

# 14 DAY OPPORTUNITY TO COMMENT



www.multco.us/landuse ▪ Email: land.use.planning@multco.us ▪ Phone: (503) 988-3043

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## Application for Design Review

**CASE FILE:** T2-2025-0054

**APPLICANT:** Sean Barnett

**LOCATION:** 18575 NW Gillihan Road, Portland

**Property ID #** R324899

**Map, Tax lot:** 2N1W -01100

**Alt. Acct. #** R971100010

**BASE ZONE:** Exclusive Farm Use (EFU)

**OVERLAYS:** None

**PROPOSAL:** Request for a satellite fire station for Sauvie Island Fire District to be used for vehicle and equipment maintenance and occasional on-site training.

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- ❖ **COMMENT PERIOD:** Neighbors are invited to submit written comments for the proposal described above. Comments should be directed toward the approval criteria listed below. Any neighbor that submits comments will receive the County's complete decision. Written comments will be accepted at [LUP-comments@multco.us](mailto:LUP-comments@multco.us) if received by **4:00 pm on Tuesday, January 6, 2026**.

**If you do not wish to submit comments, no response is necessary.**

Further information regarding this application is available by contacting [LUP-comments@multco.us](mailto:LUP-comments@multco.us). Paper copies of these materials may be purchased for \$0.71/per page.

- ❖ **APPLICABLE APPROVAL CRITERIA** [Multnomah County Code (MCC)]:

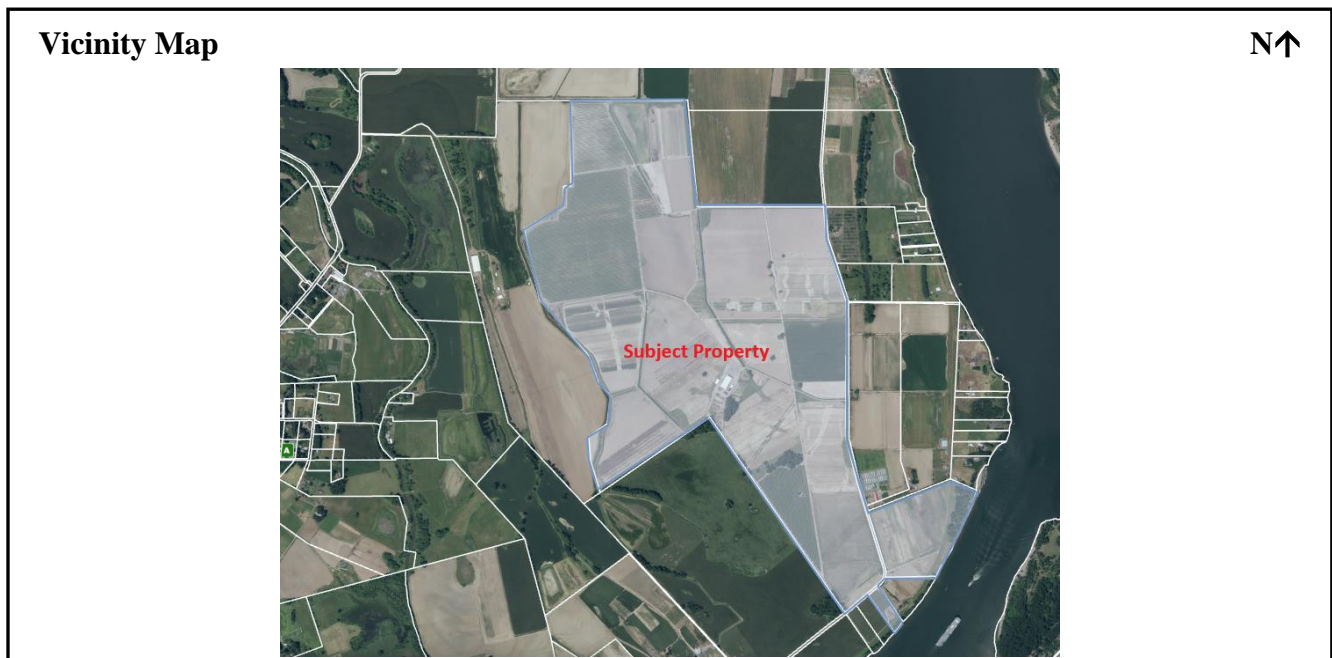
General Provisions: MCC 39.1250 Code Compliance and Applications, MCC 39.2000 Definitions, MCC 39.6235 Stormwater Drainage Control, MCC 39.6850 Dark Sky Lighting Standards

Lot of Record: MCC 39.3005 Lot of Record – Generally, MCC 39.3070 Lot of Record – Exclusive Farm Use (EFU)

Exclusive Farm Use Zone: MCC 39.4220(V) Allowed Use – Fire Service Facilities providing primarily rural fire protection, MCC 39.4245 (C), (D), (F), and (H) Dimensional Requirements and Standards, MCC 39.6500-39.6600 Off-Street Parking, MCC 39.7525(A) Minimum Yards, MCC 39.6745 Signs

Design Review Criteria: MCC 39.8010 Design Review Plan Approval Required, MCC 39.8020(C) Application of Regulations, MCC 39.8025 Design Review Plan Contents, MCC 39.8030 Final Design Review Plan, MCC 39.8040 Design Review Criteria, MCC 39.8045 Required Minimum Standards

Copies of the referenced Multnomah County Code sections can be obtained by visiting our website at <https://multco.us/landuse/zoning-codes/> under the link **Chapter 39 – Zoning Code** or by contacting our office at (503) 988-3043.



- ❖ **DECISION MAKING PROCESS:** The Planning Director will render a decision on this application after the comment period expires. Notice of the Director's decision will be mailed to the applicant, parties within 750 feet of the subject property, and any other persons who submitted written comments during the comment period. The Planning Director's decision can be appealed. An explanation of the requirements for filing an appeal will be included in the notice of decision.
- ❖ **IMPORTANT NOTE:** Failure to raise an issue before the close of the public record in sufficient detail to afford the County and all parties an opportunity to respond may preclude appeal on that issue to the Land Use Board of Appeals.
- ❖ **ENCLOSURES:**
  - Site Plan
  - Floor Plan
  - Building Elevations

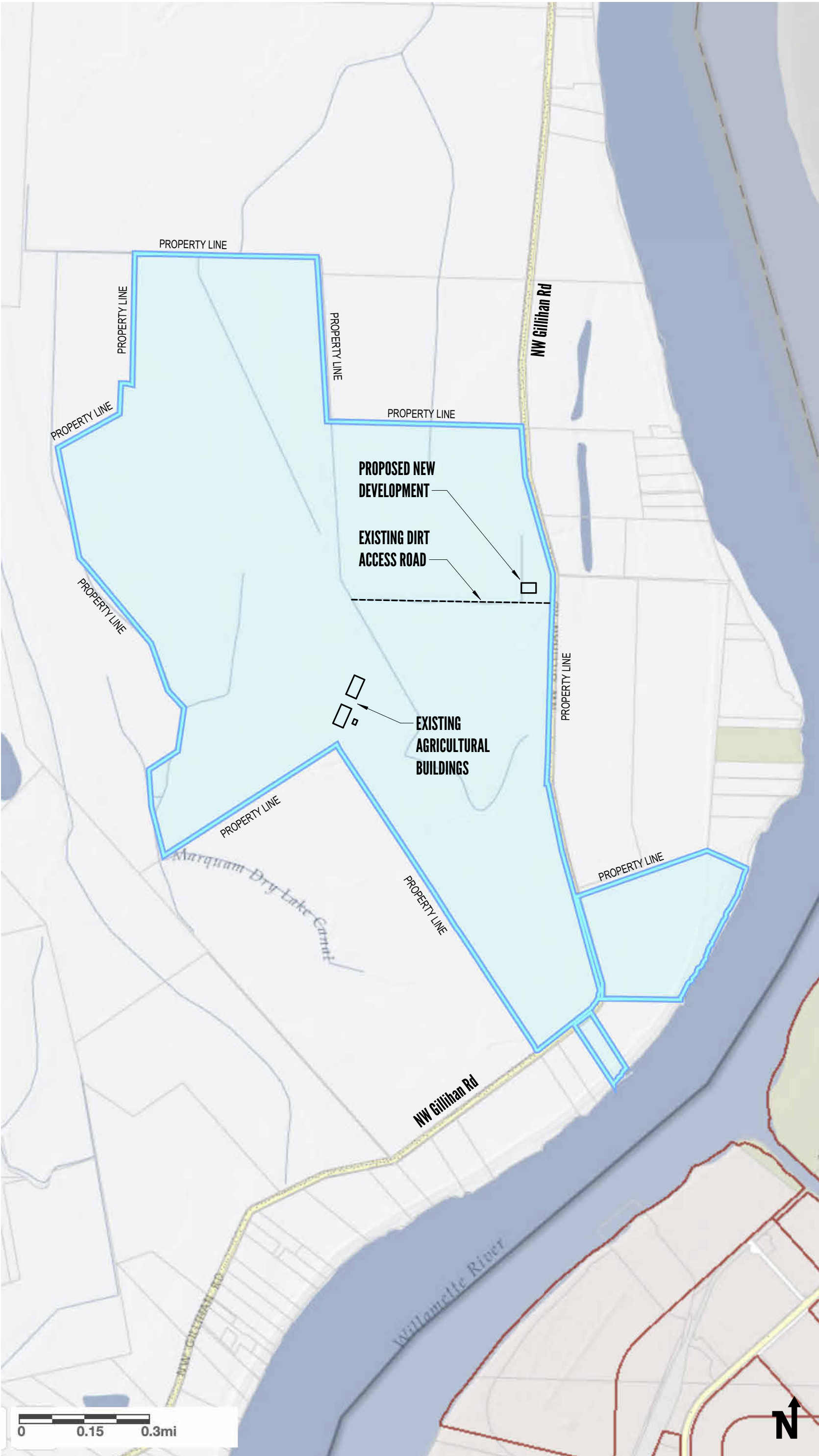
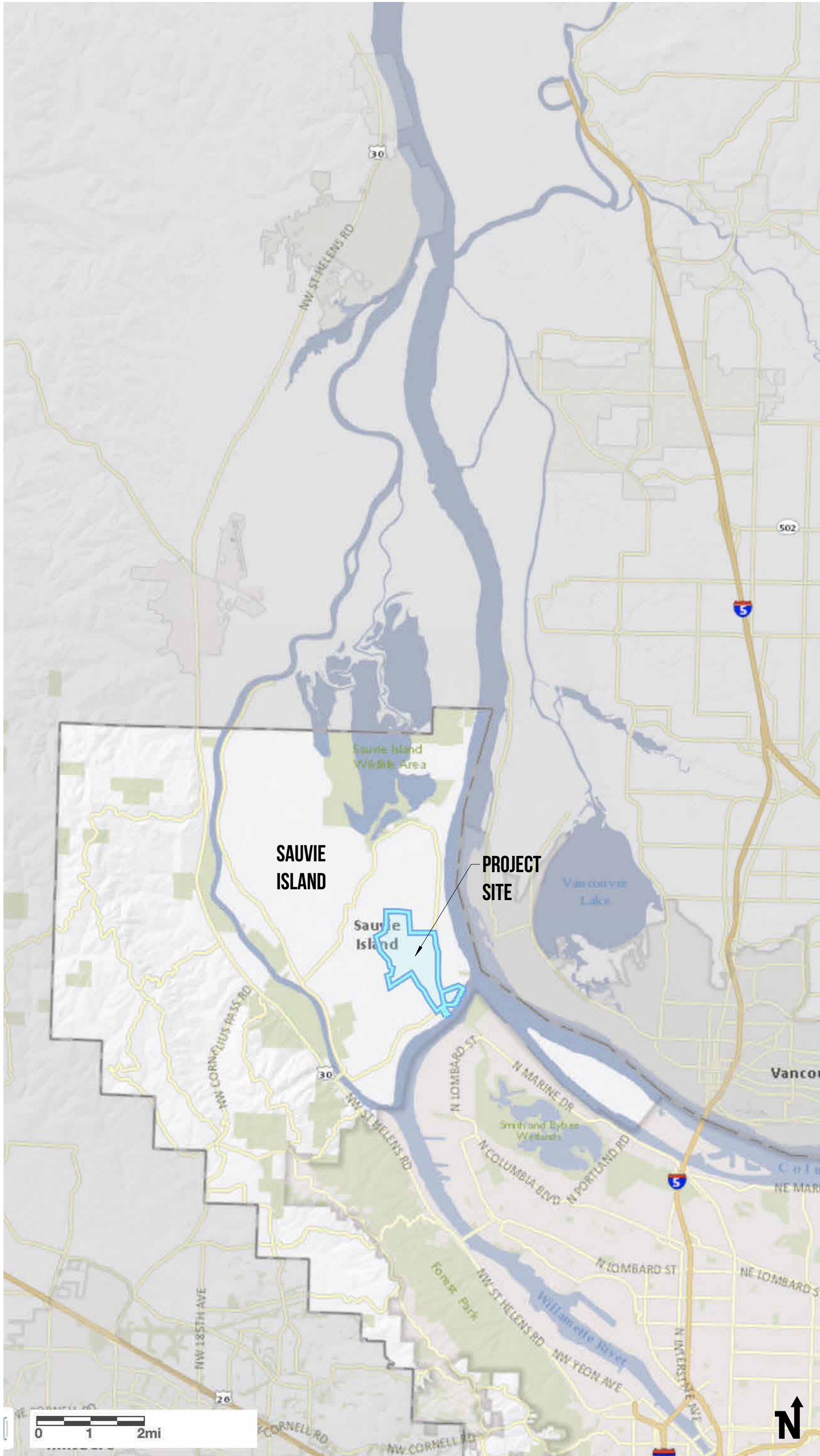
**Notice to Mortgagee, Lien Holder, Vendor, or Seller:**

ORS chapter 215 requires that if you receive this notice, it must promptly be forwarded to the purchaser.



# SAUVIE ISLAND SATELLITE FIRE STATION

TYPE II LAND USE REVIEW - 30 SEPTEMBER 2025



## PROPERTY INFORMATION

ADDRESS: 18575 NW GILLIHAN RD  
PORTLAND, OR 97231  
PROPERTY ID: R324899  
COUNTY: MULTNOMAH  
MAP TAX LOT: 2N1W - 01100  
ALT ACCOUNT #: R07100010  
ASSESSOR LEGAL: SECTION 10 2N 1W, TL 1100  
OWNER: BAILEY NURSERIES, INC  
1325 BAILEY RD  
ST PAUL, MN 55119-6313

## ZONING & DISTRICTS

BASE ZONE: MUA-20  
OVERLAY: N/A  
COMP PLAN: N/A  
COMP PLAN OVERLAY: N/A  
HISTORIC DISTRICT: N/A  
CONSERVATION DISTRICT: N/A  
PLAN DISTRICT: N/A

## PROJECT NARRATIVE

THE SAUVIE ISLAND FIRE DISTRICT (SIFD) WISHES TO CONSTRUCT A SATELLITE FIRE STATION, TO COMPLEMENT THEIR EXISTING FIRE STATION, LOCATED AT 18342 NW SAUVIE ISLAND ROAD. THE BUILDING WOULD BE CONSTRUCTED WITH THE PERMISSION OF THE OWNER OF THE PROPERTY, BAILEY NURSERIES, INC.

