

NOTICE OF DECISION



www.multco.us/landuse ▪ Email: land.use.planning@multco.us ▪ Phone: (503) 988-3043

Application for Geologic Hazards (GH) and Significant Wildlife Habitats (SEC-h) permits for a New Dwelling and Driveway

Case File: T2-2026-0010

Applicant: Stephen Kaplan

Proposal: Request for Geologic Hazards (GH) and Significant Wildlife Habitats (SEC-h) permits to construct a new single-family dwelling and new driveway. The GH permit will address the development of the driveway within the GH overlay, and the SEC-h permit addresses the construction of the dwelling within the SEC-h overlay. No development is proposed in the Significant Streams (SEC-s) overlay.

Location: 12465 NW Germantown Rd., Portland

Property ID # R530673

Map, Tax lot: 1N1W10C -01902

Alt. Acct. # R649823340

Base Zone: Rural Residential (RR)

Overlays: Significant Wildlife Habitat (SEC-h), Significant Streams (SEC-s), Geologic Hazard (GH)

Decision: Approved with Conditions

This decision is final at the close of the appeal period, unless appealed. The deadline for filing an appeal is August 17, 2026 at 4:00 pm.

Opportunity to Review the Record: The complete case file and all evidence associated with this application is available for review by contacting LUP-comments@multco.us. Paper copies of all documents are available at the rate of \$0.71/page.

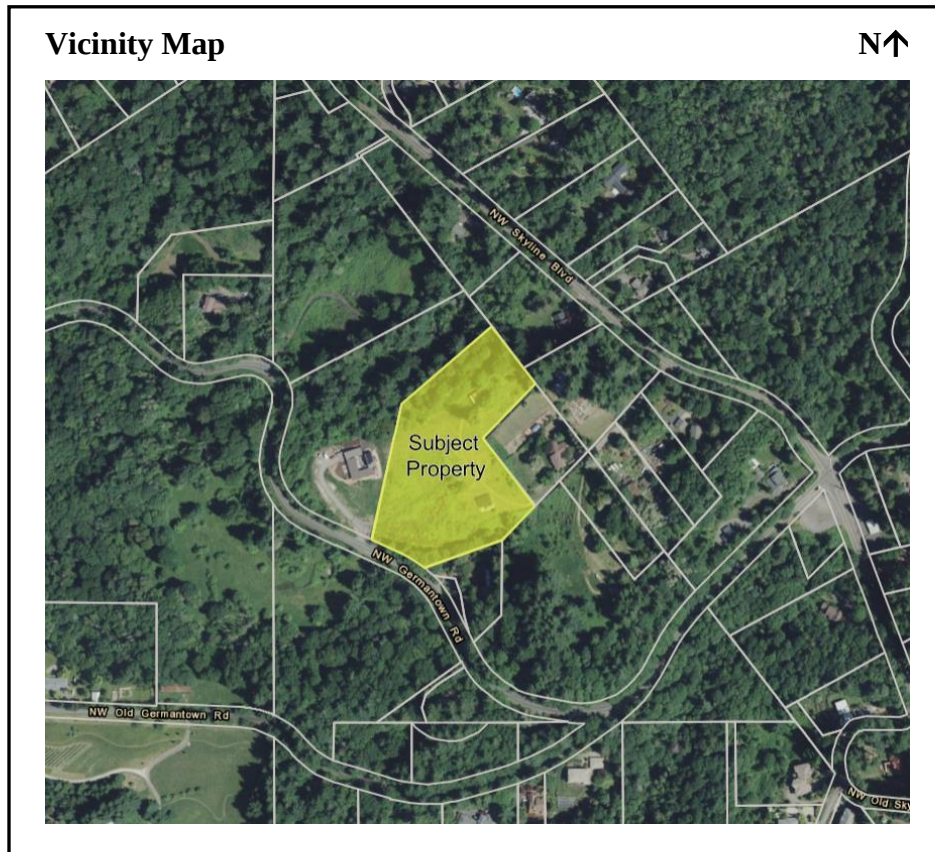
Opportunity to Appeal: The appeal form is available at www.multco.us/landuse/application-materials-and-forms. Email the completed appeal form to LUP-submittals@multco.us. An appeal requires a \$250.00 fee and must state the specific legal grounds on which it is based. This decision is not appealable to the Land Use Board of Appeals until all local appeals are exhausted

Issued by: _____
Anna Shank-Root, Planner

For: Megan Gibb,
Planning Director

Date: August 3, 2026

Instrument Number for Recording
Purposes: #2025-060548



Applicable Approval Criteria:

Multnomah County Code (MCC): General Provisions: MCC 39.1250 Code Compliance and Applications, MCC 39.2000 Definitions, MCC 39.6235 Stormwater Drainage Control, MCC 39.6850 Dark Sky Lighting Standards

Lot of Record: MCC 39.3005 Lot of Record – Generally, MCC 39.3090 Lot of Record – Rural Residential (RR)

Rural Residential (RR): MCC 39.4360 Allowed Uses - MCC 39.4375 Dimensional Requirements and Development Standards

Geologic Hazard (GH): MCC 39.5075 Permits Required, MCC 39.5085 GH Permit Application Information Req., MCC 39.5090 GH Permit Standards, and MCC 39.6235 Stormwater Drainage Control

Significant Wildlife Habitat (SEC-h): MCC 39.5510 Permits Required, MCC 39.5540 SEC-h Permit Criteria

Copies of the referenced Multnomah County Code sections are available by visiting <https://www.multco.us/landuse/zoning-codes> under the link **Chapter 39: Multnomah County Zoning Code** or by contacting our office at (503) 988-3043.

Permit Expiration

This land use permit shall expire two (2) years after the date of the final decision, unless the use or development was established according to all specifications and conditions of approval in the land use approval. [MCC 39.1185(A)] Expiration of an approval means that a new application is required for uses that are not established during the approval period.

The property owner may request to extend the timeframe within which this permit is valid, as provided under MCC 39.1195, as applicable. The request for a permit extension must be submitted prior to the expiration of the approval period.

Conditions of Approval

The conditions listed are necessary to ensure that approval criteria for this land use permit are satisfied. Where a condition relates to a specific approval criterion, the code citation for that criterion follows in parenthesis.

Approval of this land use permit is based on the submitted written narrative(s) and plan(s). No work shall occur under this permit other than that which complies with this approval and is consistent with supporting documents. It shall be the responsibility of the property owner(s) to comply with these documents and the limitations of approval described herein. [MCC 39.1170(B)]

Prior to beginning construction of the driveway, the property owner(s), their agent(s), or their representative(s) shall complete the following actions:

1. Record pages 1 through 4 of this Notice of Decision with the County Recorder. The Notice of Decision shall run with the land. Proof of recording shall be made prior to the issuance of any permits and shall be filed with the Land Use Planning Division. Recording shall be at the applicant's expense. Please email the recorded document to anna.shank-root5@multco.us [MCC 39.1175].
2. Acknowledge in writing that they have read and understand the conditions of approval and intend to comply with them. A Letter of Acknowledgement has been provided to assist you. Please email the signed document to anna.shank-root5@multco.us. [MCC 39.1170(A) & (B)].
3. Ensure that all Erosion and Sediment Control measures as shown in Exhibit A.8 or otherwise approved by Land Use Planning staff are installed. [MCC 39.5090(R)]
4. Request an Erosion Control Inspection prior to the start of development once all Erosion Control Measures are installed. [MCC 39.5090(R)]

Prior to beginning construction of the dwelling, the property owner(s), their agent(s), or their representative(s) shall complete the following actions:

5. Obtain Zoning Plan Review approval from Multnomah County Land Use Planning. When submitting this request, the applicant must provide the following:
 - a. A detailed planting plan the following elements at the time of zoning plan review:
 - i. A list of all plant varieties proposed as mitigation plantings. All varieties must be included on the Metro Native Plant List. [MCC 39.5540(D)(3)(d)(i)]
 - ii. The proposed location and spacing of the minimum 218 trees and 218 shrubs to be planted. Mitigation areas must located on the same Lot of Record as the development area and entirely within the SEC-h overlay. Mitigation areas should located first in cleared areas adjacent to forested areas before other locations on the property are selected [MCC 39.5540(D)(1), (3)(d)(ii) and (iii)]

- b. An Erosion Control Plan for the Ground Disturbing Activity associated with the Dwelling that includes the following:
 - a. Boundaries of the ground disturbance for the dwelling and septic system
 - b. Location and quantities of the proposed fill and removal for the dwelling and septic system.
 - c. Location of all Erosion Control measures for the house site
 - d. The location and height of unsupported finished slopes that have not already been shown on the Driveway Grading Plan (Exhibit A.8).
 - e. If a stockpiling location is identified outside of the development area and located within 200 feet of a water body, please show the location of the stockpile and proposed erosion control measures. [MCC 39.5090(S)]

Permit limitations and requirements for ground disturbance that is authorized by this permit:

- 6. The property owner(s), their agent(s), or their representative(s) are limited to the following ground disturbance scope:
 - a. Authorized ground disturbance footprint:
 - i. Up to 35,000 square feet of ground surface area may be disturbed to accommodate the single-family dwelling, septic, driveway and stormwater facilities as described in and shown in Exhibit A.8. [MCC 39.5085(B) and MCC 39.5090(A)]
 - b. Authorized cut/excavation quantities
 - i. Up to 3,300 cubic yards of earth materials is allowed to be cut for the driveway construction as described in and shown in Exhibit A.8. [MCC 39.5085(B) and MCC 39.5090(A)]
 - ii. This permit also authorizes up to 1,090 cubic yards of cut for the construction of the dwelling. Review of an Erosion Control Plan for the dwelling is outlined in Condition 5.b. Cut and fill for the dwelling will be evaluated by the Erosion and Sediment Control permit criteria of MCC 39.6225 as it is located outside of the Geologic Hazards overlay on sloped less than 25%.
 - c. Authorized fill/import quantities:
 - i. Up to 1,075 cubic yards of fill is allowed to be deposited on the site for driveway development as described in and shown in Exhibit A.8. [MCC 39.5085(B) and MCC 39.5090(A)]
 - d. All fill used in this project must be composed of earth materials as defined in MCC 39.2000. [MCC 39.5090(B)]
 - e. For fill imported to the subject property, the earth material shall meet the requirements of the Oregon DEQ clean fill criteria and shall not contain putrescible wastes, construction and demolition wastes, hazardous waste and/or industrial solid wastes. [MCC 39.5090(B)]
 - f. No compensation, monetary or otherwise, shall be received by the property owner for the receipt or placement of fill. [MCC 39.5090(Y)]

