" = 5'-0"



DRAWN BY: MSCH  
CHECKED BY: BJ

VER.	DATE	DESCRIPTION
1	08/26/24	99% ZONING DRAWINGS
2	09/18/24	CLIENT COMMENTS
3	09/25/24	100% ZONING DRAWINGS
4	01/31/25	STORMWATER UPDATE
5	03/03/25	JX COMMENTS

LICENSER  
PRELIMINARY UNLESS NOTED

### PROJECT INFORMATION

PD31  
BETHANY CREST  
PARCEL #R234301  
13931 NW SPRINGVILLE ROAD  
PORTLAND, OR 97229

### LANDSCAPE PLAN

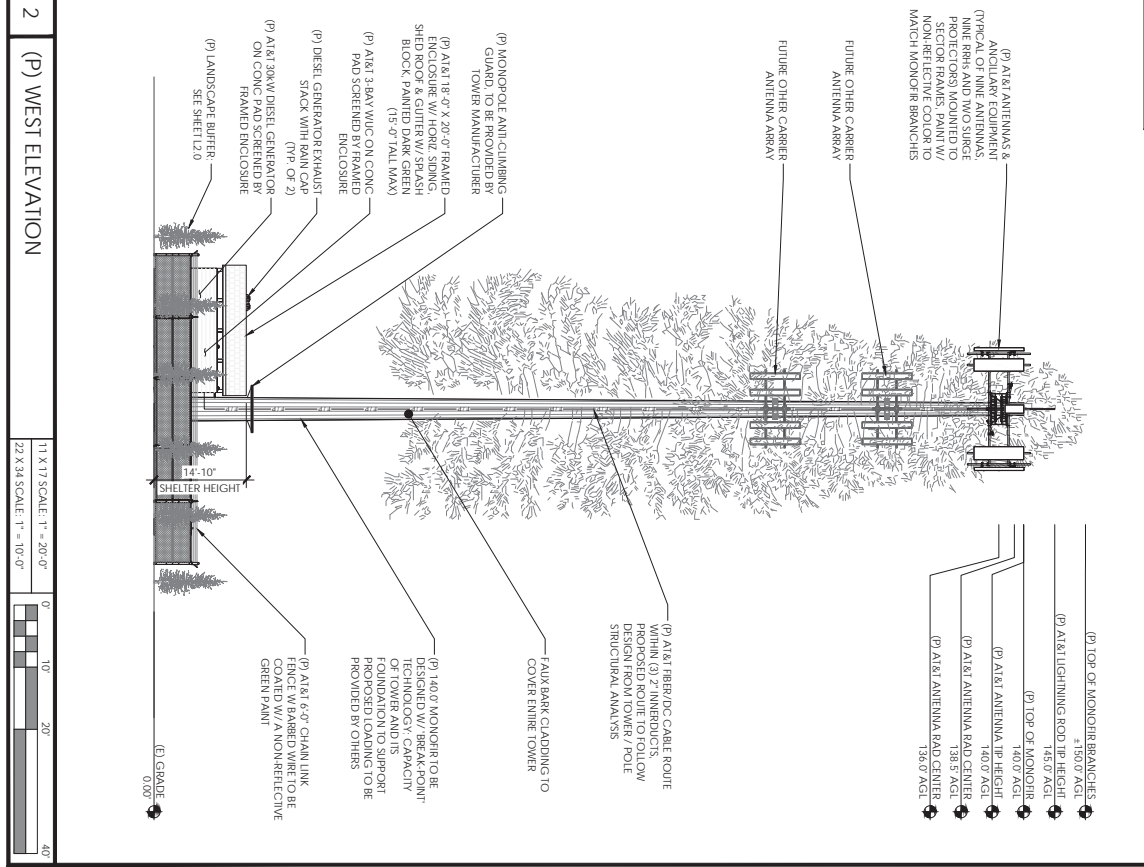
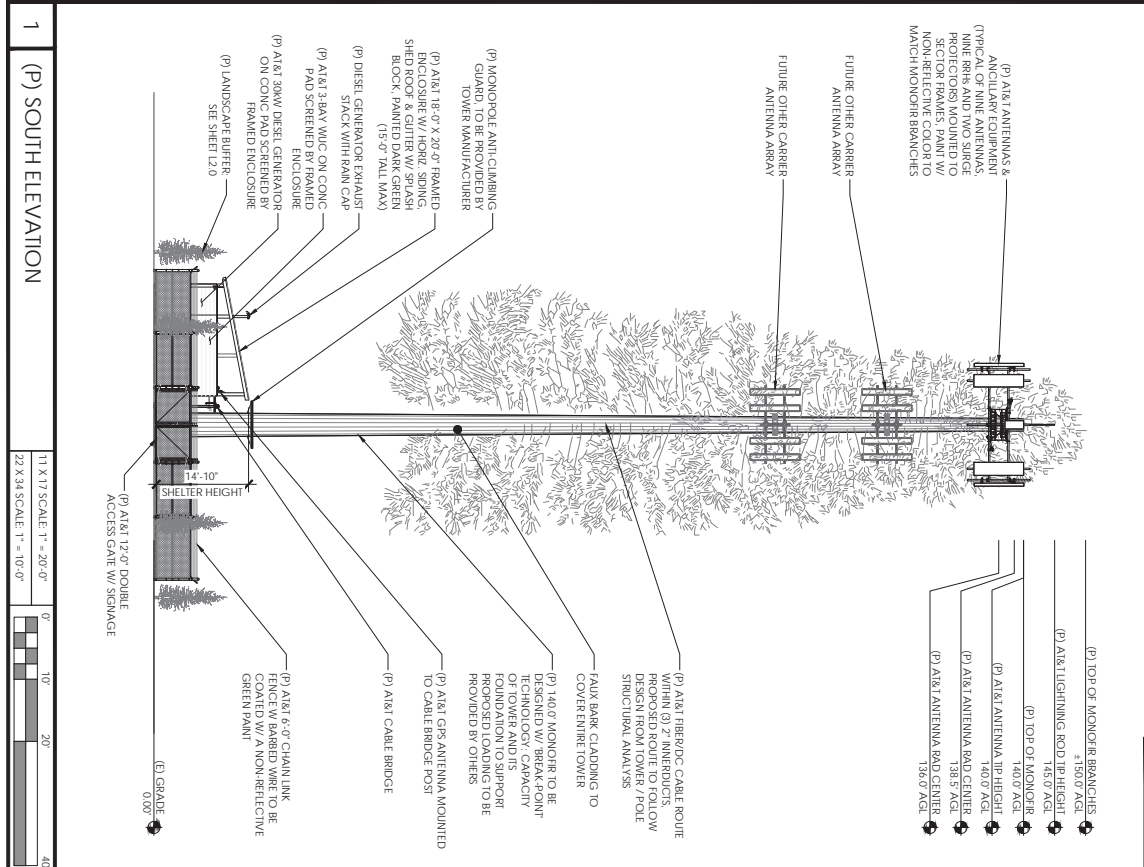
SHEET NO.

L2.0

Exhibit A.7.g

NOTES

1. THE PROJECT CM / PM TO VERIFY ANY REQUIRED PAINTING REQUIREMENTS FOR PROPOSED TOWER, ANTENNAS, ANCILLARY EQUIPMENT, CABLES, AND HARDWARE PRIOR TO ORDERING / INSTALLING EQUIPMENT.



DRAWN BY:		MSCH
CHECKED BY:		BJ
DRAWING VERSION		
DATE	DESCRIPTION	
08/26/24	90% ZONING DRAWINGS	1
09/18/24	CLIENT COMMENTS	2
09/25/24	100% ZONING DRAWINGS	3
01/31/25	STORMWATER UPDATE	4
03/03/25	JY COMMENTS	5

LICENSOR

PRELIMINARY UNLESS NOTED

PROJECT INFORMATION

PD31

BETHANY CREST

PARCEL #R234301

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PORTLAND, OR 97229

SHEET TITLE

ELEVATIONS

SHEET NO.

A3.0

Exhibit A.7.j