THE BUILDING WILL NOT BE REGULARLY OCCUPIED. OCCASSIONAL VEHICLE AND EQUIPMENT MAINTENANCE AND TRAINING WILL TAKE PLACE ON SITE.

THE PROPOSED BUILDING WOULD BE 3,870 GSF, WITH AN ASPHALT PARKING LOT AND DRIVEWAY, AN ABOVE GROUND WATER STORAGE TANK, AND ON-SITE STORMWATER MANAGEMENT.

THE PROJECT WILL BE BUILT IN TWO PHASES:

PHASE 1 WILL INCLUDE EVERYTHING SHOWN IN THESE DRAWINGS, EXCEPT FOR THE INSTALLATION OF INTERIOR PLUMBING FIXTURES AND A SEPTIC SYSTEM.

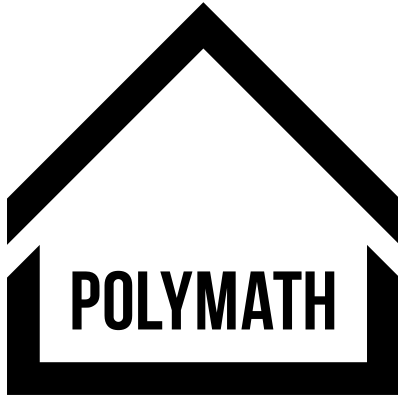
PHASE 2 WILL INCLUDE THE INSTALLATION OF INTERIOR PLUMBING FIXTURES AND A SEPTIC SYSTEM.

PER THE CONDITIONS OF PORTLAND PPD APPEAL # 34975, PLUMBING FIXTURES SHALL BE ROUGHED IN DURING PHASE 1, AND PERMITS FOR PHASE 2 MUST BE SECURED BY MARCH 23RD, 2027.

THE PROPERTY IS ZONED MULTIPLE USE AGRICULTURE (MUA-20). THE PROJECT TEAM SEEKS A CONDITIONAL USE APPROVAL FOR THE PROJECT. "FIRE STATION" APPEARS TO BE AN ALLOWABLE "COMMUNITY SERVICE" CONDITIONAL USE, PER MULTNOMAH COUNTY ZONING CODE 39.7520(18).

## DRAWING INDEX

- LU0 Cover Sheet
- C001 Civil Notes
- C051 Demolition and Erosion Control Plan
- C101 Layout and Paving Plan
- C201 Grading and Erosion Control Plan
- C301 Utility Plan - Phase 1
- C302 Utility Plan - Phase 2
- C401 Civil Details
- LU1 LU Floor Plan - Phase 1
- LU2 LU Floor Plan - Phase 2
- LU3 LU Exterior Elevations
- LU4 Landscape Plan
- LU5 Lighting Plan



Polymath Studio Architecture, LLC  
2505 SE 11th Ave, #212  
Portland, Oregon 97202  
503.593.0934 © 2024



## SAUVIE ISLAND SATELLITE FIRE STATION

18575 NW Gillihan Rd  
Portland, Oregon 97231  
Client: Sauvie Island Fire District

## Revisions

Revision #	Revision Date

30 September 2025

This Drawing Formatted  
for 22" x 34" Paper

Cover Sheet

1/16" = 1'-0"

LU0



GENERAL NOTES

1. ALL CONSTRUCTION, MATERIALS, AND WORKMANSHIP SHALL CONFORM TO THE LATEST STANDARDS AND PRACTICES OF MULTNOMAH COUNTY, THE OREGON STRUCTURAL SPECIALTY CODE (BUILDING CODE), OREGON PLUMBING SPECIALTY CODE (PLUMBING CODE), AND THE OREGON FIRE CODE (FIRE CODE), LATEST EDITIONS.
2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING AND SCHEDULING ALL WORK WITH THE OWNER.
3. ALL PERMITS AND LICENSES NECESSARY FOR THE EXECUTION AND COMPLETION OF THE WORK SHALL BE SECURED BY THE CONTRACTOR PRIOR TO COMMENCING CONSTRUCTION.
4. THE ENGINEER OR OWNER IS NOT RESPONSIBLE FOR THE SAFETY OF THE CONTRACTOR OR THE CREW. ALL O.S.H.A. REGULATIONS SHALL BE STRICTLY ADHERED TO IN THE PERFORMANCE OF THE WORK.
5. HUMBER DESIGN GROUP, INC. ASSUMES NO RESPONSIBILITY FOR ANY DISCREPANCIES ENCOUNTERED BETWEEN THE CURRENT FIELD CONDITIONS AND THE INFORMATION SHOWN ON THE SURVEY MAP. THE CONTRACTOR IS RESPONSIBLE FOR REPORTING ANY DISCREPANCIES TO THE OWNER'S REPRESENTATIVE.
6. WORK IN THE RIGHT-OF-WAY TO BE PERFORMED TO THE PUBLIC STANDARDS, SPECIFICATIONS, AND DETAILS OF THE JURISDICTION HAVING AUTHORITY.
7. CONTRACTOR SHALL HAVE AN APPROVED SET OF PERMIT PLANS ON SITE AT ALL TIMES.
8. CONTRACTOR SHALL SCHEDULE, REQUEST, AND COORDINATE ALL REQUIRED INSPECTIONS REQUIRED BY THE CONTRACT, ENGINEERS, OR PERMITTING JURISDICTIONS.

EARTHWORK, EXCAVATION, AND GRADING NOTES

GENERAL:

1. ALL EXCAVATORS MUST COMPLY WITH THE RULES ADOPTED BY THE OREGON UTILITY NOTIFICATION CENTER, INCLUDING NOTIFICATION OF ALL OWNERS OF UNDERGROUND UTILITIES AT LEAST 48 BUSINESS DAY HOURS, BUT NOT MORE THAN 10 BUSINESS DAYS, BEFORE COMMENCING AN EXCAVATION. THOSE RULES ARE SET FORTH IN OAR 952-001-0010 THROUGH OAR 952-001-0090 AND ORS 757.541 TO 757.57. THE TELEPHONE NUMBER FOR THE OREGON UTILITY NOTIFICATION CENTER IS 503-232-1987 AND THE LOCAL "CALL 48 HOURS BEFORE YOU DIG NUMBER" IS 503-246-6699.
2. THE LOCATION OF EXISTING UNDERGROUND UTILITIES SHOWN ON THE PLANS IS FOR INFORMATION ONLY AND IS NOT GUARANTEED TO BE ACCURATE. CONTRACTOR SHALL VERIFY ELEVATIONS OF ALL UNDERGROUND UTILITIES PRIOR TO COMMENCING WITH CONSTRUCTION AND SHALL BRING ANY DISCREPANCIES TO THE ATTENTION OF HUMBER DESIGN GROUP, INC. POTHOLE ALL CROSSINGS AS NECESSARY BEFORE CONSTRUCTION TO PREVENT GRADE AND ALIGNMENT CONFLICTS
3. CONTRACTOR SHALL EXERCISE CARE IN ALL OPERATIONS TO PROTECT EXISTING UTILITIES, POLES, AND STRUCTURES. ANY DAMAGE RESULTING FROM THIS WORK MUST BE RESTORED AT THE CONTRACTOR'S EXPENSE TO THE APPROVAL OF THE OWNER'S REPRESENTATIVE.
4. CONTRACTOR SHALL REPLACE AND RESTORE AREAS NOT SCHEDULED FOR CONSTRUCTION TO THEIR ORIGINAL CONDITION AND TO THE APPROVAL OF THE OWNER'S REPRESENTATIVE.
5. ACTUAL LINES AND GRADES OF EXCAVATION SHALL BE STAKED BY QUALIFIED SURVEYOR, BASED ON DIMENSIONS AND BEARINGS AS SHOWN ON THE PLANS. CONTRACTOR SHALL RETAIN A SURVEYOR LICENSED IN OREGON.

ADDITIONAL GEOTECHNICAL RECOMMENDATIONS:

6. ALL EARTHWORK ACTIVITIES SHALL BE COMPLETED PER RECOMMENDATIONS IN THE SOILS REPORT PREPARED BY COLUMBIA WEST ENGINEERING, INC.

TREES:

7. CONTRACTOR SHALL EXERCISE EXTREME CAUTION WHEN WORKING IN AREAS ADJACENT TO EXISTING TREES IN ORDER TO MINIMIZE DISTURBANCES TO TREE ROOTS. CONTRACTOR SHALL INSTALL TREE PROTECTION FENCING AS INDICATED ON PLANS OR AT DRIP-LINE OF EXISTING TREES IF TREE PROTECTION PLANS ARE NOT AVAILABLE.
8. NO PARKING VEHICLES UNDER TREES.
9. ALL EARTH DISTURBING ACTIVITIES ADJACENT TO EXISTING TREES TO REMAIN SHALL BE COMPLETED PER RECOMMENDATIONS IN AN ARBORIST REPORT.

FINAL GRADING:

10. CONSTRUCTED SURFACES SHALL MEET THE FOLLOWING SLOPE REQUIREMENTS:
  - PEDESTRIAN WALKWAYS, 2.0% MAX. CROSS SLOPE PERPENDICULAR TO THE DIRECTION OF TRAVEL.
  - ADA PARKING STALLS, 2.0% MAX. SLOPE, ANY DIRECTION
  - ADA PARKING ACCESS ISLES, 2.0% MAX. SLOPE ANY DIRECTION.
  - SIDEWALK OR RAMP LANDINGS, 2.0% MAX. SLOPE, ANY DIRECTION.
  - ASPHALT, 1.0% MIN. TO DRAIN
  - CONCRETE, 0.5% MIN. TO DRAIN
  - CONCRETE GUTTERS, 0.3% MIN. TO DRAIN

\*CONTRACTOR SHALL NOTIFY HUMBER DESIGN GROUP, INC. OF ANY DISCREPANCIES ENCOUNTERED TO THE REQUIREMENTS ABOVE PRIOR TO CONSTRUCTION.

11. ADJUST ALL INCIDENTAL STRUCTURES, MANHOLE LIDS, VALVE BOXES, ETC. TO FINISH GRADE.

MATERIAL NOTES

GENERAL:

1. MATERIALS SHALL BE NEW. THE USE OF MANUFACTURERS' NAMES, MODELS, AND NUMBERS IS INTENDED TO ESTABLISH STYLE, QUALITY, APPEARANCE, AND USEFULNESS.
2. PROPOSED SUBSTITUTIONS WILL REQUIRE WRITTEN APPROVAL FROM HUMBER DESIGN GROUP, INC. PRIOR TO INSTALLATION.
3. ALL ON-SITE WATER, STORM, AND SANITARY SEWER PIPE MATERIALS AND FITTINGS SHALL CONFORM TO THE OREGON STATE PLUMBING SPECIALTY CODE, LATEST EDITION.
4. IN GROUND MATERIALS MUST ALSO BE APPROVED FOR UNDER BUILDING APPLICATIONS PER THE PLUMBING CODE IF RUNNING UNDER CANOPIES OR OTHER STRUCTURES.

GAS:

5. CONTRACTOR SHALL CONTACT AND COORDINATE MATERIALS ASSOCIATED WITH NATURAL GAS SERVICE INSTALLATIONS DIRECTLY WITH NATURAL GAS PROVIDER.

PRIVATE FIRE:

6. ON-SITE FIRE SERVICE 4-INCH DIAMETER AND LARGER SHALL BE EITHER DUCTILE IRON PIPE, CLASS 52, CONFORMING TO AWWA C151 OR PVC AWWA PIPE, CLASS 150, CONFORMING TO AWWA C900 UNLESS ONE MATERIAL IS SPECIFICALLY CALLED FOR ON THE PLANS. PIPES MUST BE RESTRAINED WITH APPROVED MECHANICAL RESTRAINTS OR CONCRETE THRUST BLOCKING.

MATERIAL NOTES (CONTINUED)

7. MATERIALS RELATED TO PUBLIC CONNECTIONS, SERVICE VAULTS, FIRE HYDRANTS AND SERVICE LATERALS IN THE RIGHT-OF-WAY OR PUBLIC EASEMENTS SHALL BE INSTALLED PER THE JURISDICTION HAVING AUTHORITY.

SANITARY:

8. ON-SITE SANITARY SEWER PIPE SHALL BE PVC PIPE CONFORMING TO ASTM D3034, SDR 35, OR APPROVED SUBSTITUTE.

STORM:

9. ON-SITE STORM SEWER PIPE SHALL BE PVC PIPE CONFORMING TO ASTM D3034 SDR 35, OR HDPE PIPE (ADS 'N-12' OR APPROVED EQUAL) CONFORMING TO AASHTO M252 W/WATERTIGHT JOINTS, OR APPROVED SUBSTITUTIONS.
10. ON-SITE STORM SEWER PIPE WITH LESS THAN 2- FEET OF COVER SHALL BE HDPE PIPE.

11. ON-SITE AREA DRAINS SHALL BE MANUFACTURED BY LYNCH CO., INC. OR APPROVED EQUAL.

WATER:

12. ON-SITE WATER SERVICES 4-INCH DIAMETER AND LARGER SHALL BE EITHER DUCTILE IRON PIPE, CLASS 52, CONFORMING TO AWWA C151 OR PVC AWWA PIPE, CLASS 150, CONFORMING TO AWWA C900 UNLESS ONE MATERIAL IS SPECIFICALLY CALLED FOR ON THE PLANS. PIPES MUST BE RESTRAINED WITH APPROVED MECHANICAL RESTRAINTS OR CONCRETE THRUST BLOCKING.
13. ON-SITE WATER SERVICE SMALLER THAN 4-INCH DIAMETER SHALL BE COPPER TUBING CONFORMING TO ASTM888, SILVER SOLDER, OR APPROVED SUBSTITUTIONS
14. MATERIALS RELATED TO PUBLIC CONNECTIONS, WATER METERS, AND BACK FLOW DEVICES AND ASSOCIATED SERVICE LATERALS IN THE RIGHT-OF-WAY OR PUBLIC EASEMENTS SHALL BE INSTALLED PER THE JURISDICTION HAVING AUTHORITY.

UTILITY NOTES

GENERAL:

1. VERIFY ELEVATIONS OF ALL UNDERGROUND UTILITIES PRIOR TO COMMENCING WITH CONSTRUCTION AND SHALL BRING ANY DISCREPANCIES TO THE ATTENTION OF HUMBER DESIGN GROUP, INC. POTHOLE ALL CROSSINGS AS NECESSARY BEFORE CONSTRUCTION TO PREVENT GRADE AND ALIGNMENT CONFLICTS
2. CONTRACTOR TO ADJUST ALL EXISTING OR NEW FLEXIBLE UTILITIES (WATER, GAS, TV, TELEPHONE, ELECTRICAL, ETC.) TO CLEAR ANY EXISTING OR NEW GRAVITY DRAIN UTILITIES (STORM DRAIN, SANITARY SEWER, ETC.) IF CONFLICT OCCURS.
3. CONNECTIONS TO EXISTING UTILITIES SHALL CONFORM WITH THE REQUIREMENTS OF THE JURISDICTION HAVING AUTHORITY

TRENCHING:

4. ALL PRIVATE TRENCH BACKFILL SHALL BE AS SHOWN ON THE PIPE BEDDING AND BACKFILL DETAIL. FLOODING OR JETTING THE BACKFILLED TRENCHES WITH WATER IS NOT PERMITTED.
5. TRENCHING IN THE PUBLIC RIGHT-OF-WAY SHALL BE PER THE JURISDICTION HAVING AUTHORITY.