Prior to and during development, the property owner(s) or their representatives shall ensure that:

- d. Temporary vegetation and/or mulching is used to protect disturbed areas and bare soils during development as shown in Exhibit A.8. [MCC 39.5090(J)]

- e. All permanent plantings and any required structural erosion control and drainage measures are installed as soon as practical. [MCC 39.5090(L)]
- f. Pollution associated with construction such as pesticides, fertilizers, petrochemicals, solid wastes, construction chemicals, or wastewaters is prevented from leaving the construction site through proper handling, disposal, continuous site monitoring and clean-up activities. [MCC 39.5090(T)]
- g. Fill trucks are managed in such a way that prevents any material from escaping from the vehicle. No fill shall be tracked or discharged in any manner onto any public right-of-way. [MCC 39.5090(X)]
- h. All work areas are flagged, fenced, or otherwise marked, and that markings are maintained through all phases of development [MCC 39.5540(E)(2)].
- i. Trees are not used as anchors for stabilizing construction equipment. [MCC 39.5540(E)(3)]
- j. The applicant must request a final Erosion Control Inspection prior to issuance of the Certificate of Occupancy to verify that all permanent stabilization has been installed and there are no ongoing erosion concerns on the site. [MCC 39.6210(G)]

Mitigation, Monitoring and Reporting Responsibilities.

- a. Remove any nuisance and invasive nonnative plants within the mitigation area prior to planting. [MCC 39.5540(E)(5)]
- b. Document Restoration Installation – Within one year of the approval of this application, please provide documentation to Land Use Planning that mitigation plantings have been installed [MCC 39.5540(E)(4)]
- c. Provide Annual Condition Reports for a 5-Year Period – For 5 years following initial planting efforts, provide a yearly report referencing this casefile, via email to LUP-submittals@multco.us outlining the condition of the plantings and if any modifications to the mitigation plan are necessary.

Note: Please include thorough and clear information about the plantings and site conditions, including but not limited to a narrative description of conditions, photographs, information on maintenance, and the health of the plants. Any proposed modifications to the mitigation plan require written approval by Multnomah County Land Use Planning. Failure of vegetation to be maintained in a healthy growing state shall require continued monitoring and failure to submit monitoring reports may result in enforcement actions. [MCC 39.5540(E)(6)]

As an on-going condition, the applicant must maintain a code compliant stormwater drainage control system for the life of the dwelling. [MCC 39.4375(F)]

Notice to Mortgagee, Lien Holder, Vendor, or Seller:

ORS Chapter 215 requires that if you receive this notice it must be promptly forwarded to the purchaser.

Findings of Fact

FINDINGS: Written findings are contained herein. The Multnomah County Code (MCC) criteria and Comprehensive Plan Policies are in **bold** font. Staff analysis and comments are identified as ‘**Staff:**’ and address the applicable criteria. Staff comments may include a conclusionary statement in *italic*.

1.0 Project Description:

Staff: Request for Geologic Hazards (GH) and Significant Wildlife Habitats (SEC-h) permits to construct a new single-family dwelling and new driveway. The GH permit will address the development of the driveway within the GH overlay, and the SEC-h permit addresses the construction of the dwelling within the SEC-h overlay. No development is proposed in the Significant Streams (SEC-s) overlay.

2.0 Property Description & History:

Staff: This application is for 12465 NW Germantown Rd, Portland. The subject property is located on the northeast side of NW Germantown in unincorporated west Multnomah County outside of Metro’s Urban Growth Boundary (UGB). The subject property is zoned Rural Residential and is located partially within the Significant Streams (SEC-s) and Geologic Hazard (GH) overlays, and completely within the Significant Wildlife Habitats (SEC-h) overlay.

Aerial images and the applicant’s submitted materials indicate that there are two existing outbuildings on the subject property.

3.0 Public Comment:

Staff: Staff mailed a notice of application and invitation to comment on the proposed application to the required parties pursuant to MCC 39.1105 (Exhibit C.4). Staff received one (1) public comment during the 14-day comment period.

3.1 If there are comments, they should be formatted as follows: Edward Gidlow, property owner and resident at 12485 NW Germantown Road, provided written comment via email on June 22, 2026 (Exhibit D.1).

Staff: Commenter expressed concerns about development of a retaining wall on his property. Staff has verified that the applicant has provided an easement agreement for the area in which they are proposing engineered grading and development for driveway access to the site (Exhibit A.7). Section 2.3 of the provided easement states that “In connection with the development of Lot 1901 or the development of 1902, Grantor or Grantee, respectively, shall have the right to enter upon the easement property for purposes of constructing any improvements to the easement driveway that are required by Multnomah County.” The easement language was sufficient for the County to review and approve the applicant’s requested land use permits. [MCC 39.1115].

4.0 Code Compliance and Applications Criteria:

4.1 § 39.1250 CODE COMPLIANCE AND APPLICATIONS.

Except as provided in subsection (A), the County shall not make a land use decision approving development, including land divisions and property line adjustments, or issue a building permit or zoning review approval of development or any other approvals

authorized by this code for any property that is not in full compliance with all applicable provisions of the Multnomah County Zoning Code and/or any permit approvals previously issued by the County.

(A) A permit or other approval, including building permit applications, may be authorized if:

*** * ***

Staff: This standard provides that the County shall not make a land use decision approving development for a property that is not in full compliance with County Code or previously issued County approvals, except in the following instances: approval will result in the property coming into full compliance, approval is necessary to protect public safety, or the approval is for work related to or within a valid easement.

A finding of satisfaction of this standard does not mean that a property is in full compliance with the Zoning Code and all prior permit approvals (and, accordingly, does not preclude future enforcement actions relating to uses and structures existing at the time the finding is made). Instead, a finding of satisfaction of this standard simply means that there is not substantial evidence in the record affirmatively establishing one or more specific instances of noncompliance. As such, an applicant has no initial burden to establish that all elements of the subject property are in full compliance with the Zoning Code and all previously approved permits; instead, in the event of evidence indicating or establishing one or more specific instances of noncompliance on the subject property, the applicant bears the burden to either rebut that evidence or demonstrate satisfaction of one of the exceptions in MCC 39.1250.

For purposes of the current application, there are no known open compliance cases associated with the subject property, and there is no evidence in the record of any specific instances of noncompliance on the subject property. *This criterion is met.*

5.0 Lot of Record Criteria:

5.1 MCC 39.3005 - LOT OF RECORD – GENERALLY.

(A) An area of land is a “Lot of Record” if it meets the standards in Subsection (B) of this Section and meets the standards set forth in this Part for the Zoning District in which the area of land is located.

(B) A Lot of Record is a parcel, lot, or a group thereof that, when created or reconfigured, either satisfied all applicable zoning laws and satisfied all applicable land division laws, or complies with the criteria for the creation of new lots or parcels described in MCC 39.9700. Those laws shall include all required zoning and land division review procedures, decisions, and conditions of approval.

*** * ***

Staff: The subject property is Parcel 2 of the Partition Plan 2002-084 (Exhibit B.3) and remains in its original configuration. *Criterion met.*

6.0 Rural Residential (RR) Criteria:

6.1 MCC 39.4375 DIMENSIONAL REQUIREMENTS AND DEVELOPMENT STANDARDS.

(C) Minimum Yard Dimensions – Feet

Front	Side	Street Side	Rear
30	10	30	30

Maximum Structure Height – 35 feet

Minimum Front Lot Line Length – 50 feet.

- (1) **Notwithstanding the Minimum Yard Dimensions, but subject to all other applicable Code provisions, a fence or retaining wall may be located in a Yard, provided that a fence or retaining wall over six feet in height shall be setback from all Lot Lines a distance at least equal to the height of such fence or retaining wall.**
- (2) **An Accessory Structure may encroach up to 40 percent into any required Yard subject to the following:**
 - (a) **The Yard being modified is not contiguous to a road.**
 - (b) **The Accessory Structure does not exceed five feet in height or exceed a footprint of ten square feet, and**
 - (c) **The applicant demonstrates the proposal complies with the fire code as administered by the applicable fire service agency.**
- (3) **A Variance is required for any Accessory Structure that encroaches more than 40 percent into any required Yard.**

Staff: The proposed single-family dwelling is approximately 60 feet from the nearest property line (rear) at its closes point, meeting all minimum yard requirements (Exhibit A.3). Elevation drawings indicate that the dwelling will be approximately 24’8” at its tallest point. *Criteria met.*

- (F) On-site sewage disposal, storm water/drainage control, water systems unless these services are provided by public or community source, shall be provided on the lot.**
- (1) **Sewage and stormwater disposal systems for existing development may be off-site in easement areas reserved for that purpose.**
 - (2) **Stormwater/drainage control systems are required for new impervious surfaces. The system shall be adequate to ensure that the rate of runoff from the lot for the 10 year 24-hour storm event is no greater than that before the development.**

Staff: The applicant has provided a completed Septic Review Certification (Exhibit A.10) verifying that the site design for the new single-family dwelling, associated driveway and new septic system appears to sufficiently accommodate the proposed septic system. The Sanitarian notes that a Septic Installation Permit is required prior to Building Permit Issuance.

A Stormwater and Drainage Control Certificate (Exhibits A.11 and A.12) completed by a registered engineer verified that installation of a gravel swale will convey stormwater from the proposed dwelling along the paved driveway and to a detention storage tank, which will contain flow control that will maintain pre-development discharge rates at the property line for a 10-year, 24-hour storm event. Transportation also reviewed and approved the Stormwater Drainage Control Certificate through TPR-2026-0012. Installation and maintenance of the stormwater system as shown in Exhibits A.11 and A.12 is a condition of approval. *As conditioned, this criterion is met.*

(H) All exterior lighting shall comply with MCC 39.6850.

Staff: The applicant has provided the location of outdoor lighting fixtures on pages 3.0 and 3.1 of Exhibit A.3, and provided the Model Numbers for the fixture to be utilized in Exhibit A.16, which are pictured here (figure 1). Staff has verified that these fixtures comply with MCC 39.6850. *This criterion is met.*

Figure 1: Proposed Outdoor Lighting Fixtures



7.0 Geologic Hazards (GH) Criteria:

7.1 § 39.5075 PERMIT REQUIRED.

Unless exempt under this code or authorized pursuant to a Large Fill permit, no development, or ground disturbing activity shall occur: (1) on land located in hazard areas as identified on the Geologic Hazards Overlay map, or (2) where the disturbed area or the land on which the development will occur has average slopes of 25 percent or more, except pursuant to a Geological Hazards permit (GH).

Staff: The applicant is proposing a new single-family dwelling, driveway, septic system, and stormwater drainage control facilities. The single-family dwelling and septic system are located outside of the GH overlay, while the majority of the driveway and the stormwater drainage facilities are located within the mapped GH overlay. For the portions of the proposed development in the GH overlay, the applicant is required to obtain a GH permit, which is discussed below.

7.2 § 39.5085 GEOLOGIC HAZARDS PERMIT APPLICATION INFORMATION REQUIRED.

An application for a Geologic Hazards Permit shall include two copies of each of the following:

(A) A scaled site plan showing the following both existing and proposed:

* * *

(B) Calculations of the total area of proposed ground disturbance (square feet), volume of proposed cut (cubic yards) and fill (cubic yards), total volume of fill that has been deposited on the site over the 20-year period preceding the date of application, and existing and proposed slopes in areas to be disturbed (percent slope). Such calculations are not required for fill physically supporting and/or protecting a structure or access road for essential and public facilities subject to earthquake or tsunami building code requirements of the Oregon Structural Specialty Code. For purposes of this subsection, the term “site” shall mean either a single lot of record or contiguous lots of record under same ownership, whichever results in the largest land area.

(C) Written findings, together with any supplemental plans, maps, reports or other information necessary to demonstrate compliance of the proposal with all applicable provisions of the Geologic Hazards standards in MCC 39.5090. Necessary reports, certifications, or plans may pertain to: engineering, soil characteristics, stormwater drainage control, stream protection, erosion and sediment control, and replanting. The written findings and supplemental information shall include:

* * *

Staff: The applicant has provided all the required application information as Exhibits A.1 to A.16. The plans show the location of the proposed buildings, structures, and private driveway. A GHP

Form-1 and Report was provided that was prepared and certified by registered engineers at Certerra Northwest LLC (Exhibits A.4 and A.5). A Septic Review Certification and a Stormwater Drainage Control Certificate were also provided as Exhibits A.10 through A.12.

In reviewing the development, Adam Reese, RG, CEG, “certifies that the site is suitable for the proposed development” (Exhibit A.5). The plans and reports indicate that the proposed ground disturbance will be approximately 35,000 square feet to accommodate the single-family dwelling, septic system, driveway and stormwater facilities. The engineered driveway grading plans indicate that the volume of the proposed cut for the driveway will be approximately 3,300 cubic yards and fill proposed to be imported to the site will be approximately 1,075 cubic yards, resulting in a net cut on the site of approximately 2,225 cubic yards of material (Exhibits A.5 and A.8). The applicant has also indicated that approximately an additional 1,090 cubic yards of cut will be required to accommodate the single-family dwelling, which is located outside of the mapped Geologic Hazard overlay (Exhibits A.2 and A.3). *Application requirements met.*

7.3 § 39.5090 GEOLOGIC HAZARDS PERMIT STANDARDS.

A Geologic Hazards (GH) permit shall not be issued unless the application for such permit establishes compliance with MCC 39.6210 and satisfaction of the following standards:

Staff: Findings of this permit satisfies the requirement for development to be compliant with MCC 39.6210(A), and this permit does not exempt the applicant from obtaining any required permits from other jurisdictions. As required by MCC 39.6210(C), the ground disturbance associated with the dwelling, accessory structures, and private driveway is reviewed as an Allowed Use under MCC 39.4360(A) and (F). The ground disturbing activities are in support of a lawfully established use. As required by MCC 39.6210(D), the applicant provided a GHP Form-1 prepared and certified by Adam Reese, RG, CEG and a Geotechnical Report was prepared by Adam Reese, RG, CEG, Wail Hamid, PE, and Tyler Pierce, PE (Exhibits A.4 and A.5). The applicant has indicated that they understand their responsibility under MCC 39.6210(E). A performance bond per MCC 39.6210(F) is not required. Requirements of this permit must be satisfied prior to issuance of a certificate of occupancy. *Criteria met.*

(A) The total cumulative deposit of fill on the site for the 20-year period preceding the date of the application for the GH permit, and including the fill proposed in the GH permit application, shall not exceed 5,000 cubic yards. Fill physically supporting and/or protecting a structure or access road for essential and public facilities subject to earthquake or tsunami building code requirements of the Oregon Structural Specialty Code is not included in this 5,000 cubic yard calculation. For purposes of this provision, the term “site” shall mean either a single lot of record or contiguous lots of record under same ownership, whichever results in the largest land area.

Staff: The Geotechnical Report notes the apparent presence of previously placed fill on the subject property (see figures 5-7 and photos 1-2 in Exhibit A.4). While it is not possible to definitively determine when the fill was placed on the site, the maps, photographs, and observations by the engineers in their Geotechnical Report indicate that the existing chicken coop/south barn on the property was placed on top of the previously placed fill. The chicken coop/south barn appears on the County’s aerial photographs dating back to 1998, which indicates that the fill was likely placed on the property more than 20 years ago (Exhibit B.4). Since this permit proposes approximately 1,075 cubic yards of fill, and evidence points to fill placed previously on the site having been placed prior to 2006 (20 years prior to this application), *this criterion is met.*

(B) Fill shall be composed of earth materials only.

Staff: The applicant indicates in their Code Narrative (Exhibit A.2) that fill will be composed of earth materials only, and a condition of this approval has been added to this effect. *As conditioned, criterion met.*

(C) Cut and fill slopes shall not exceed 33 percent grade (3 Horizontal: 1 Vertical) unless a Certified Engineering Geologist or Geotechnical Engineer certifies in writing that a grade in excess of 33 percent is safe (including, but not limited to, not endangering or disturbing adjoining property) and suitable for the proposed development.

Staff: On their Geologic Hazards permit form (Exhibit A.5), Adam Reese, RG, CEG, certifies that all slopes will be 2:1 or less. *Criterion met.*

(D) Unsupported finished cuts and fills greater than 1 foot in height and less than or equal to 4 feet in height at any point shall meet a setback from any property line of a distance at least twice the height of the cut or fill, unless a Certified Engineering Geologist or Geotechnical Engineer certifies in writing that the cuts or fills will not endanger or disturb adjoining property. All unsupported finished cuts and fills greater than 4 feet in height at any point shall require a Certified Engineering Geologist or Geotechnical Engineer to certify in writing that the cuts or fills will not endanger or disturb adjoining property.

Staff: The proposed plans and Geotechnical Report indicate that there will not be unsupported slopes greater than 1 foot in height and less than or equal to 4 feet in height; therefore, this criterion is not applicable. *Criterion not applicable.*

(E) Fills shall not encroach on any water body unless an Oregon licensed Professional Engineer certifies in writing that the altered portion of the waterbody will continue to provide equal or greater flood carrying capacity for a storm of 10-year design frequency.

Staff: According to County GIS data, the nearest water bodies are two unnamed streams in the vicinity of the property, one that runs along the southeast property line and one that runs approximately 75 feet northwest of the northwest property line. All development is at least 200 feet away from both streams, and falls outside of the mapped SEC-s overlay that buffer both streams (Exhibit A.8). *Criterion met.*

(F) Fill generated by dredging may be deposited on Sauvie Island only to assist in flood control or to improve a farm's soils or productivity, except that it may not be deposited in any SEC overlay, WRG overlay, or designated wetland.

Staff: The proposed development does not include fill generated by dredging. *Criterion not applicable.*

(G) On sites within the Tualatin River drainage basin, erosion, sediment and stormwater drainage control measures shall satisfy the requirements of OAR 340-041-0345(4) and shall be designed to perform as prescribed in the most recent edition of the City of Portland Erosion and Sediment Control Manual and the City of Portland Stormwater Management Manual. Ground-disturbing activities within the Tualatin Basin shall provide a 100-foot undisturbed buffer from the top of the bank of a stream, or the ordinary high watermark

(line of vegetation) of a water body, or within 100-feet of a wetland; unless a mitigation plan consistent with OAR 340-041-0345(4) is approved for alterations within the buffer area.