SANITARY/SEWER:

6. BEGIN LAYING STORM AND SANITARY PIPE AT THE LOW POINT OF THE SYSTEM TRUE TO GRADE AND ALIGNMENT INDICATED WITH UNBROKEN CONTINUITY OF INVERT. ESTABLISH LINE AND GRADE FOR THE STORM PIPE BY THE USE OF A LASER.
7. EXISTING STORM AND SANITARY LATERALS TO BE UTILIZED FOR NEW SYSTEM MUST BE VIDEO INSPECTED WITH CITY INSPECTOR PRESENT PRIOR TO CONNECTION.
8. ALL NEW DRYWELLS MUST BE ACCESSIBLE PER OREGON DEPARTMENT OF ENVIRONMENTAL QUALITY REQUIREMENTS.
9. CONTRACTOR SHALL VACUUM OUT ALL TRAPPED INLETS, MANHOLES, AND DRYWELLS AT END OF PROJECT.
10. CONTRACTOR SHALL PREVENT SEDIMENTS FROM ENTERING THE STORM AND SANITARY DRAINAGE SYSTEM.

WATER/FIRE:

11. ALL WATER AND FIRE PROTECTION PIPE SHALL HAVE MINIMUM 36-INCH COVER TO FINISHED GRADE.
12. ALL WATER AND FIRE LINES SHALL BE THOROUGHLY FLUSHED, CHLORINATED AND TESTED IN ACCORDANCE WITH THE OREGON STATE HEALTH DEPARTMENT PRIOR TO ANY METER HOOK-UP SERVICE.
13. CONTRACTOR SHALL MAINTAIN A MINIMUM 10-FOOT HORIZONTAL AND 18-INCH VERTICAL SEPARATION BETWEEN ALL EXISTING AND PROPOSED WATER AND SEWER LINES.
14. FOR CROSSINGS OF WATER LINES AND SANITARY SEWER LINES, THE OREGON STATE HEALTH DEPARTMENT CRITERIA SHALL APPLY.
15. DOMESTIC WATER SERVICE BACKFLOW ASSEMBLY SHALL BE INSTALLED PRIOR TO ANY BRANCHES IN THE DOMESTIC PLUMBING SYSTEM.
16. BACKFLOW ASSEMBLY(S) TO BE INSTALLED AT THE POINT WHERE THE WATER SERVICE ENTERS THE PROPERTY. IF APPROVED TO BE INSTALLED INSIDE OF BUILDING, ASSEMBLY(S) MUST BE INSTALLED AT THE POINT WHERE SERVICE ENTERS, BETWEEN 1 AND 5- FEET ABOVE THE FLOOR.
17. IF THE REDUCE PRESSURE (RP) BACKFLOW ASSEMBLY IS REQUIRED IT MUST BE INSTALLED AT LEAST 12-INCHES ABOVE FINISHED GRADE. RP DEVICE IS REQUIRED IF PROJECT IS HARVESTING RAINWATER.
18. LANDSCAPE IRRIGATION POINT-OF-CONNECTION TO DOMESTIC WATER SYSTEM MUST OCCUR DOWNSTREAM OF THE DOMESTIC WATER SERVICE BACKFLOW PROTECTION.

EROSION CONTROL NOTES

GENERAL:

1. EROSION CONTROL MEASURE SHALL BE IN ACCORDANCE WITH ALL OF THE LATEST STATE AND LOCAL JURISDICTIONAL REQUIREMENTS. ADDITIONAL REQUIREMENTS MAY BE LISTED UNDER JURISDICTION SPECIFIC NOTES.
2. IT IS THE INTENT OF THESE PLANS AND SPECIFICATIONS TO ENSURE THAT SEDIMENT LADEN WATER DOES NOT LEAVE THE WORK SITE. THE CONTRACTOR SHALL USE ALL AVAILABLE MEANS TO ACHIEVE THIS RESULT.
3. THE IMPLEMENTATION OF THESE ESPCP AND THE CONSTRUCTION, MAINTENANCE, REPLACEMENT, AND UPGRADING OF THESE ESPCP FACILITIES IS THE RESPONSIBILITY OF THE CONTRACTOR UNTIL ALL CONSTRUCTION IS COMPLETED AND APPROVED AND VEGETATION/LANDSCAPING IS ESTABLISHED.
4. THE ESPCP FACILITIES SHOWN ON THIS PLAN ARE THE MINIMUM REQUIREMENTS FOR ANTICIPATED SITE CONDITIONS. DURING THE CONSTRUCTION PERIOD, THESE ESPCP FACILITIES SHALL BE UPGRADED AS NEEDED FOR UNEXPECTED STORM EVENTS AND TO ENSURE THAT SEDIMENT AND SEDIMENT-LADEN WATER DO NOT LEAVE THE SITE.

EROSION CONTROL NOTES (CONTINUED)

LIMITS OF WORK:

5. THE BOUNDARY OF THE CLEARING LIMITS SHOWN ON THESE PLANS SHALL BE CLEARLY FLAGGED OR FENCED IN THE FIELD PRIOR TO CONSTRUCTION. DURING THE CONSTRUCTION PERIOD, NO DISTURBANCE BEYOND THE FLAGGED/FENCED CLEARING LIMITS SHALL BE PERMITTED. THE FLAGGING/FENCING SHALL BE MAINTAINED BY THE CONTRACTOR FOR THE DURATION OF CONSTRUCTION.

INSTALLATION AND REMOVAL TIMELINE:

6. THE ESPCP FACILITIES SHOWN ON THESE PLANS MUST BE CONSTRUCTED IN CONJUNCTION WITH ALL CLEARING AND GRADING ACTIVITIES, AND IN SUCH A MANNER AS TO ENSURE THAT SEDIMENT AND SEDIMENT-LADEN WATER DOES NOT ENTER THE DRAINAGE SYSTEM OR ROADWAYS, OR VIOLATE APPLICABLE WATER STANDARDS.
7. IN GENERAL, CONSTRUCTION SHALL PROGRESS FROM DOWNSTREAM TO UPSTREAM. THE CONTRACTOR SHALL CONSTRUCT ESC FACILITIES IN CONJUNCTION WITH ALL CLEARING, GRADING AND OTHER LAND ALTERATION ACTIVITIES.
8. STABILIZED CONSTRUCTION ENTRANCES SHALL BE INSTALLED AT THE BEGINNING OF CONSTRUCTION AND MAINTAINED FOR THE DURATION OF THE PROJECT. ADDITIONAL MEASURES MAY BE REQUIRED TO ENSURE THAT ALL PAVED AREAS ARE KEPT CLEAN FOR THE DURATION OF THE PROJECT.
9. TEMPORARY EROSION CONTROL MEASURES SHALL REMAIN FUNCTIONAL AND IN PLACE UNTIL PROJECT COMPLETION. THE CONTRACTOR SHALL COMPLETELY RESTORE ALL AREAS DISTURBED BY REMOVAL OF TEMPORARY EROSION CONTROL MEASURES. REMOVED MATERIALS SHALL BECOME PROPERTY OF THE CONTRACTOR TO BE DISPOSED OF IN ACCORDANCE WITH APPLICABLE LAWS AND JURISDICTIONS.
10. SUPPLEMENTARY WET WEATHER MEASURES SHALL BE IN PLACE AND FUNCTIONING BY OCTOBER 1 AND REMAIN OPERATIONAL UNTIL APRIL 30. SUPPLEMENTAL WET WEATHER MEASURES ARE IN ADDITION TO BASE MEASURES.
11. SIGNIFICANT AMOUNTS OF SEDIMENT THAT LEAVE THE SITE SHALL BE CLEANED UP WITHIN 24 HOURS AND PLACED BACK ON THE SITE OR PROPERLY DISPOSED.
12. ALL EROSION AND SEDIMENT CONTROLS NOT IN THE DIRECT PATH OF WORK SHALL BE INSTALLED BEFORE ANY LAND DISTURBANCE.

INSPECTIONS:

13. THE ESPCP FACILITIES SHALL BE INSPECTED DAILY BY CONTRACTOR AND MAINTAINED AS NECESSARY TO ENSURE THEIR CONTINUED FUNCTIONING.
14. THE ESPCP FACILITIES ON INACTIVE SITES SHALL BE INSPECTED AND MAINTAINED A MINIMUM OF ONCE A MONTH OR WITH IN THE 24 HOURS FOLLOWING A STORM EVENT.

TRANSPORT:

15. CONTRACTOR WILL PROVIDE TRUCKS THAT ARE WELL SEALED FOR TRANSPORTATION OF SATURATED SOILS/MATERIAL FROM THE SITE. A TRUCK MUST NOT LEAK LIQUIDS AT ANY RATE GREATER THAN 1 GAL./HR.
16. WHEN CONCRETE TRUCKS ARE USED, A SHALLOW PIT SHALL BE DUG OR "ECO-PAN" PROVIDED FOR RESIDUAL CONCRETE, AGGREGATE AND WATER. TRUCKS THAT RECYCLE THIS RESIDUAL BACK INTO THE TRUCK MAY BE USED IN LIEU OF THE PIT OR PAN.

INLETS:

17. ALL STORM INLETS IN THE CLEARING LIMITS AND WITHIN 200 FEET OF THE CLEARING LIMITS SHALL BE PROTECTED TO PREVENT SEDIMENT FROM LEAVING THE PROJECT SITE. CLEANING OF CATCH BASINS SHALL OCCUR WHEN SEDIMENT CONSUMES ONE-THIRD OF THE DEVICE STORAGE AREA. ALL CATCH BASINS AND CONVEYANCE LINES SHALL BE CLEANED PRIOR TO PAVING. THE CLEANING OPERATION SHALL NOT FLUSH SEDIMENT LADEN WATER INTO THE DOWNSTREAM SYSTEM.

LANDSCAPING:

18. IF FERTILIZERS ARE USED TO ESTABLISH VEGETATION, THE APPLICATION RATES SHALL FOLLOW THE MANUFACTURER'S GUIDELINES AND THE APPLICATION SHALL BE DONE IN SUCH A WAY TO MINIMIZE NUTRIENT-LADEN RUNOFF TO RECEIVING WATERS.

19. ALL AREAS DISTURBED BY CONSTRUCTION OF THIS PROJECT, NOT RECEIVING A HARD, DURABLE SURFACE SHALL BE GRASSED AND/OR LANDSCAPED AT EARLIEST PRACTICABLE TIME.

STOCKPILES:

20. STOCKPILES SHALL BE LOCATED AWAY FROM THE CONSTRUCTION ACTIVITY AND SHALL BE STABILIZED OR COVERED AT THE END OF EACH WORKDAY.

21. SILT FENCE SHALL BE INSTALLED AROUND STOCEPILES ALONG THE CONTOURS WHERE POSSIBLE PER THE SILT FENCE DETAIL.

DUST CONTROL:

22. DUST SHALL BE MINIMIZED TO THE EXTENT PRACTICABLE, UTILIZING ALL MEASURES NECESSARY, INCLUDING, BUT NOT LIMITED TO:
  - A. SPRINKLER HAUL AND ACCESS ROADS AND OTHER EXPOSED DUST PRODUCING AREAS.
  - B. APPLYING AGENCY-APPROVED DUST PALLIATIVES ON ACCESS AND HAUL ROADS.
  - C. ESTABLISHING TEMPORARY VEGETATIVE COVER.
  - D. PLACING WOOD CHIPS OR OTHER EFFECTIVE MULCHES ON VEHICLE AND PEDESTRIAN USE AREAS.
  - E. MAINTAINING THE PROPER MOISTURE CONDITION ON ALL FILL SURFACES.
  - F. PREWETTING CUT AND BORROW AREA SURFACES.
  - G. USE OF HAUL EQUIPMENT.

23. CONTRACTOR SHALL FURNISH AND INSTALL EQUIPMENT TO HAUL AND PLACE WATER. AN ADEQUATE SUPPLY OF WATER SHALL BE MAINTAINED AT ALL TIMES.

SILT FENCE/STRAW WATTLES:

24. FOR SILT FENCE INSTALLATIONS:THE FILTER FABRIC SHALL BE PURCHASED IN A CONTINUOUS ROLL CUT TO THE LENGTH OF THE BARRIER TO AVOID USE OF JOINTS. WHEN JOINTS ARE NECESSARY OVERLAP 2-INCHx2-INCH POSTS AND ATTACH AS SHOWN IN SEDIMENT FENCE DETAIL.

25. SILT FENCE AND STRAW WATTLES SHALL BE INSTALLED TO FOLLOW THE CONTOURS WHERE FEASIBLE.

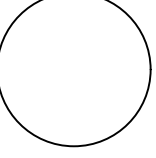




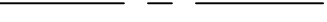
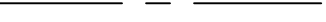


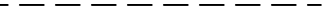






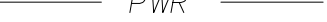
26. IN AREAS OF HEAVY TREE ROOTS OR OTHER OBSTRUCTIONS STRAW WATTLES MAY BE USED IN LIEU OF SILT FENCE WITH JURISDICTIONAL INSPECTOR AND ENGINEERING APPROVAL.

27. FILTER FABRIC SILT FENCES AND STRAW WATTLES SHALL BE REMOVED ONLY WHEN THE UP SLOPE AREA HAS BEEN PERMANENTLY PROTECTED AND STABILIZED.

28. SILT FENCES AND STRAW WATTLES SHALL BE INSPECTED BY CONTRACTOR IMMEDIATELY AFTER EACH RAINFALL AND AT LEAST DAILY DURING PROLONGED RAINFALL. ANY REQUIRED REPAIRS, RELOCATIONS, OR ADDITIONS SHALL BE MADE IMMEDIATELY.

29. AT NO TIME SHALL MORE THAN 1/3 OF THE HEIGHT OF THE WATTLE OF SILT FENCE OF SEDIMENT BE ALLOWED TO ACCUMULATE UP SLOPE OF A SILT FENCE. SEDIMENT SHALL BE REMOVED OR RE-GRADED ONTO SLOPES AND THE SILT FENCE OR WATTLE REPAIRED AND REESTABLISHED.

LEGEND

EXISTING	PROPOSED	DESCRIPTION
		WATER TANK
		WATER WELL
		TELECOM VAULT
		SIGN
		TREE
		PROPERTY LINE
		CENTERLINE
		CONTOUR
		SAWCUT LINE
		EDGE OF PAVEMENT
		CURB
		STORM DRAIN
		WATER
		POWER

ABBREVIATIONS

AD	AREA DRAIN	NTS	NOT TO SCALE
BS	BOTTOM OF STAIR	OD	OVERFLOW DRAIN
BW	BOTTOM OF WALL	OF	OUTFALL
CB	CATCH BASIN	PERF.	PERFORATED
CLR.	CLEAR	ROW	RIGHT-OF-WAY
CO	CLEAR OUT TO GRADE	S=	SLOPE EQUALS
DS	DOWNSPOUT	SD	STORM DRAIN
DWG.	DRAWING	SF	SQUARE FEET
ESPCP	EROSION SEDIMENT POLLUTANT CONTROL PLANS	SS	SANITARY SEWER STANDARD
EX.	EXISTING	STD.	STANDARD
FG	FINISHED GRADE	TC	TOP OF CURB
FPHB	FROST PROOF HOSE BIB	TD	TRENCH DRAIN
H	HEIGHT	TP	TOP OF PAVEMENT
GB	GRADE BREAK	TS	TOP OF STAIR
IE	INVERT ELEVATION	TW	TOP OF WALL
LF	LINEAR FEET	TYP.	TYPICAL
LS	LEVEL SPREADER	W	WATER
MAX.	MAXIMUM	WT	WATER TANK
MIN.	MINIMUM	WW	WATER WELL
NO.	NUMBER		

ARCHITECT/ENGINEER

<b>ARCHITECT:</b> POLYMATCH STUDIO 2505 SE 11TH AVENUE SUITE 212 PORTLAND, OR 97202 503-593-0954 CONTACT: SEAN BARNETT	<b>CIVIL ENGINEER:</b> HUMBER DESIGN GROUP, INC. 110 SE MAIN ST, SUITE 200 PORTLAND, OR 97214 (503)946-6690 CONTACT: DAVE HUMBER, PE CAMILLE MORGAN, EI
---	--


SURVEY

SURVEY PROVIDED BY WEDDLE SURVEYING INC, DATED DECEMBER 19, 2024. ALL ELEVATIONS BASED ON VERTICAL DATUM NAVD88.

WEDDLE SURVEYING INC.  
6950 SW HAMPTON STREET SUITE 170  
TIGARD, OR 97223  
503-941-9585  
CONTACT: ANTHONY RYAN


SHEET INDEX

C001	CIVIL NOTES
C051	DEMOLITION AND EROSION CONTROL PLAN
C101	LAYOUT AND PAVING PLAN
C201	GRADING AND EROSION CONTROL PLAN
C301	UTILITY PLAN - PHASE 1
C302	UTILITY PLAN - PHASE 2
C401	CIVIL DETAILS



Humber Design Group, Inc.

Civil Engineering  
503.946.6690  
hdgpdx.com



EXPIRES 6-30-27

LAND USE

SAUVIE FIRE STATION

18575 NW GILLIHAN ROAD  
PORTLAND, OR

REV.	DATE	DESCRIPTION	BY

PROJECT NO.:	PMS001
DRAWN BY:	CCM
DESIGN BY:	CCM
REVISED BY:	DJH
DATE:	10/02/2025

SHEET NO.

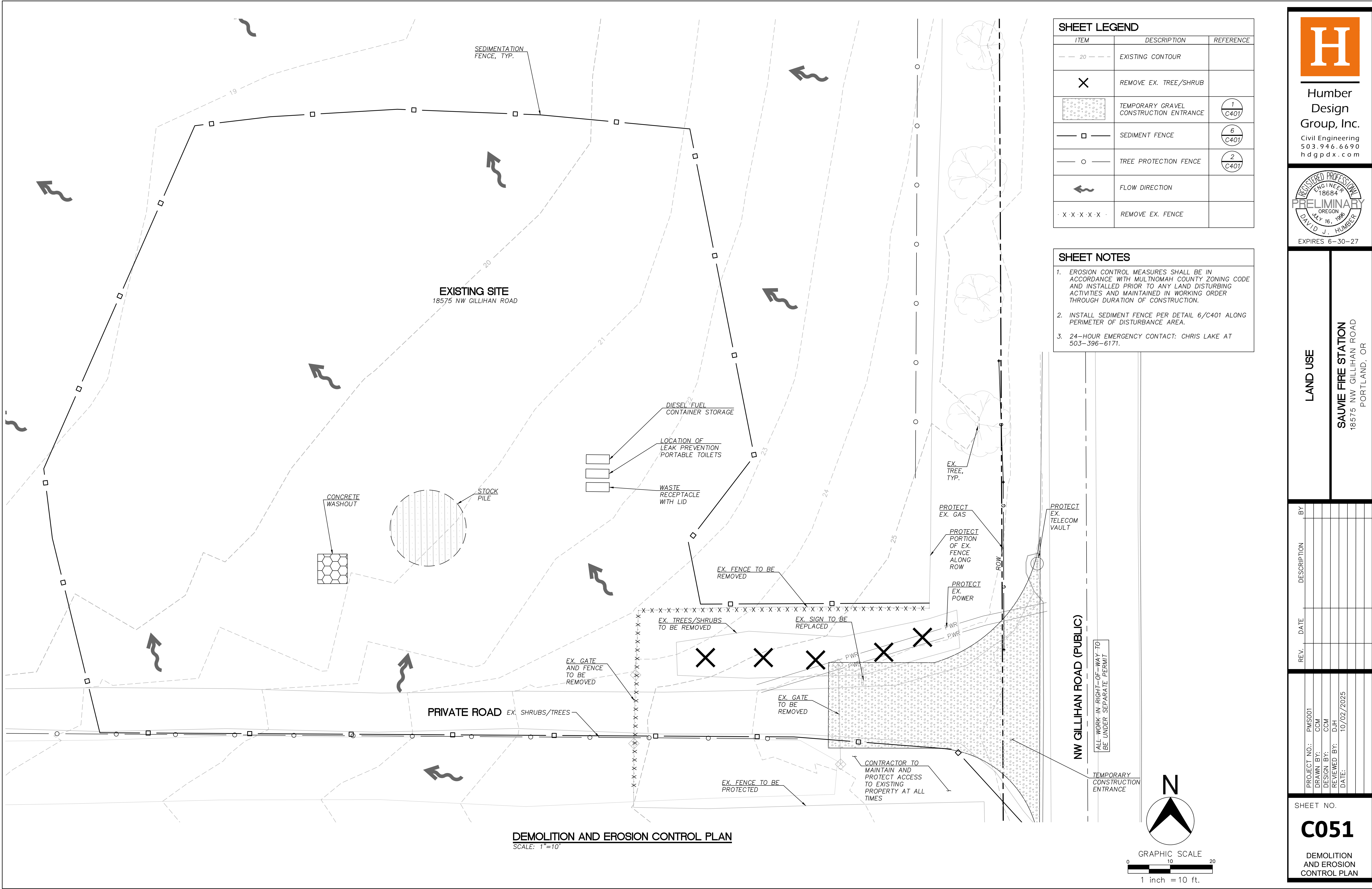
C001

CIVIL NOTES

P: \PMS001 - Sauvie Fire Station\7 - CAD Drawings\PMS001 - Civil Notes.dwg


Oct 02, 2025 - 2:37pm






SHEET LEGEND		
ITEM	DESCRIPTION	REFERENCE
--- 20 ---	EXISTING CONTOUR	
X	REMOVE EX. TREE/SHRUB	
[Pattern]	TEMPORARY GRAVEL CONSTRUCTION ENTRANCE	1 C401
— □ —	SEDIMENT FENCE	6 C401
— ○ —	TREE PROTECTION FENCE	2 C401
↗	FLOW DIRECTION	
· X · X · X · X ·	REMOVE EX. FENCE	

- SHEET NOTES**
1. EROSION CONTROL MEASURES SHALL BE IN ACCORDANCE WITH MULTNOMAH COUNTY ZONING CODE AND INSTALLED PRIOR TO ANY LAND DISTURBING ACTIVITIES AND MAINTAINED IN WORKING ORDER THROUGH DURATION OF CONSTRUCTION.
  2. INSTALL SEDIMENT FENCE PER DETAIL 6/C401 ALONG PERIMETER OF DISTURBANCE AREA.
  3. 24-HOUR EMERGENCY CONTACT: CHRIS LAKE AT 503-396-6171.



**Humber Design Group, Inc.**  
Civil Engineering  
503.946.6690  
hdgpdx.com



REGISTERED PROFESSIONAL ENGINEER  
18684  
PRELIMINARY  
OREGON  
JULY 16, 1986  
DAVID J. HUMBER  
EXPIRES 6-30-27

LAND USE	
SAUVIE FIRE STATION 18575 NW GILLIHAN ROAD PORTLAND, OR	

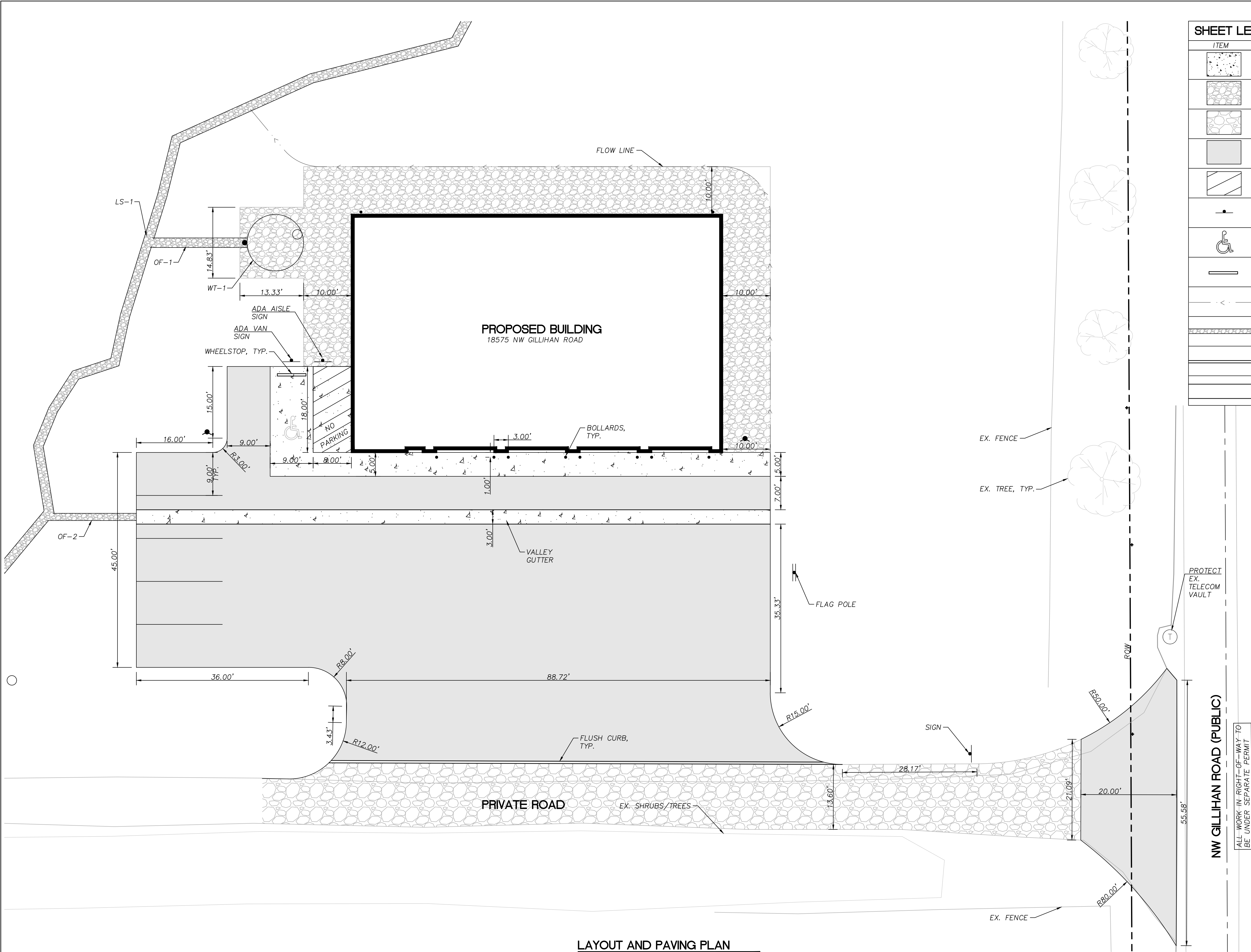
REV.	DATE	DESCRIPTION	BY

PROJECT NO.: PMS001	CM
DRAWN BY: CCM	CM
DESIGN BY: CCM	CM
REVIEWED BY: DJH	CM
DATE: 10/02/2025	CM

SHEET NO.

**C051**

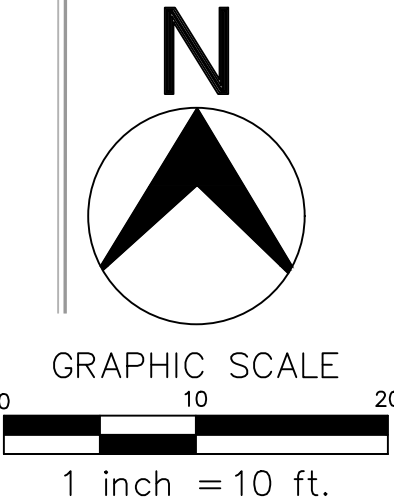
DEMOLITION AND EROSION CONTROL PLAN



SHEET LEGEND		
ITEM	DESCRIPTION	REFERENCE
	HEAVY CONCRETE PAVING	
	GRAVEL PATHWAY	
	COMPACTED GRAVEL	
	ASPHALT PAVING	
	ADA STRIPING	
	ADA SIGN	
	ADA EMBLEM	
	WHEEL STOP	
	FLOW LINE (FL)	
	LEVEL SPREADER(LS) / OVERFLOW(OD)	
	FLUSH CURB	
	VALLEY GUTTER	

NW GILLIHAN ROAD (PUBLIC)

ALL WORK IN RIGHT-OF-WAY TO  
BE UNDER SEPARATE PERMIT



LAYOUT AND PAVING PLAN  
SCALE: 1"=10'



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LAND USE

SAUVIE FIRE STATION  
18575 NW GILLIHAN ROAD  
PORTLAND, OR

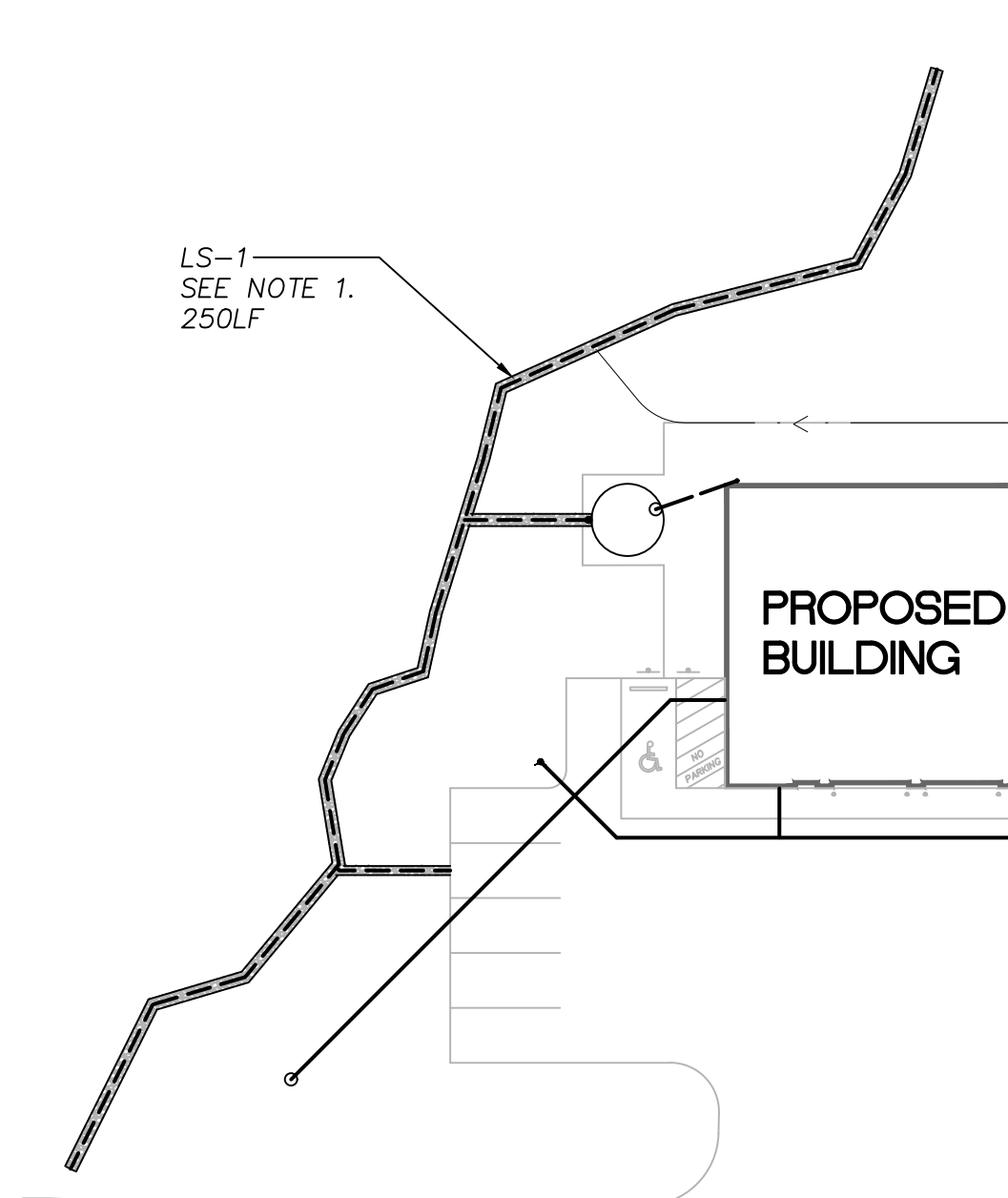
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