Staff: The proposed development is located within the Tualatin River drainage basin, and must comply with the standard above. The applicant has provided an Erosion Control Plan, Geotechnical Report and Stormwater and Drainage Control Certificate and Report (Exhibits A.8, A.4 and A.11-A.11 respectively) that meet OAR 340-041-0345(4), and erosion control and stormwater management methods are noted in their materials to be designed according to the City of Portland manuals. No development is proposed within 100 feet of any stream, water body, or wetland. *This criterion is met.*

(H) Stripping of vegetation, ground disturbing activities, or other soil disturbance shall be done in a manner which will minimize soil erosion, stabilize the soil as quickly as practicable, and expose the smallest practical area at any one time during construction.

Staff: The driveway grading plan (Exhibit A.8) indicates a phased construction approach that will result in the smallest practical area being exposed at any one-time during construction. *Criterion met.*

(I) Development Plans shall minimize cut or fill operations and ensure conformity with topography so as to create the least erosion potential and adequately accommodate the volume and velocity of surface runoff.

Staff: Due to the steepness of slopes of the subject property, and recommendations from the Geotechnical Report (Exhibit A.4) that permanent cut and fill slopes should not exceed 2H:1V, the driveway design appears to balance the minimization of cut and fill with the incorporations of geotechnical recommendations and mitigation of the slope hazards on the site. The driveway grading plans (Exhibit A.8) do not appear to include any excessive cut and fill operations beyond what is necessary to complete the proposed development according to the recommendations of the geotechnical reports (Exhibit A.4). *Criterion met.*

(J) Temporary vegetation and/or mulching shall be used to protect exposed critical areas during development.

Staff: The proposed plans indicate that temporary seeding will be used (Exhibit A.8), and a condition of approval requires compliance with this standard throughout development. As *conditioned, criterion met.*

(K) Whenever feasible, natural vegetation shall be retained, protected, and supplemented;
(1) A 100-foot undisturbed buffer of natural vegetation shall be retained from the top of the bank of a stream, or from the ordinary high watermark (line of vegetation) of a water body, or within 100-feet of a wetland;
(2) The buffer required in subsection (K)(1) may only be disturbed upon the approval of a mitigation plan which utilizes erosion, sediment, and stormwater control measures designed to perform as effectively as those prescribed in the most recent edition of the City of Portland Erosion and Sediment Control Manual and the City of Portland Stormwater Management Manual and which is consistent with attaining equivalent surface water quality standards as those established for the Tualatin River drainage basin in OAR 340-041-0345(4).

Staff: The proposed development is not within 100 feet of a water body. According to County GIS data, there are two unnamed streams in the vicinity of the property, one that runs along the southeast property line and one that runs approximately 75 feet northwest of the northwest property line. All development is at least 200 feet away from both streams, and falls outside of the mapped SEC-s overlay that buffer both streams (Exhibit A.8). *Criterion met.*

(L) Permanent plantings and any required structural erosion control and drainage measures shall be installed as soon as practical.

Staff: The plans and Geotechnical Report indicate that permanent plantings would be planted and structural erosion control will be installed as soon as possible and the erosion control plan on page 6 of Exhibit A.8 outlines the proposed phases of construction, and timeline for installation of permanent plantings and seeding. Compliance with this standard is a condition of approval. *As conditioned, criterion met.*

(M) Provisions shall be made to effectively accommodate increased runoff caused by altered soil and surface conditions during and after development. The rate of surface water runoff shall be structurally retarded where necessary.

(N) Sediment in the runoff water shall be trapped by use of debris basins, silt traps, or other measures until the disturbed area is stabilized.

(O) Provisions shall be made to prevent surface water from damaging the cut face of excavations or the sloping surface of fills by installation of temporary or permanent drainage across or above such areas, or by other suitable stabilization measures such as mulching or seeding.

Staff: The proposed stormwater and drainage control system includes a gravel swale/ditch that will run alongside the proposed driveway and convey runoff from the building site along the new driveway to the catchment area (Exhibit A.11). Additionally, the Erosion Control plan provided on page 6 of Exhibit A.8 outlines the proposed erosion control measures during and after development, including the installation of silt fencing, straw wattles, and filter bags installed prior to phase 1 of construction. *Criteria met.*

(P) All drainage measures shall be designed to prevent erosion and adequately carry existing and potential surface runoff to suitable drainageways such as storm drains, natural water bodies, drainage swales, or an approved drywell system.

(Q) Where drainage swales are used to divert surface waters, they shall be vegetated or protected as required to minimize potential erosion.

Staff: The applicant included a Stormwater Certificate and associated report reviewed and certified by William Cole Lathrop, PE (Exhibits A.11-A.12). The Certificate recommends, "Construction of an onsite storm water drainage control system," which will consist of drainage swale along the driveway to convey the stormwater from the dwelling site and driveway down to the detention storage tank located near Germantown Road. The report indicates that the swale will be graveled, which will serve to minimize potential erosion. The proposed drainage measures will prevent erosion and adequately carry existing and potential surface runoff to suitable drainageways. A condition of approval requires the applicant to construct, install, and maintain the proposed stormwater drainage control system for the life of the dwelling. *As conditioned, these criteria are met.*

(R) Erosion and sediment control measures must be utilized such that no visible or measurable erosion or sediment shall exit the site, enter the public right-of-way or be deposited into any water body or storm drainage system. Control measures which may be required include, but are not limited to:

- (1) Energy absorbing devices to reduce runoff water velocity;**
- (2) Sedimentation controls such as sediment or debris basins. Any trapped materials shall be removed to an approved disposal site on an approved schedule;**
- (3) Dispersal of water runoff from developed areas over large undisturbed areas.**

Staff: The Stormwater Drainage Control Report (Exhibit A.11) and the Erosion Control details in the Driveway Grading Plan Packet (Exhibit A.8), William Cole Lathrop, PE indicates that a lined stormwater planter will be utilized to ensure water quality, prior to the dispersal of runoff into an existing drainage trench along NW Germantown Road at a rate not exceeding that of predevelopment conditions. A condition of approval requires the applicant to construct, install, and maintain the proposed stormwater drainage control system for the life of the dwelling *As conditioned, criteria met.*

(S) Disposed spoil material or stockpiled topsoil shall be prevented from eroding into water bodies by applying mulch or other protective covering; or by location at a sufficient distance from water bodies; or by other sediment reduction measures;

Staff: The plans do not show the location of where spoil materials or topsoil will be located or stockpiled (Exhibit A.8). Since all development is located more than 200 feet from the nearest water body and erosion and sediment control measures have been identified for the development that will prevent any erosion from leaving the site, the existing erosion control plan is sufficient if either (1) there is no stockpiling of fill materials on the site or (2) the stockpile location is located within the identified development area. As a condition of approval, if a stockpiling location is identified outside of the development area and located within 200 feet of a water body, an updated erosion control plan showing the location of the stockpile and proposed erosion control measures may be submitted for review by the case planner for clear and objective compliance with (S) above. *As conditioned, criterion met.*

(T) Such non-erosion pollution associated with construction such as pesticides, fertilizers, petrochemicals, solid wastes, construction chemicals, or wastewaters shall be prevented from leaving the construction site through proper handling, disposal, continuous site monitoring and clean-up activities.

Staff: Compliance with (T) above is a condition of approval. *As conditioned, criterion met.*

(U) On sites within the Balch Creek drainage basin, erosion, sediment, and stormwater control measures shall be designed to perform as effectively as those prescribed in the most recent edition of the City of Portland Erosion and Sediment Control Manual and the City of Portland Stormwater Management Manual. All ground disturbing activity within the basin shall be confined to the period between May first and October first of any year. All permanent vegetation or a winter cover crop shall be seeded or planted by October first the same year the development was begun; all soil not covered by buildings or other impervious surfaces must be completely vegetated by December first the same year the development was begun.

Staff: The proposed development is not located within the Balch Creek drainage basin; therefore, this criterion is not applicable. *Criterion not applicable.*

(V) Ground disturbing activities within a water body shall use instream best management practices designed to perform as prescribed in the City of Portland Erosion and Sediment Control Manual and the City of Portland Stormwater Management Manual.

Staff: All ground disturbing activity will occur at least 200 feet from a water body (Exhibit A.8). *Criterion not applicable.*

(W) The total daily number of fill haul truck trips shall not cause a transportation impact (as defined in the Multnomah County Road Rules) to the transportation system or fill haul truck travel routes, unless mitigated as approved by the County Transportation Division.

(X) Fill trucks shall be constructed, loaded, covered, or otherwise managed to prevent any of their load from dropping, sifting, leaking, or otherwise escaping from the vehicle. No fill shall be tracked or discharged in any manner onto any public right-of-way.

(Y) No compensation, monetary or otherwise, shall be received by the property owner for the receipt or placement of fill.

Staff: The proposed development will utilize an existing access point, which does not constitute "new construction or alteration" for the purposes of the Multnomah County Road Rules definition of transportation impact. A condition of approval formalizes this truck trip limit in addition to requiring compliance with subsection (X) and (Y) above. *As conditioned, criteria met.*

8.0 Significant Wildlife Habitat (SEC-h) Permit Criteria:

8.1 MCC 39.5510 PERMITS REQUIRED

(A) Except as provided in MCC 39.5515 and 39.5525, an SEC Overlays permit(s) is required for:

- (1) All development, including but not limited to the location, design, change, replacement, or alteration of any use or structure.**

* * *

Staff: The proposed single-family dwelling, driveway, septic system, and stormwater facilities qualify as development per the definition in MCC 39.5520, and therefore an SEC-h permit is required.

8.2 MCC 39.5540 SEC-h PERMIT CRITERIA (SIGNIFICANT WILDLIFE HABITATS)

(A) Decision Review Process

- (2) Applications that do not meet all of the criteria in MCC 39.5540(C) below, shall be processed through the Type II review procedure. A mitigation plan pursuant to subsection (D) below is required.**

Staff: The current development does not meet all of the criteria in (C), and as such the applicant submitted a Type II application and provided a mitigation plan pursuant to (D) (Exhibits A.2 and A.3). *Standard met.*

(C) SEC-h Permit Approval Criteria

- (1) Development Standards**

- (a) Where a parcel contains any non-forested “cleared” areas within 200 feet of a public road, development shall only occur in these areas, except as necessary to provide access and to meet minimum clearance standards for fire safety.**

Staff: While there are existing non-forested “cleared” areas within 200 feet of Germantown Road, the slopes and presence of the Geologic Hazards overlay across the nearest 200 feet to the road make it inadvisable to cite the proposed dwelling there (Exhibits A.2-A.5). *Standard not met, and therefore the proposal is subject to MCC 39.5540(D), which is addressed below.*

- (b) Development shall occur within 200 feet of a public road capable of providing reasonable practical access to the developable portion of the site.**

Staff: The proposed dwelling is located approximately 285 feet from NW Germantown Road (Exhibit A.3). *Standard not met, and therefore the proposal is subject to MCC 39.5540(D), which is addressed below.*

- (c) The access road/driveway and service corridor serving the development shall not exceed 500 feet in length.**

Staff: The driveway serving the development is approximately 700 feet long (Exhibits A.2 and A.3). *Standard not met, and therefore the proposal is subject to MCC 39.5540(D), which is addressed below.*

- (d) The development shall be within 300 feet of a side property line if adjacent property has structures and developed areas within 200 feet of that common side property line.**

Staff: All development is located approximately 150 feet from the southeast side property line, and approximately 200 feet from the northwest side property line (Exhibit A.3). *Standard met.*

- (e) Nuisance and invasive nonnative plants, as defined in MCC 39.5540 shall not be planted on the subject property and shall be removed and kept removed from cleared areas of the subject property.**

Staff: Compliance with this standard is a condition of approval. *As conditioned, this standard is met.*

- (f) Ground disturbing activity within 100 feet of a water body as defined by MC 39.2000 shall be limited to the period between May 1st and September 15th. Revegetation and soil stabilization must be accomplished no later than October 15th.**

Staff: No ground disturbance is proposed within 100 feet of a water body (Exhibit A.3). *Standard met.*

- (g) Outdoor lighting shall be of a hooded fixture type and shall be placed in a location so that it does not shine directly into undeveloped habitat areas. Where illumination of habitat area is unavoidable, it shall be**

minimized through use of limited lumens with a hooded fixture type and proper placement. The location and illumination area of lighting needed for security of public utility facilities shall not be limited by this provision but should be done in a minimalistic manner.

Staff: The applicant has provided information for all lighting fixtures that indicate that they are hooded fixtures. Additionally, no development is proposed in undeveloped habitat areas *This standard is met.*

(D) Mitigation Plan Criteria

- (1) Mitigation Plan Requirements. An applicant shall propose a mitigation plan that provides mitigation activities and plantings as outlined in subsection (2) or (3) below. The mitigation area shall first be located within any existing non-forested cleared areas contiguous to forested areas, second within any degraded stream riparian areas and last in forested areas or adjacent to landscaped yards.**

Staff: The applicant has provided a preliminary mitigation plan as Exhibits A.2 and A.3, and has indicated that they will provide a detailed planting plan at the time of zoning plan review. The applicant's site plans and County aerial images demonstrate that there are areas on the site that will allow for mitigation consistent with the criteria above. A condition of approval requires planting areas to be sited consistent with the above standard. *As conditioned, this criterion is met.*

- (3) New Buildings, Structures, and Development: The mitigation plan must demonstrate the following:**

- (a) That measures are included in order to reduce impacts to forested areas to the minimum necessary to serve the proposed development by restricting the amount of clearance and length/width of cleared areas and disturbing the least amount of forest canopy cover.**

Staff: The subject property primarily consists of already cleared areas, and no additional tree removal is proposed to accommodate the proposed development (Exhibit A.2). *Criterion met.*

- (b) That any newly cleared area associated with the development is not greater than one acre, excluding from this total the minimum area required for fire accessway purposes.**

Staff: No newly cleared areas are proposed (Exhibit A.2). *Criterion met.*

- (c) That no fencing will be built and existing fencing will be removed outside of areas cleared for the site development except for existing cleared areas used for agricultural purposes.**

Staff: No fencing exists or is proposed within the mapped SEC-h overlay.

- (d) Mitigation areas:**

- (i) All trees, shrubs and ground cover shall be native plants selected from the Metro Native Plant List;**
- (ii) Native trees and shrubs shall be planted at a rate of one (1) tree and one (1) shrub for every 100 square feet of development/disturbance area. Bare ground shall be planted or seeded with perennial native grasses or herbs.**

(iii) All vegetation shall be planted within the mitigation area located on the same Lot of Record as the development and shall be located within the SEC-h Overlay or in an area contiguous to the SEC-h Overlay.

- 1. If the vegetation is planted in an area contiguous to the SEC-h Overlay, then the applicant shall preserve the contiguous area by executing a deed restriction, through a restrictive covenant.**

Staff: The applicant's site plan and aerial images demonstrate that the proposed development area that will cause ground disturbance in previously undisturbed areas is approximately 21,800 square feet. As such, the applicant has indicated that they will plant a minimum of 218 trees and 218 shrubs in compliance with the standard above (Exhibit A.2). A condition of approval requires the applicant to provide a detailed planting plan the following elements at the time of zoning plan review:

- c. A list of all plant varieties proposed as mitigation plantings. All varieties must be included on the Metro Native Plant List.
- d. The proposed location and spacing of the minimum 218 trees and 218 shrubs to be planted.
- e. The location of all proposed mitigation areas. Mitigation areas must be located on the same Lot of Record as the development area and entirely within the SEC-h overlay.

Staff has confirmed based on the applicant's site plan and County Aerial imagery that compliance with (d)(iii) above is feasible on the subject property (Exhibit A.3). *As conditioned, this criterion is met.*

(e) The native soils disturbed during development will be conserved on the property.

Staff: The engineered driveway proposed to serve the single-family dwelling requires extensive grading and excavation in order to comply with the standards of the Geologic Hazards permit evaluated in Section 7.0 of this report. Retention of the 2,225 cubic yards of fill that will be excavated from the subject property would result in additional disturbance area, and create non-compliance with MCC 39.5540(D)(3)(a), and MCC 39.5090(I) and (K). Geotechnical recommendations from Oregon Registered Professional Engineers (Exhibit A.4) also indicate that "in no circumstances should spoils be disposed of on adjacent slopes on the property." Outside of the area proposed for development, no native soils are proposed to be disturbed or removed from the site. Considering the analysis and recommendations provided by the geotechnical engineers to protect against hazards created by steep slopes, staff finds that the project has been designed to conserve as much of the native soil on site as is practicable. *This criterion is met.*

(f) Plant size. Mitigation trees shall be at least one-half inch in caliper, measured at 6 inches above the ground level for field grown trees or above the soil line for container grown trees (the one-half inch minimum size may be an average caliper measure, recognizing that trees are not uniformly round).

- (i) If using oak or madrone trees, the planting size may be on gallon. Shrubs shall be in at least a 1-quart container or the equivalent in ball and burlap and shall be at least 6 inches in height.**

Staff: The applicant indicates their understanding and willingness to comply with this standard in their mitigation plan (Exhibit A.2). Compliance with this standard is also a condition of approval. *As conditioned, this criterion is met.*

- (g) Plant spacing.** Trees shall be planted between 8 and 12 feet on center and shrubs shall be planted between 4 and 5 feet on center, or clustered in single species groups of no more than four (4) plants, with each cluster planted between 8 and 10 feet on-center.
- (i) When planting near existing trees,** the drip line of the existing tree shall be the starting point for plant spacing measurements.

Staff: The applicant indicates their understanding and willingness to comply with this standard in their mitigation plan (Exhibit A.2). At the time of zoning plan review, the applicant must indicate the locations of the trees and shrubs proposed for planting to demonstrate compliance with this standard. *As conditioned, this criterion is met.*

- (h) Plant diversity.** Shrubs shall consist of at least two (2) different species. If 10 trees or more are planted, then no more than 50% of the trees may be of the same genus.

Staff: The applicant indicates their understanding and willingness to comply with this standard in their mitigation plan (Exhibit A.2). At the time of zoning plan review, the applicant must indicate the species of the trees and shrubs proposed for planting to demonstrate compliance with this standard. *As conditioned, this criterion is met.*

(E) Required Conditions of Approval for all SEC-h Permits

- (1) An erosion and sediment control plan shall be prepared in compliance with the ground disturbing activity standards set forth in MCC 39.6200 through MCC 39.6235.**
- (2) Prior to development, all work areas shall be flagged, fenced, or otherwise marked to reduce potential damage to habitat outside of the work area. The work area shall remain marked through all phases of development.**
- (3) Trees shall not be used as anchors for stabilizing construction equipment.**
- (4) The planting date for the mitigation area shall occur within one year following the approval of the application.**
- (5) Any nuisance and invasive nonnative plants, as defined in MCC 39.5520 shall be removed within the mitigation area prior to planting.**
- (6) Monitoring and reporting.** Monitoring of the mitigation site is the ongoing responsibility of the property owner. A Yearly Report shall be provided to Multnomah County Land Use Planning for a period of five years, unless the Planning Director requires a longer reporting period.
 - (a) Plants that die shall be replaced in kind so that a minimum of 80% of the trees and shrubs planted shall remain alive on the fifth anniversary of the date that the migration planting is completed.**
 - (b) Mitigation plantings shall be maintained and shall not be removed from the property without contacting Multnomah County Land Use Planning and receiving written approval to amend the Mitigation Plan.**

Staff: The conditions of (E) above that apply to the mitigation planting have been included as conditions of approval for this permit. *As conditioned, these criteria are met.*

9.0 Conclusion

Based on the findings and other information provided above, the applicant has carried the burden necessary for the Geologic Hazards and Significant Wildlife Habitat (SEC-h) permits to establish a new single-family dwelling, driveway and septic system in the Rural Residential zone. This approval is subject to the conditions of approval established in this report.