SHEET NO.  
**C101**  
LAYOUT AND  
PAVING PLAN



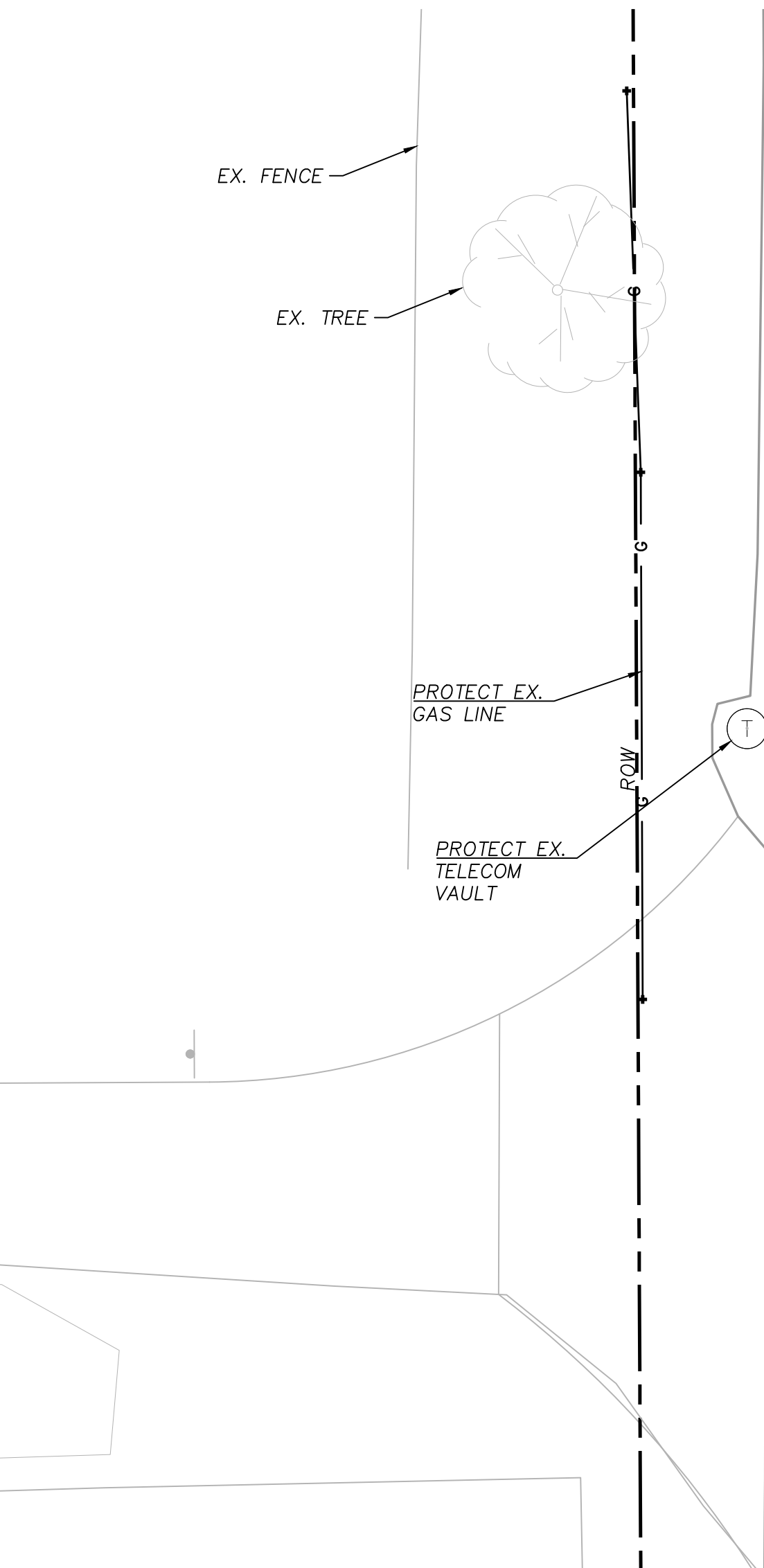






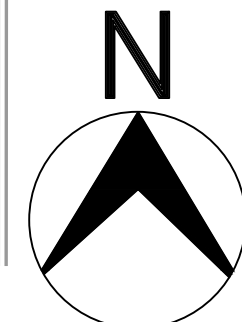
SHEET LEGEND		
ITEM	DESCRIPTION	REFERENCE
	STORM DRAIN	
	PERFORATED PIPE	
	WATER	
	FLOW LINE	
	FROST PROOF HOSE BIB	
	OVERFLOW DRAIN	
	LEVEL SPREADER	
	OUTFALL TRENCH	

1. LEVEL SPREADER SHALL BE INSTALLED ALONG SAME CONTOUR ELEVATION TO ENSURE LEVEL TOP AND EVEN DISTRIBUTION OF STORMWATER RUNOFF




NW GILLIHAN ROAD (PUBLIC)

ALL WORK IN RIGHT-OF-WAY TO  
BE UNDER SEPARATE PERMIT



GRAPHIC SCALE



1 inch = 10 ft.

WATER SCHEDULE		
ITEM	DESCRIPTION	REFERENCE
WW-1	NEW WATER WELL, LOCATION TO BE DETERMINED.	
WPOC-1	WATER POINT OF CONNECTION TO PRESSURE TANK IN BUILDING, SEE P-SHTS	
WPOC-2	WATER POINT OF CONNECTION FROM PRESSURE TANK TO FPHB, SEE P-SHTS	
FPHB-1	FROST PROOF HOSE BIB	
FPHB-2	FROST PROOF HOSE BIB	

ITEM	DESCRIPTION	REFERENCE
WW-1	NEW WATER WELL, LOCATION TO BE DETERMINED.	
WPOC-1	WATER POINT OF CONNECTION TO PRESSURE TANK IN BUILDING, SEE P-SHTS	
WPOC-2	WATER POINT OF CONNECTION FROM PRESSURE TANK TO FPHB, SEE P-SHTS	
FPHB-1	FROST PROOF HOSE BIB	
FPHB-2	FROST PROOF HOSE BIB	

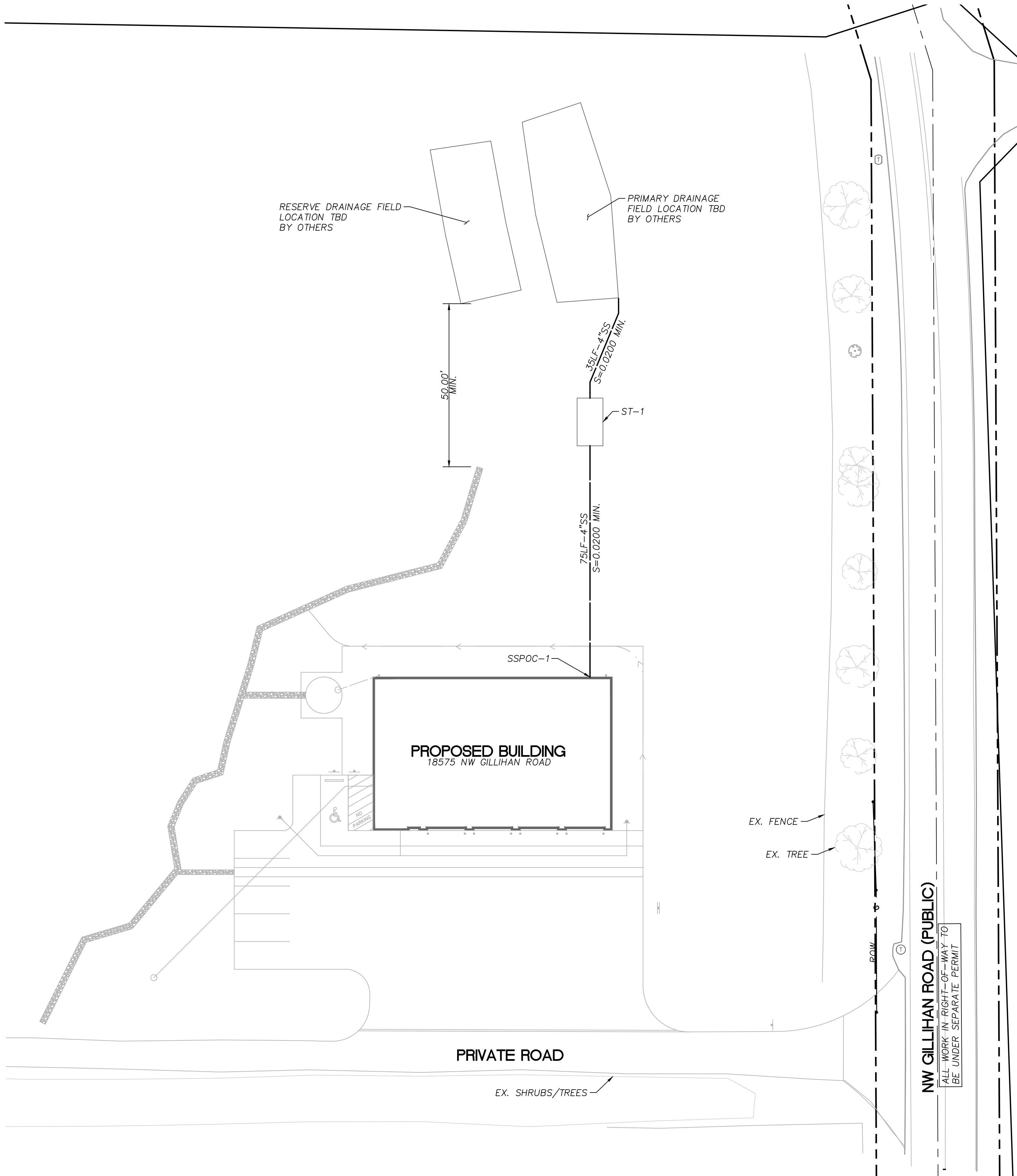
PROJECT NO.:	PWS001	REV.	DATE	DESCRIPTION	BY
DRAWN BY:	CCM				
DESIGN BY:	CCM				
REVIEWED BY:	DJH				
DATE:	10/02/2025				

SHEET NO.

# C301

UTILITY PLAN -  
PHASE 1

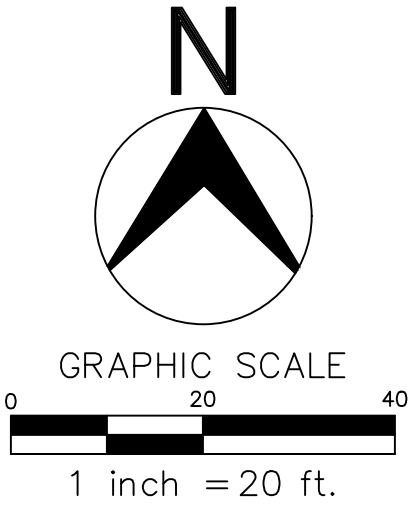




UTILITY PLAN - PHASE 2  
SCALE: 1"=20'

SHEET LEGEND		
ITEM	DESCRIPTION	REFERENCE
SS	SANITARY SEWER	
	SEPTIC TANK	

SANITARY SEWER SCHEDULE		
ITEM	DESCRIPTION	REFERENCE
SSPOC-1	SANITARY SEWER POINT OF CONNECTION, SIZE=4", IE=FF-3.5', FOR BUILDING SEWER SEE P-SHTS. PLUMBING IS DEFERRED SUBMITTAL. CONTRACTOR TO VERIFY CIVIL POC AND PLUMBING POC MATCH. NOTIFY ENGINEER IF DISCREPANCY OCCURS.	
ST-1	SEPTIC TANK, SIZE TBD BY OTHERS RIM=XXXX IE IN=XXXX IE OUT=XXXX CONTRACTOR TO VERIFY WITH SEPTIC DESIGN AND SUPPLIER CUT SHEET. CONFIRM WITH CIVIL ENGINEER AND SEPTIC DESIGNER PRIOR TO INSTALL.	



**Humber Design Group, Inc.**  
Civil Engineering  
503.946.6690  
hdgpdx.com

REGISTERED PROFESSIONAL ENGINEER  
18684  
OREGON  
DAVID J. HUMBER  
EXPIRES 6-30-27

**LAND USE**

**SAUVIE FIRE STATION**  
18575 NW GILLIHAN ROAD  
PORTLAND, OR

REV.	DATE	DESCRIPTION	BY

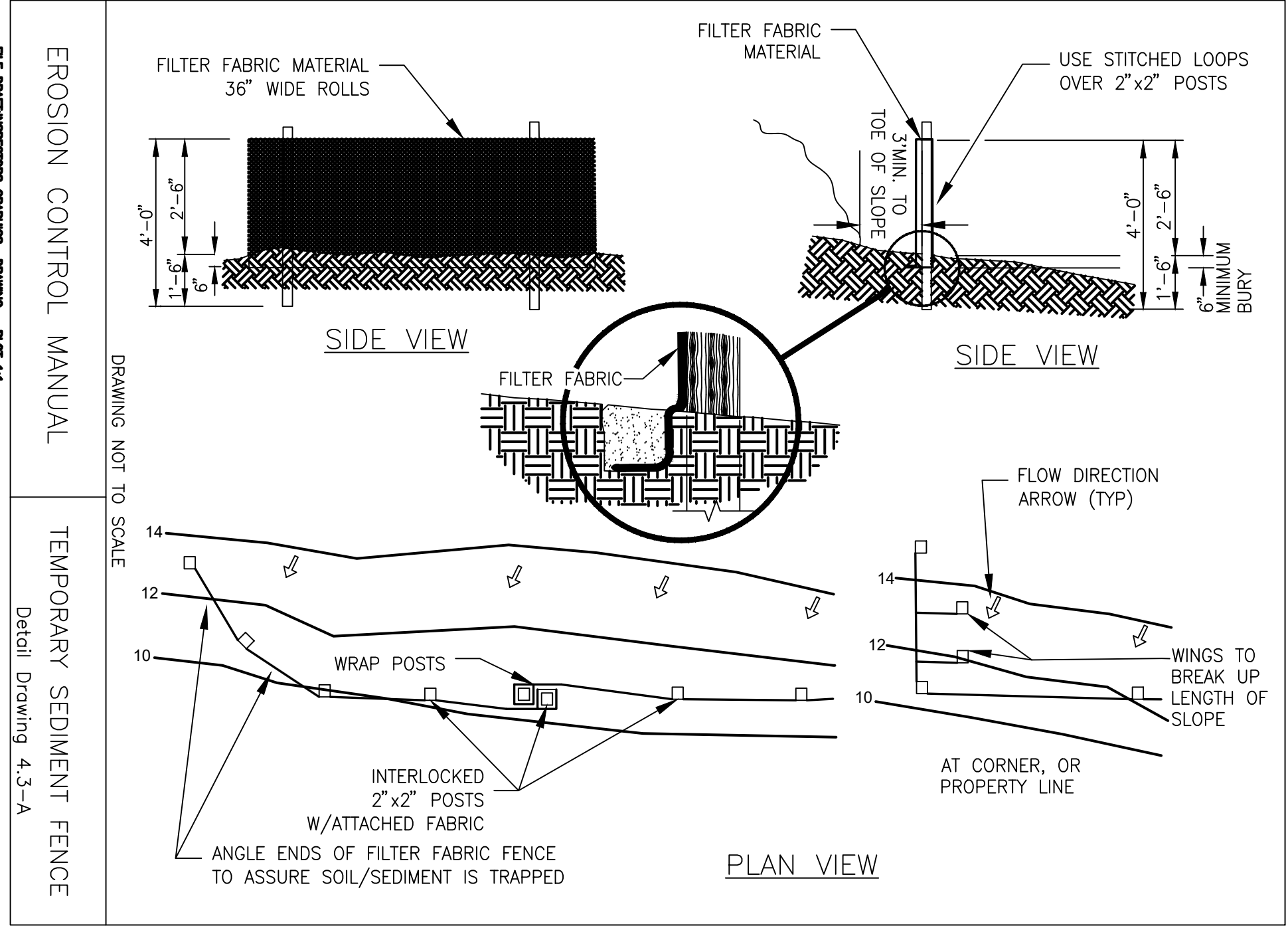
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DRAWN BY: CCM  
DESIGN BY: CCM  
REVIEWED BY: DJH  
DATE: 10/02/2025

SHEET NO.

**C302**

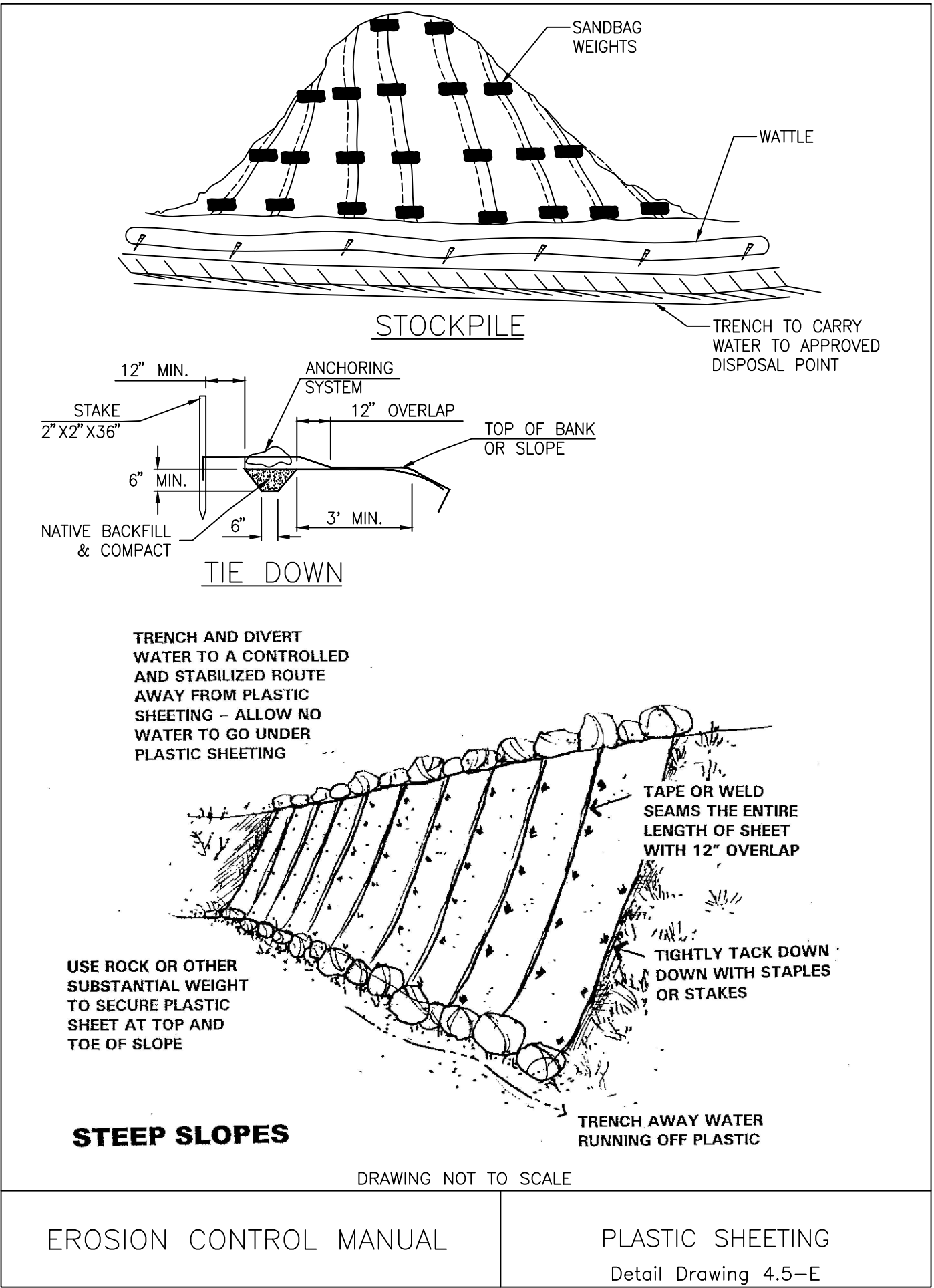
UTILITY PLAN - PHASE 2





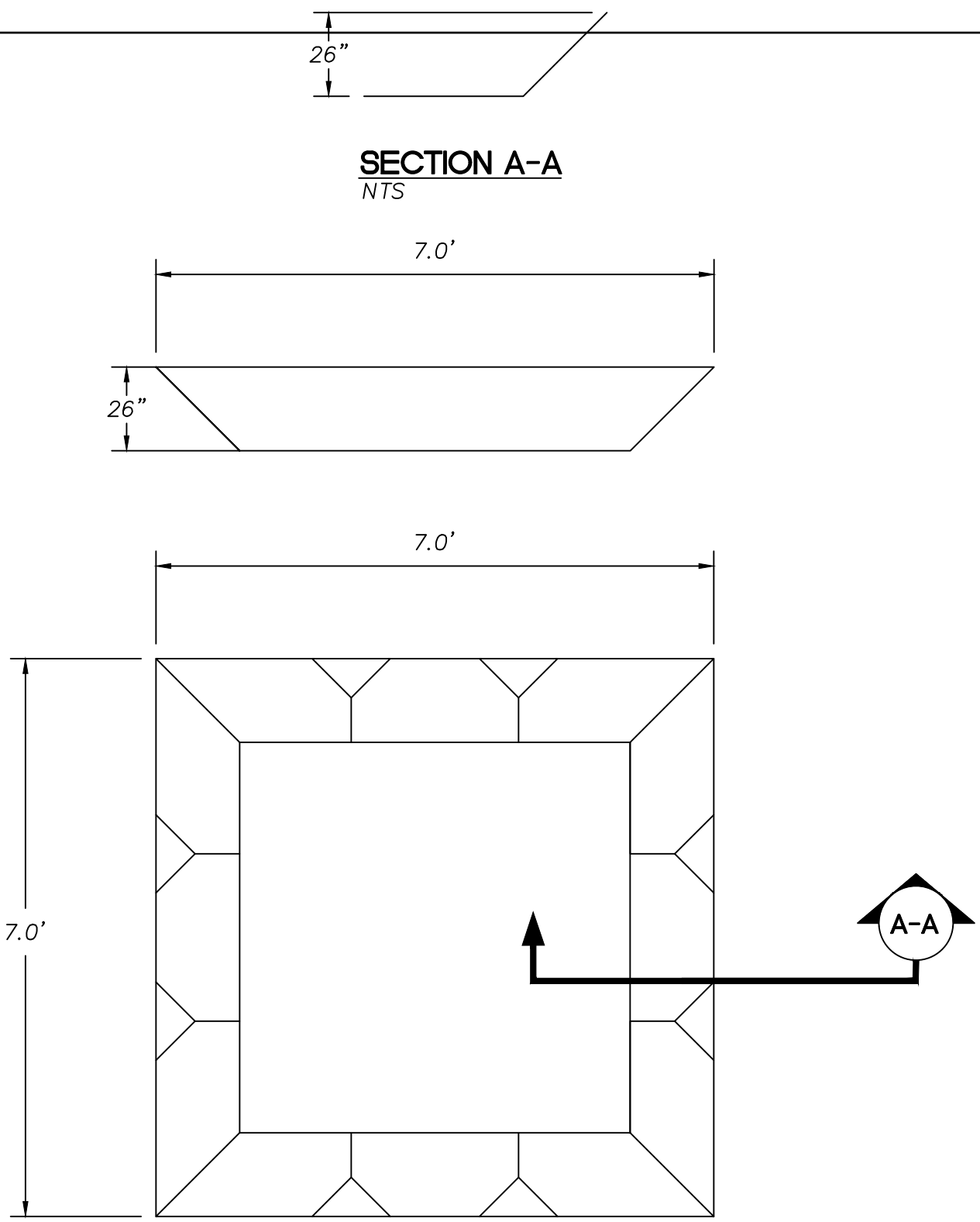
6 SEDIMENT FENCE

NTS



5 STOCK PILE - PLASTIC SHEETING

NTS

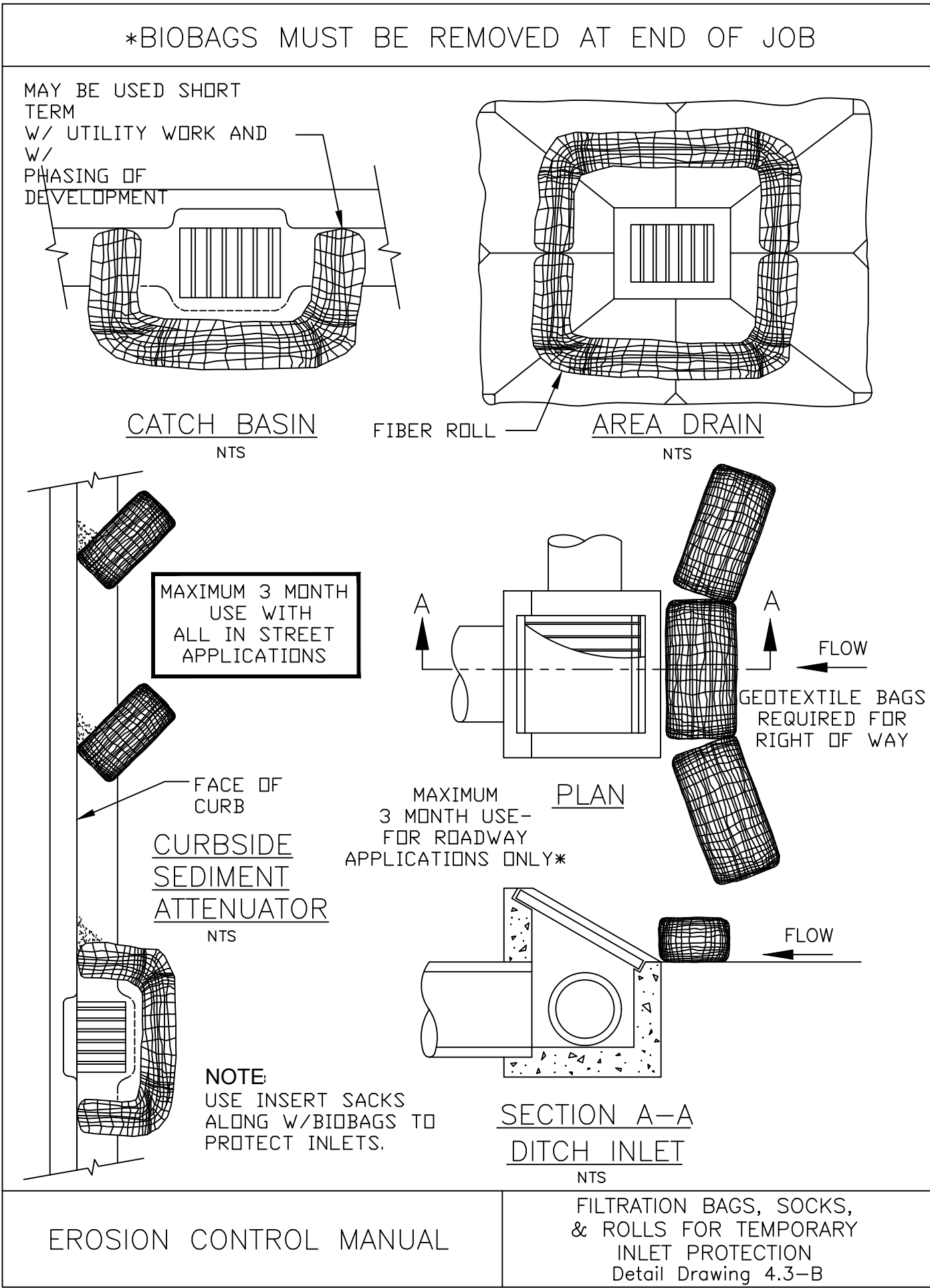


NOTE:

1. 7"x7"x26", 600 GALLON CAPACITY ECO PAN AS MANUFACTURED BY ECO-PAN(R), OR APPROVED EQUAL.