10.0 Exhibits

‘A’ Applicant’s Exhibits

‘B’ Staff Exhibits

‘C’ Procedural Exhibits

‘D’ Comments Received

Exhibits with an ‘*’ have been reduced in size and included with the mailed decision. All exhibits are available for digital review by sending a request to LUP-comments@multco.us.

Exhibit #	# of Pages	Description of Exhibit	Date Received / Submitted
A.1	2	Application Form	03/17/2026
A.2	4	Revised Code Narrative	07/27/2026
A.3	15	Site Plan	07/29/2026
A.4	60	Revised Geologic Hazard Report	05/15/2026
A.5	4	Revised Geologic Hazards Permit Form	07/22/2026
A.6	178	Partition Decision 2001	03/17/2026
A.7	10	Access and Utility Agreement	03/17/2026
A.8*	6	Revised Driveway Drainage and Grading Plan	05/15/2026
A.9	9	Driveway Retaining Wall Calculations	03/17/2026
A.10	8	Septic Review Certification	03/17/2026
A.11	11	Revised Stormwater Management Plan	05/15/2026
A.12	2	Stormwater Drainage Control Certificate	03/17/2026
A.13	1	Transportation Planning Review Form	03/17/2026
A.14	1	Water Supply Letter	03/17/2026
A.15	1	Water Service Certification	03/17/2026
A.16	8	Incomplete Letter Response	05/15/2026
‘B’	#	Staff Exhibits	Date
B.1	2	Assessment and Taxation Property Information for 1N1W10C -01902 (Alt Acct#R649823340 / Property ID#R530673)	04/01/2026

B.2	1	Current Tax Map for 1N1W10C -01902	04/01/2026
B.3	2	The South Rose Group, LLC Business Registration	04/01/2026
B.4	1	1998 Aerial Image	07/24/2026
‘C’	#	Administration & Procedures	Date
C.1	5	Incomplete letter	04/14/2026
C.2	1	Applicant’s acceptance of 180-day clock	05/13/2026
C.3	1	Complete letter (day 1)	06/10/2026
C.4	7	Opportunity to Comment	06/15/2026
C.5	21	Decision	08/03/2026
‘D’	#	Comments	Date
D.1	2	Edward Gidlow Comments	06/22/2026

GERMANTOWN RESIDENCE DRIVEWAY GRADING & DRAINAGE PLAN

APRIL 2026

SHEET INDEX	
C00	TITLE SHEET
C01	CIVIL NOTES
C02	DRIVEWAY GRADING AND DRAINAGE PLAN
C03	DRIVEWAY PROFILE & SECTIONS
C04	CIVIL DETAILS
EC1	EROSION CONTROL PLAN

SURVEY CONTROL

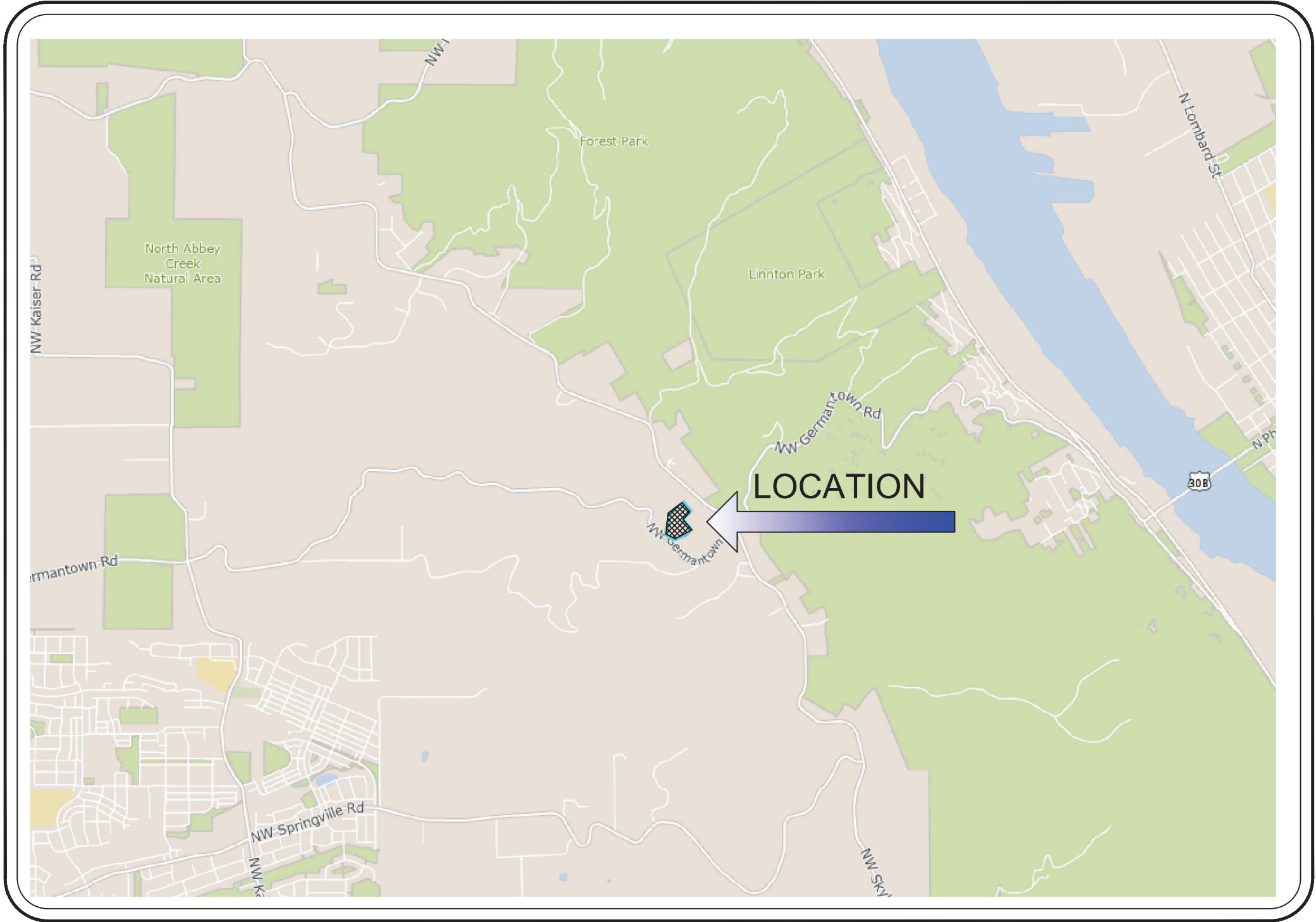
VERTICAL CONTROL IS IN NORTH AMERICAN VERTICAL DATUM OF 1988, (NAVD88).

HORIZONTAL CONTROL IS IN NAD 83/2011(2011)

APPLICANTS MUST COMPLY WITH ALL APPLICABLE FEDERAL, STATE, AND LOCAL STANDARDS, CODES, REGULATIONS, AND LAWS.

PLANS APPROVED FOR CONSTRUCTION BY THE COUNTY IN NO WAY RELIEVE THE APPLICANT OF THE RESPONSIBILITY TO THOSE OTHER REQUIREMENTS OF THE COUNTY AND/OR OTHER AFFECTED JURISDICTIONS OR THE OBLIGATION TO PROTECT LIFE, HEALTH AND/OR PROPERTY. PLANS HAVE BEEN REVIEWED AND APPROVED FOR COMPLIANCE WITH MULTNOMAH COUNTY STANDARDS, COUNTY CODE, AND ADOPTED REGULATIONS. STANDARDS, CODES, AND REGULATIONS MUST BE FOLLOWED REGARDLESS OF ANY ERRORS OR OMISSIONS IN THE PLANS.

PLANS SHALL BE REVISED AND APPROVED BY THE COUNTY PRIOR TO CONSTRUCTION AT ANY TIME IT IS DETERMINED THAT THE FULL REQUIREMENTS OF THE COUNTY HAVE NOT BEEN MET.



VICINITY MAP
NTS



PROJECT CONTACTS

DEVELOPER/APPLICANT
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541-954-3691