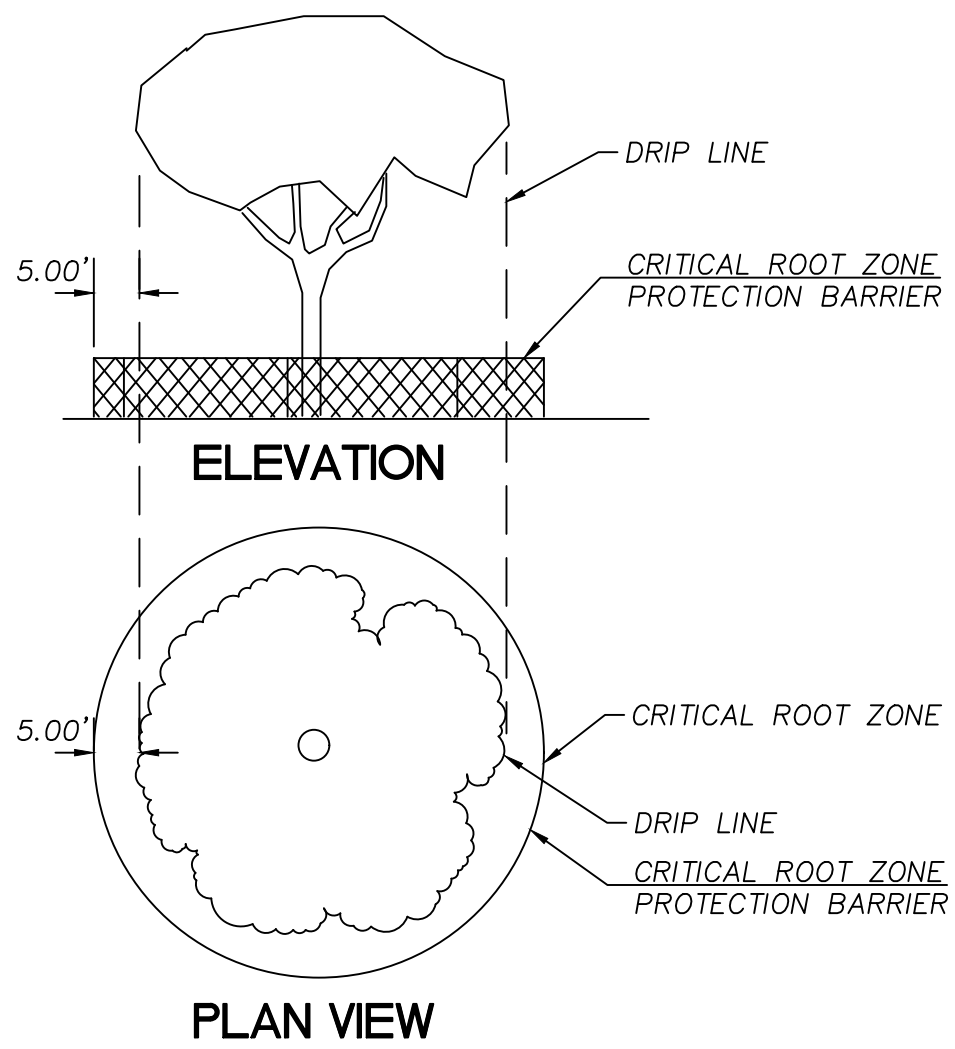
4 CONCRETE WASHOUT

NTS



3 BIOFILTER BAGS

NTS

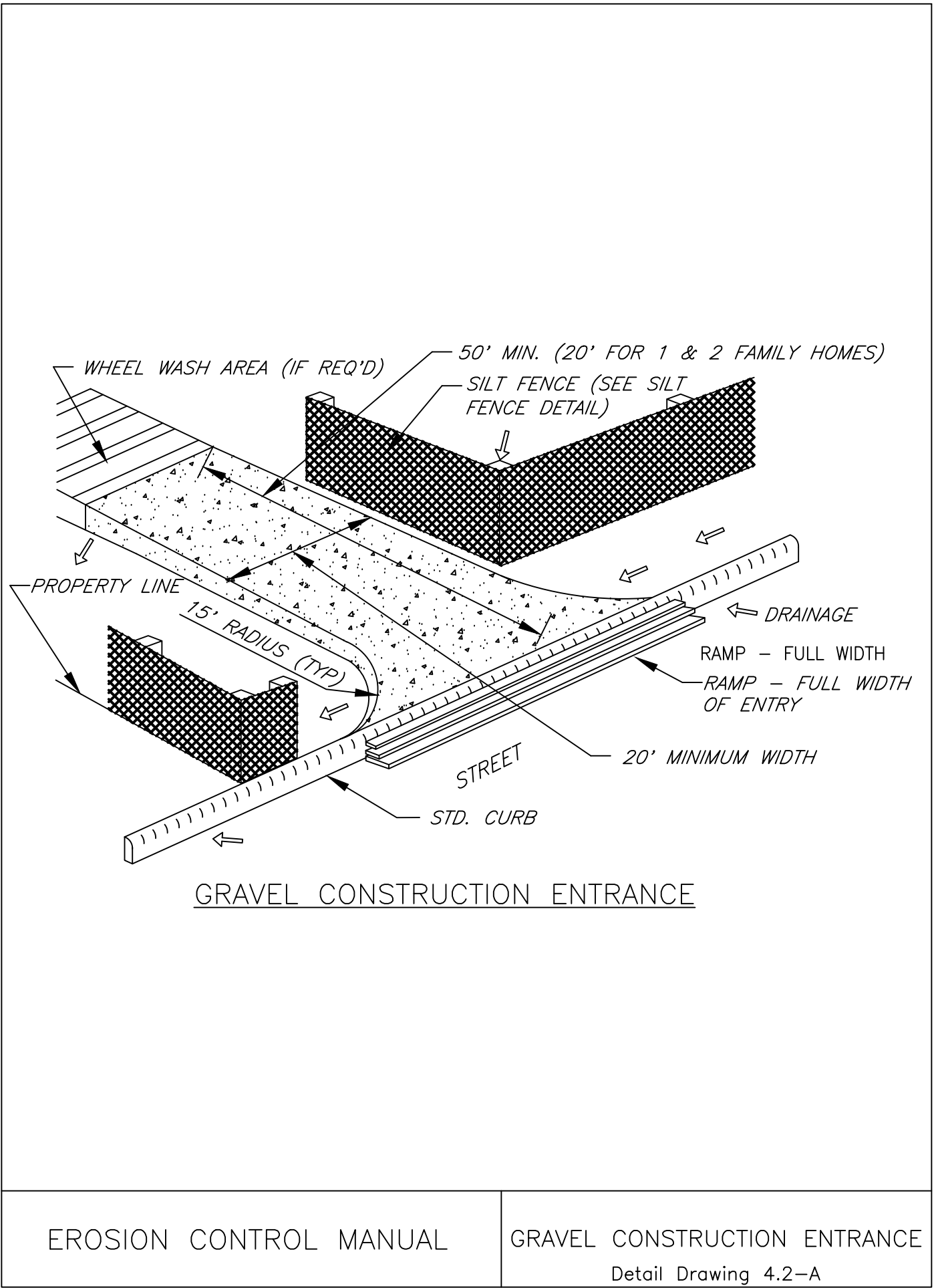


NOTES:

1. THE ROOT PROTECTION ZONE IS A MINIMUM OF 1 FOOT FOR EVERY 1 INCH OF TREE DIAMETER.
2. AT THE PERIMETER OF THE ROOT PROTECTION ZONE, THERE MUST BE A 4 FT TALL ORANGE PLASTIC OR SNOW FENCE, SECURED TO A 6FT TALL METAL POST. SEE LANDSCAPE AND ARBORIST FOR SPECIFIC SITE INSTALLATION METHOD AND REQUIREMENT.

2 TREE PROTECTION FENCING

NTS



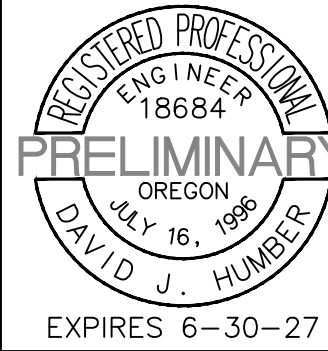
1 TEMPORARY GRAVEL CONSTRUCTION ENTRANCE

NTS



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LAND USE

SAUVIE FIRE STATION  
18575 NW GILLIHAN ROAD  
PORTLAND, OR

REV.	DATE	DESCRIPTION	BY

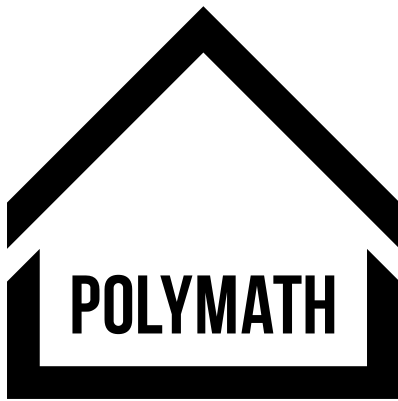
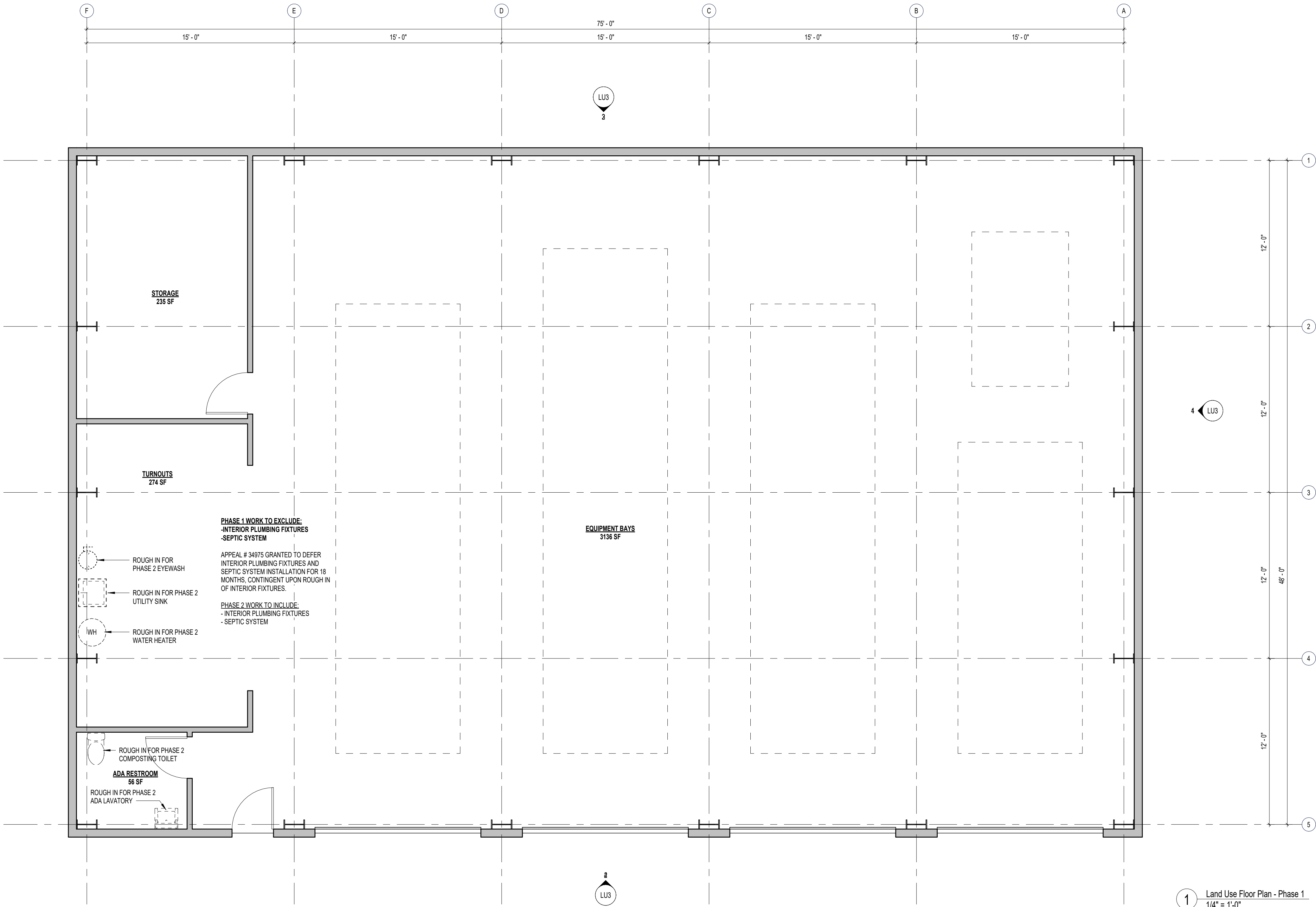
PROJECT NO.: PMS001	DESIGN BY: CCM	REVIEWED BY: DJH	DATE: 10/02/2025
DRAWN BY: CCM	DESIGN BY: CCM	REVIEWED BY: DJH	DATE: 10/02/2025

SHEET NO.

C401

CIVIL DETAILS





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Portland, Oregon 97202  
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## SAUVIE ISLAND SATELLITE FIRE STATION

18575 NW Gillham Rd  
Portland, Oregon 97231  
Client: Sauvie Island Fire District

### Revisions

Revision #	Revision Date

30 September 2025

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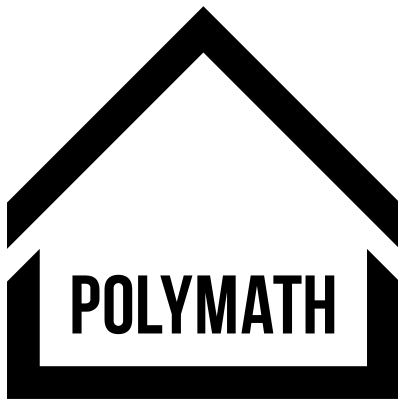
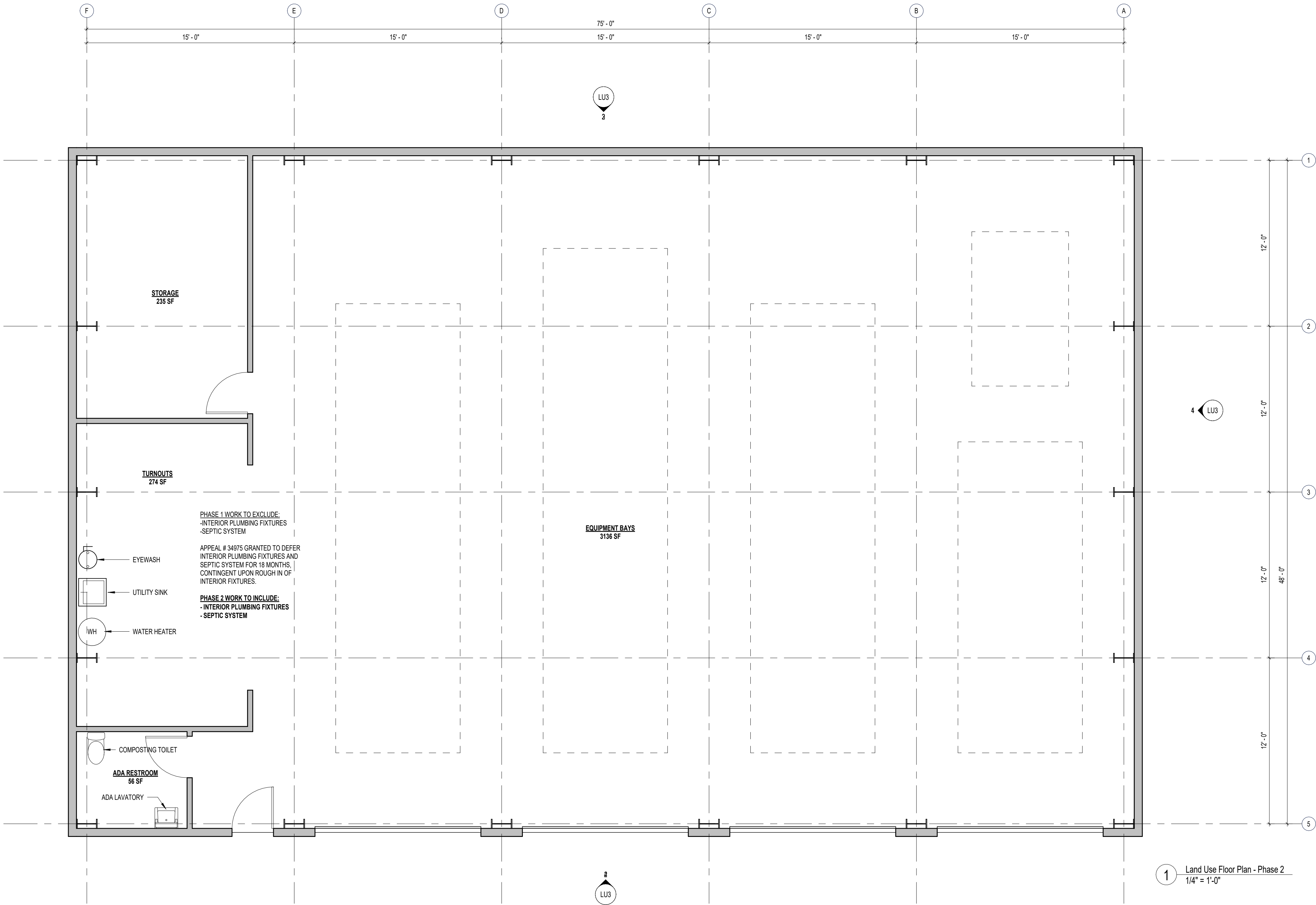
LU Floor Plan - Phase 1