SURVEYOR
FORD ENGINEERING, LLC
12205 IOKA WAY NW
SILVERDALE, WA 98383

GEOTECHINCAL ENGINEER
CERTERRA EARTH ENGINEERS
2411 NE 8TH AVENUE
CAMAS, WA 98607
360-567-1806

ABBREVIATIONS

AC	ASPHALT CONCRETE	D/W	DRIVEWAY	HCP	HANDICAP PARKING SPACE	PM	PARKING METER	SSMH	SANITARY SEWER MANHOLE
AD	AREA DRAIN	DIA, Ø	DIAMETER	HP	HIGH POINT	POC	POINT ON CURVE	ST	STREET
APPROX	APPROXIMATE	DIP	DUCTILE IRON PIPE	ID	INSIDE DIAMETER	PP	POWER POLE	STA	STATION
B	BOLLARD	E	EASTING	IE	INVERT ELEVATION	PRC	POINT OF REVERSE CURVATURE	STD	STANDARD
BLD	BUILDING	EXIST, EX	EXISTING	INV	INVERT	PT	POINT OF TANGENT	S/W	SIDEWALK
BOW	BACK OF WALK	FDC	FIRE DEPARTMENT CONNECTION	LP	LIGHT POLE	P.U.E.	PUBLIC UTILITY EASEMENT	TC	TOP OF CURB
BS	BOTTOM OF STAIR	FF	FINISH FLOOR ELEVATION	MH	MANHOLE	PVC	POLYVINYL CHLORIDE	TD	TRENCH DRAIN
BW	BOTTOM OF WALL	FG	FINISH GRADE	MIN	MINIMUM	PVMT	PAVEMENT	TG	TOP OF GROUND
CB	CATCH BASIN	FH	FIRE HYDRANT	N	NORTHING	PVT	PRIVATE	TP	TOP OF PAVEMENT
CL	CENTERLINE	FL	FLOWLINE	O.D.	OUTSIDE DIAMETER	R	RIM	TRANS	TRANSFORMER
CMU	CONCRETE MASONRY UNIT	FND	FOUNDATION	OF	OUTFALL	RD	ROOFDRAIN	TS	TOP OF STAIR
CO	CLEANOUT	G	GUTTER	OV/H/OH	OVERHEAD	ROW	RIGHT-OF-WAY	TW	TOP OF WALL/WALK
CONC	CONCRETE	GB	GRADE BREAK	P.L	PROPERTY LINE	S	SLOPE (FT/FT)	TYP	TYPICAL
COTG	CLEANOUT TO GRADE	GL	GAS LINE	PC	POINT OF CURVATURE	SD	STORM DRAIN	UG	UNDERGROUND
CP	CONTROL POINT	GV	GATE VALVE	PCC	POINT OF COMPOUND CURVE	SDMH	STORM DRAIN MANHOLE	UGE	UNDERGROUND ELECTRIC
Δ	DELTA	H	HEIGHT	PCR	POINT OF CURB RETURN	SHT	SHEET	W	WATER
				PED	PEDESTRIAN	SS	SANITARY SEWER	WCR	WHEELCHAIR RAMP

NOTICE TO EXCAVATORS:

ATTENTION: OREGON LAW REQUIRES YOU TO FOLLOW RULES ADOPTED BY THE OREGON UTILITY NOTIFICATION CENTER. THOSE RULES ARE SET FORTH IN OAR 952-001-0010 THROUGH OAR 952-001-0090. YOU MAY OBTAIN COPIES OF THE RULES BY CALLING THE CENTER. (NOTE: THE TELEPHONE NUMBER FOR THE OREGON UTILITY NOTIFICATION CENTER IS 503-232-1987).

POTENTIAL UNDERGROUND FACILITY OWNERS

Dig Safely.

Call the Oregon One-Call Center
DIAL 811 or 1-800-332-2344

EMERGENCY TELEPHONE NUMBERS

NW NATURAL GAS	
M-F 7AM-6PM	503-226-4211 Ext.4313
AFTER HOURS	503-226-4211
PGE	503-464-7777
CENTURYLINK	1-800-573-1311
VERIZON	1-800-483-1000

Cut/Fill Summary

Name	Cut Factor	Fill Factor	2d Area	Cut	Fill	Net
Skyline-Volume	1.00	1.00	34970.35 Sq. Ft.	3281.01 Cu. Yd.	1056.09 Cu. Yd.	2224.92 Cu. Yd.<Cut>
Totals			34970.35 Sq. Ft.	3281.01 Cu. Yd.	1056.09 Cu. Yd.	2224.92 Cu. Yd.<Cut>

WCL ENGINEERING, LLC
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CLATHROP@WCL-ENGR.COM
WWW.WCL-ENGR.COM



EXPIRES: 12/30/2026

GERMANTOWN
RESIDENTIAL DRIVEWAY
E SIDE / NW GERMANTOWN ROAD
PORTLAND, OR 97229
DRIVEWAY GRADING AND
DRAINAGE PLAN

Date: 2/24/2026
Project #: N/A
Drawn by: WCL
Checked by: WCL

Revisions:
R1 4/27/2026

TITLE
SHEET

C00

GENERAL

THE CONTRACTOR SHALL HAVE AT ALL TIMES ON-SITE, THE APPROVED CONSTRUCTION DRAWINGS & SPECIFICATIONS AND ALL OTHER APPLICABLE SPECIFICATIONS BOOKS AND MANUALS. ELECTRONIC EQUIVALENT ARE ACCEPTABLE.

ALL CONSTRUCTION METHODS AND MATERIALS SHALL CONFORM TO THESE DRAWINGS AND THE APPLICABLE REQUIREMENTS OF THE 2022 OREGON STRUCTURAL SPECIALTY CODE (OSSC), 2023 OREGON PLUMBING SPECIALTY CODE (OPSC), 2024 OREGON DEPARTMENT OF TRANSPORTATION (ODOT) STANDARD SPECIFICATIONS AND MULTNOMAH COUNTY PUBLIC WORKS AND BUILDING STANDARDS.

THESE CIVIL DRAWINGS ARE INTENDED TO BE DEVELOPED IN CONJUNCTION WITH THE ARCHITECTURAL, MECHANICAL, PLUMBING, ELECTRICAL, STRUCTURAL AND OTHER DISCIPLINE SPECIFIC DRAWING SETS FOR THIS PROJECT.

A PRE-CONSTRUCTION CONFERENCE WITH WCL ENGINEERING IS REQUIRED BEFORE COMMENCING WORK SHOWN ON THE CIVIL PLANS.

ELEVATIONS ARE BASED ON SURVEY OBTAINED FROM COMPASS LAND SURVEYORS DATED OCTOBER 2018.

ATTENTION EXCAVATORS: OREGON LAW REQUIRES YOU TO FOLLOW RULES ADOPTED BY THE OREGON UTILITY NOTIFICATION CENTER. THOSE RULES ARE SET FORTH IN OAR 952-001-0010 THROUGH OAR 952-001-0090. YOU MAY OBTAIN COPIES OF THESE RULES FROM THE CENTER BY CALLING [503.232.1987]. IF YOU HAVE ANY QUESTIONS ABOUT THE RULES, YOU MAY CONTACT THE CALL CENTER. YOU MUST NOTIFY THE CENTER AT LEAST 2 BUSINESS DAYS, BUT NOT MORE THAN 10 BUSINESS DAYS, BEFORE COMMENCING AN EXCAVATION. CALL [811 OR 1-800-332-2344].

EROSION AND SEDIMENT CONTROL

THE CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING AND UPDATING THE EROSION CONTROL PLAN AS REQUIRED PER CITY OF PORTLAND EROSION AND SEDIMENT CONTROL MANUAL, 2022 AT A MINIMUM, THE CONTRACTOR MUST SHOW THE FOLLOWING ITEMS ON THE CONSTRUCTION EROSION AND SEDIMENT CONTROL PLAN:

SEDIMENT FENCE AROUND ALL GRADING ACTIVITIES
STOCKPILE PROTECTION
EROSION CONTROL MEASURES FOR GRADING AREAS ON SLOPES
NEARBY WATERWAY PROTECTIONS
CONSTRUCTION ENTRANCE
ADDITIONAL MEASURES AS REQUIRED

EARTHWORK

THIS WORK CONSISTS OF EXCAVATION, DITCHING, BACKFILLING, EMBANKMENT CONSTRUCTION, GRADING, LEVELING, BORROW, AND OTHER EARTH-MOVING WORK REQUIRED IN THE CONSTRUCTION OF THE PROJECT.

LINES, GRADES, AND CROSS SECTIONS - ALL EARTHWORK SHALL CONFORM TO THE LINES, GRADES AND CROSS SECTIONS ESTABLISHED IN THE PROJECT PLANS. ALL GRADES SHALL WITHIN 0.1' +/- OF GRADES SHOWN ON THE PLANS.

PRESERVATION OF EXISTING SURFACING -PROTECT EXISTING SURFACING OF ALL TYPES THAT ARE TO REMAIN IN PLACE FROM BEING DAMAGED OR FOULED WITH UNDESIRABLE MATERIAL. REPAIR OR REPLACE DAMAGED OR FOULED SURFACES AS DIRECTED AND AT NO ADDITIONAL COST TO THE OWNER.

DITCHES, CHANNEL CHANGES, APPROACHES, CONNECTIONS, ETC. - PERFORM EXCAVATIONS TO CONSTRUCT DITCHES, CHANNEL CHANGES, APPROACH ROADWAYS, ROAD CONNECTIONS, AND OTHER ITEMS, AS REQUIRED.

ROADWAY AND PAVING SUBGRADE- SUBGRADE SHALL BE CLEAR OF ALL ROOTS AND DELETERIOUS MATERIALS. CONTRACTOR SHALL COMPACT SUBGRADE TO SATISFY A PROOF ROLL TEST WITH 10 CUBIC YARD TRUCK, FULLY LOADED WITH ROCK. AREAS FOUND TO BE SOFT (VISIBLE DEFLECTION) SHALL BE DUG OUT UP TO 12" AND REPLACED WITH BASE ROCK MATERIAL.

GEOTEXTILE FABRIC- GEOTEXTILE FABRIC TO BE INSTALLED DIRECTLY ON SUBGRADE SURFACE WHERE SHOWN ON THE PLANS. FABRIC TO BE FREE OF FOLDS AND TEARS. CONTRACTOR TO FOLLOW MANUFACTURE'S INSTALLATION INSTRUCTIONS.

TOPSOIL- TOPSOIL TO BE FREE OF ORGANICS, ROCK AND DELETERIOUS MATERIAL. TOPSOIL TO BE SILT-LOAM WITH NO CLAY CONTENT. CONTRACTOR SHALL COMPACT TOPSOIL TO SATISFY A PROOF ROLL TEST WITH 10 CUBIC YARD TRUCK, FULLY LOADED WITH ROCK. TOPSOIL TO BE GRADED TO +/- 0.5" OF FINAL GRADE. UPON COMPLETION OF FINAL GRADING, CONTRACTOR TO PLAN WITH NATIVE GRASSES AND COVER GROUND TO AVOID EROSION.