1/4" = 1'-0"

# LU1







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Portland, Oregon 97202  
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## SAUVIE ISLAND SATELLITE FIRE STATION

18575 NW Gilligan Rd  
Portland, Oregon 97231  
Client: Sauvie Island Fire District

### Revisions

Revision #	Revision Date

30 September 2025

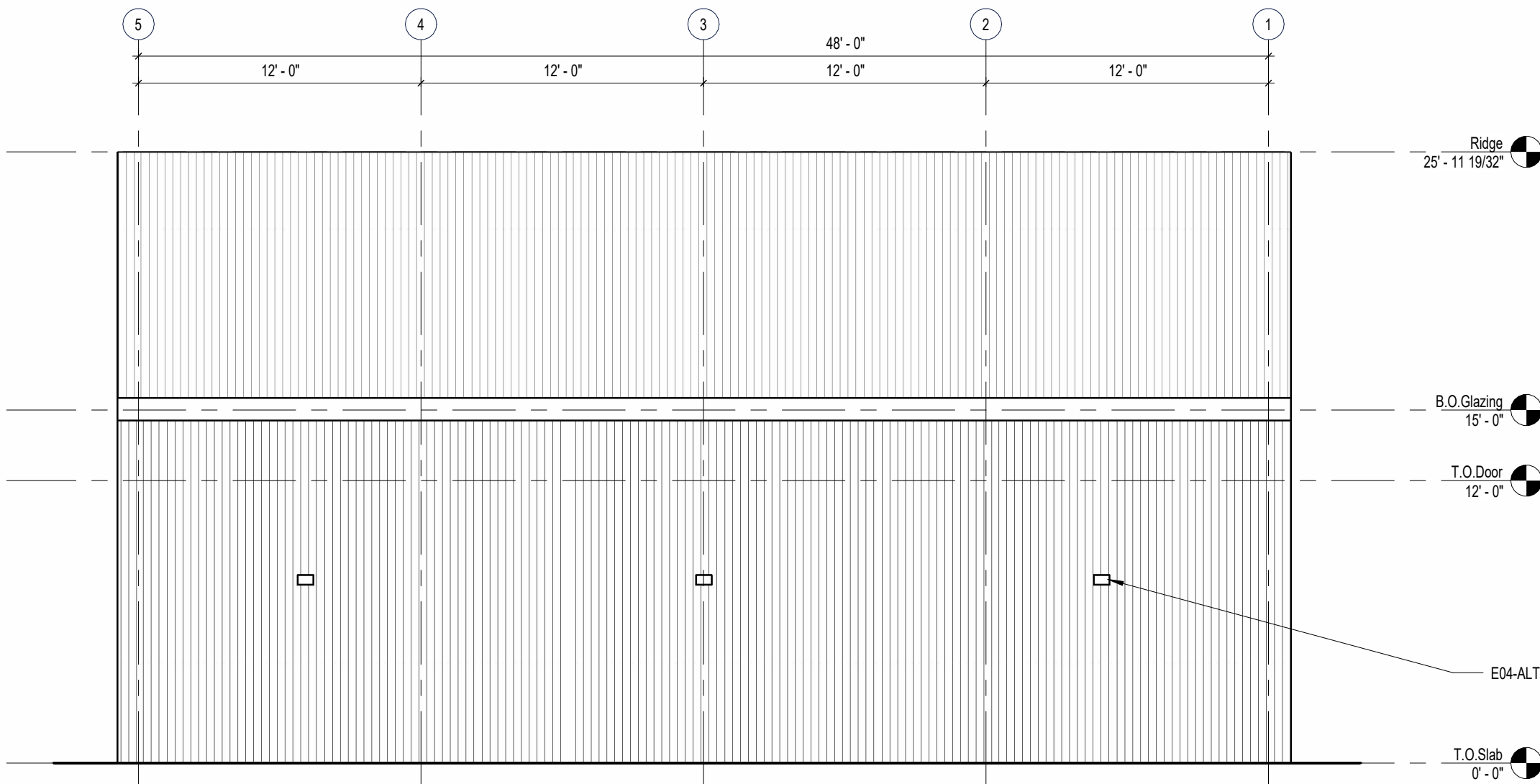
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LU Floor Plan - Phase  
2

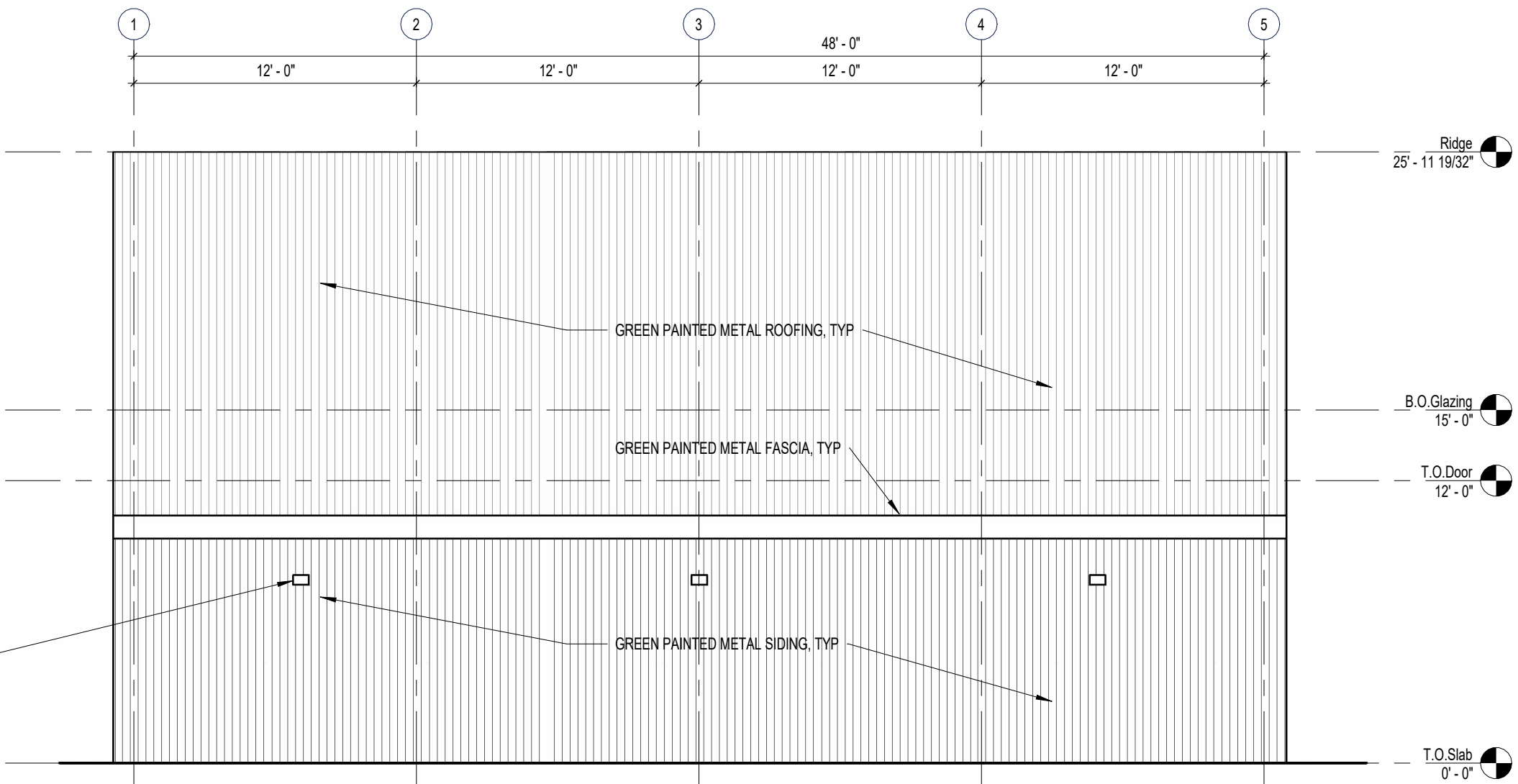
1/4" = 1'-0"

LU2

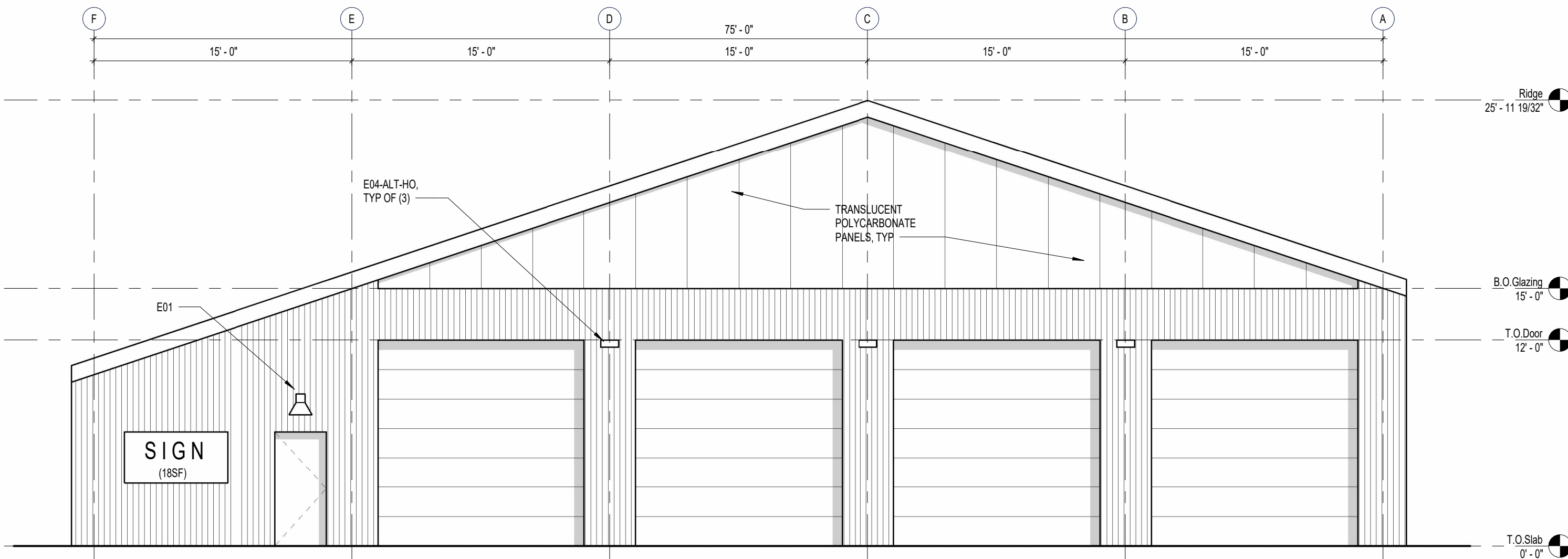




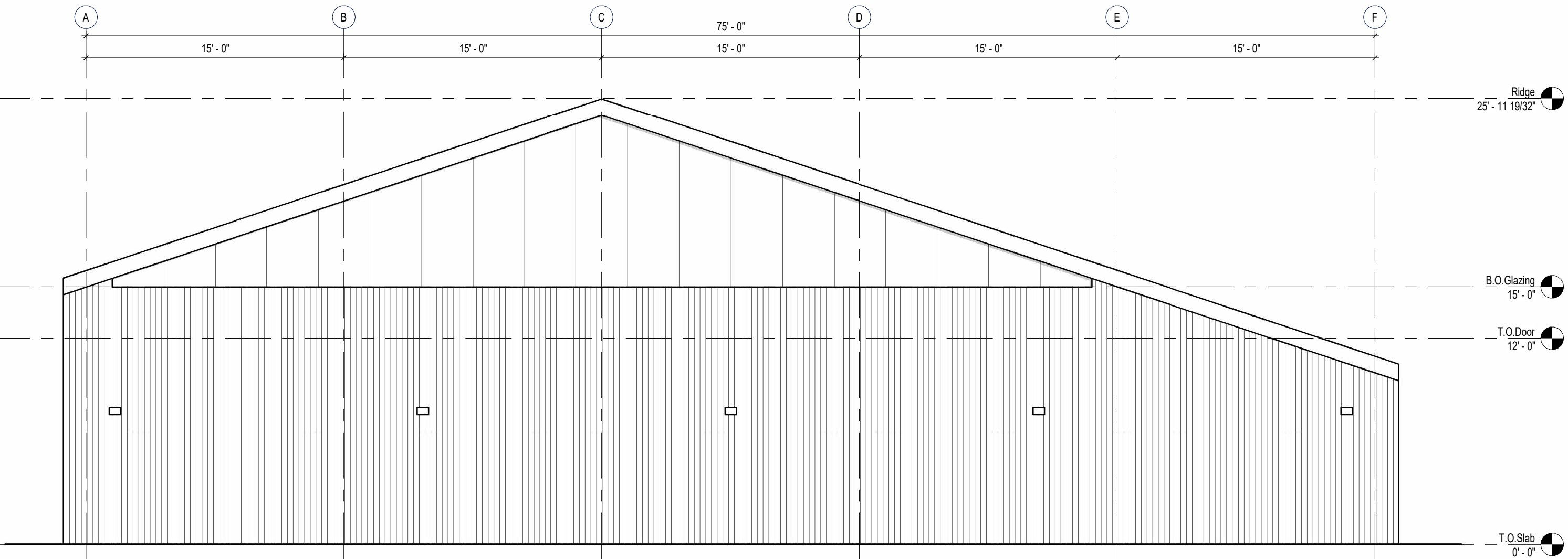
4 Exterior Elevation - East  
3/16" = 1'-0"



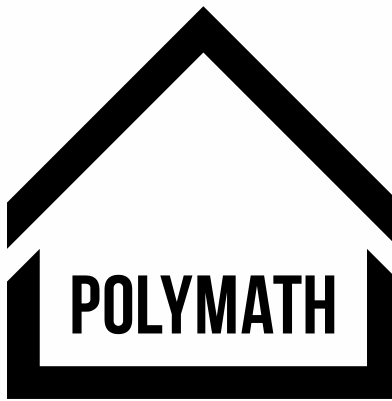
1 Exterior Elevation - West  
3/16" = 1'-0"



2 Exterior Elevation - South  
3/16" = 1'-0"



3 Exterior Elevation - North  
3/16" = 1'-0"



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SAUVIE ISLAND SATELLITE FIRE STATION

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Revisions

Revision #	Revision Date

30 September 2025

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LU Exterior Elevations

3/16" = 1'-0"

LU3