PAVING AND WEARING SURFACES

THIS WORK CONSISTS OF INSTALLING, FILLING, LEVELING, COMPACTING AND GRADING IN THE CONSTRUCTION OF THE PROJECT.

BASE ROCK AND SURFACE ROCK- BASE ROCK TO MEET ODOT SECTION 026630 FOR 3/4"-0 BASE ROCK. SURFACE ROCK TO HAVE A MINIMUM OF 35% PASSING THE #40 SIEVE AND A PI OF 4-12. CONTRACTOR TO SUBMIT GRADATION AND PRODUCT INFORMATION TO ENGINEER PRIOR TO PLACEMENT. CONTRACTOR TO INSTALL ROCK MATERIAL IN MAXIMUM 6" LIFTS AND MINIMUM 3" LIFTS. CONTRACTOR TO COMPACT ROCK LIFTS TO 91% MAXIMUM DRY DENSITY AS DETERMINED BY AASHTO T-180. SURFACE ROCK TO BE GRADED TO +/- 0.5" OF FINAL GRADE. CONTRACTOR TO PERFORM FLOOD TEST ON FINAL GRADE TO ENSURE NO PONDING IS PRESENT.

ASPHALT CONCRETE PAVEMENT- ASPHALT CONCRETE PAVEMENT SHALL HAVE A MAXIMUM AGGREGATE OF ¾" AND SHALL CONTAIN PG 64-22 ASPHALT CEMENT AND SHALL MEET THE REQUIREMENTS OF SECTION 00740 OF ODOT'S STANDARD SPECIFICATIONS (2018). CONTRACTOR TO SUBMIT JOB MIX FORMULA TO THE ENGINEER OF RECORD PRIOR TO PLACEMENT. ASPHALT CONCRETE PAVEMENT SHALL BE INSTALLED IN NO LESS THAN 2 LIFTS AND SHALL NOT BE GREATER THAN 4" OR LESS THAN 1.5". CONTRACTOR TO USE EQUIPMENT CAPABLE OF LAYING, GRADING AND COMPACTING ASPHALT CEMENT. CONTRACTOR TO INSTALL TACK COAT ON BASE ROCK PRIOR TO ASPHALT CONCRETE PLACEMENT. ASPHALT CONCRETE PAVEMENT SHALL NOT BE PLACED IF SURFACE TEMPERATURES ARE BELOW 50 DEGREES FAHRENHEIT (F) AND SHALL NOT BE PLACED DURING RAIN OR OTHER ADVERSE WEATHER CONDITIONS UNLESS APPROVED BY THE ENGINEER OF RECORD. ASPHALT CONCRETE SHALL NOT HAVE A TEMPERATURE ABOVE 350 DEGREES (F) AT THE MIXING PLANT AND SHALL NOT HAVE A TEMPERATURE BELOW 240 DEGREES (F) BEHIND THE PAVING MACHINE. ASPHALT CONCRETE SHALL BE COMPACTED TO 91 PERCENT OF THE MAXIMUM DENSITY AND SHALL BE TESTED BY A CDT USING A CALIBRATED NUCLEAR GAUGE IN ACCORDANCE WITH AASHTO T 335. THE CDT SHALL TAKE NO LESS THAN 10 TESTS PER LIFT IN RANDOM AREAS CHOSEN BY THE CDT. THE CONTRACTOR SHALL REMOVE ALL ROLLER MARKS AND OTHER MARKS TO THE SURFACE OF THE ASPHALT CONCRETE PAVEMENT. THE FINAL GRADE SHALL NOT VARY BY MORE THAN ¼" OVER A 12' STRAIGHT LINE (12-FOOT STRAIGHT EDGE TEST).

ASPHALT PAVERS- CONTRACTOR TO INSTALL PERVIOUS PAVERS PER MANUFACTURE'S RECOMMENDATIONS. THE FINAL GRADE SHALL NOT VARY BY MORE THAN ¼" OVER A 12' STRAIGHT LINE (12-FOOT STRAIGHT EDGE TEST).

PCC PAVEMENT- PCC PAVEMENT SHALL BE 4000 PSI CONCRETE WITH A MAXIMUM AGGREGATE SIZE OF 1" AND SHALL CONFORM TO ODOT STANDARD SPECIFICATION 02001 FOR ADDITIVE MATERIALS. CONTRACTOR TO SUBMIT JOB MIX FORMULA (JMF) TO ENGINEER OF RECORD FOR APPROVAL PRIOR TO INSTALLATION. PAVEMENT REINFORCEMENT STRENGTH TO BE 60KSI. PRIOR TO PLACING CONCRETE, CONTRACTOR TO ENSURE REINFORCEMENT IS ADEQUATELY SUPPORTED TO PROVIDE REQUIRED CONCRETE COVER SHOWN ON PLANS BY USING EITHER CONCRETE DOBIES OR WIRE BASKES. REINFORCEMENT TO BE INSPECTED AND APPROVED BY ENGINEER OF RECORD PRIOR TO CONCRETE PLACEMENT. PCC PAVEMENT SHALL BE INSTALLED IN ONE LIFT AND SHALL BE INSTALLED IN ONE POUR. CONTRACTOR TO INSTALL CONCRETE IN ACCORDANCE WITH ODOT STANDARD SPECIFICATION 0759. CONCRETE SHALL HAVE A SMOOTH, FLAT FINISH AND SHALL NOT VARY BY MORE THAN ¼" OVER A 12' STRAIGHT LINE. SLOPE CONCRETE TO DRAINS SHOWN ON PLANS. IF NO DRAINS PROVIDED, SLOPE CONCRETE AWAY FROM STRUCTURES AT A 2% SLOPE.

TRENCHING, EXCAVATION AND BACKFILL

GENERAL- EXCAVATE, BACKFILL AND DISPOSE OF EXCESS EXCAVATED MATERIALS IN CONNECTION WITH MINOR STRUCTURES AND CONDUITS SUCH AS SUBSURFACE DRAIN, CULVERT, SIPHON, IRRIGATION AND SEWER PIPES. TRENCHES SHALL BE NO LESS THAN 24" WIDE.

TRENCH GRADES- EXCAVATE TRENCHES TO THE LINES AND GRADES SHOWN OR ESTABLISHED, WITH PROPER ALLOWANCE FOR PIPE THICKNESS, PIPE BEDDING AND FOUNDATION STABILIZATION. PLACE PIPE BEDDING ON A FIRM, UNDISTURBED, FOUNDATION, TRUE TO GRADE.

TRENCH PROTECTION - PROVIDE THE MATERIALS, LABOR AND EQUIPMENT NECESSARY TO PROTECT TRENCHES AT ALL TIMES. PROVIDE SAFE WORKING CONDITIONS IN THE TRENCH AND PROTECT THE WORK, EXISTING PROPERTY, UTILITIES, PAVEMENT, AND THE PUBLIC. THE METHOD OF PROTECTION SHALL BE ACCORDING TO THE CONTRACTOR'S DESIGN. THE CONTRACTOR MAY ELECT TO USE ANY COMBINATION OF SHORING, OVERBREAK, TUNNELING, BORING, SLIDING TRENCH SHIELDS OR OTHER METHODS OF ACCOMPLISHING THE WORK, PROVIDED THE METHOD MEETS WITH THE APPROVAL OF THE ENGINEER AND COMPLIES WITH ALL APPLICABLE LOCAL, STATE, AND FEDERAL SAFETY CODES.

BEDDING- IF GROUNDWATER IS PRESENT IN THE BEDDING ZONE, USE 3/4" - 0 AGGREGATE BEDDING. IF GROUNDWATER IS NOT PRESENT, AND UNLESS OTHERWISE SPECIFIED, FURNISH ONE OF THE FOLLOWING MATERIALS FOR BEDDING THE PIPE:
3/8" - 0 PCC FINE AGGREGATE CONFORMING TO 02690.30(H).
COMMERCIALY AVAILABLE 3/4" - 0 AGGREGATE.
#10 - 0 SAND DRAINAGE BLANKET MATERIAL CONFORMING TO 00360.10.
REASONABLY WELL-GRADED, FROM MAXIMUM SIZE TO DUST, SAND WITH 100 PERCENT PASSING THE 3/8 INCH SIEVE.
COMMERCIALY AVAILABLE 3/8" - 0 OR NO. 10 - 0 SAND.
A CONTINUOUS CRADLE OF CONCRETE

THOROUGHLY TAMP AND COMPACT ALL BEDDING MATERIAL WITH MECHANICAL TAMPERS.

PIPE ZONE MATERIAL - FOR FLEXIBLE PIPES, BACKFILL THE PIPE ZONE WITH BEDDING MATERIAL. FOR RIGID PIPES, FURNISH EITHER:
1" - 0 OR 3/4" - 0 BASE AGGREGATE, OR
COMMERCIALY AVAILABLE 1" - 0 OR 3/4" - 0 AGGREGATE.

INSTALL PIPE ZONE MATERIAL IN LIFTS NO GREATER THAN 6" AND TAMP WITH MECHANICAL TAMPERS OR HAND TAMPERS.

TRENCH BACKFILL- USE PIPE ZONE MATERIAL FOR BACKFILL. INSTALL IN LIFTS NO GREATER THAN 6" AND COMPACT TO 95 PERCENT OF MAXIMUM DENSITY IN ROADWAY AND PAVED AREAS AND 90 PERCENT OF MAXIMUM DENSITY IN OTHER AREAS.

RETAINING WALLS

CONCRETE- CONCRETE TO BE 2500 PSI MINIMUM.

REINFORCEMENT- REINFORCEMENT TO BE 60KSI REINFORCEMENT. UNLESS OTHERWISE NOTED, CONTRACTOR TO ENSURE 3" OF CONCRETE COVER OVER REINFORCEMENT IN ALL DIRECTION. BEND REINFORCEMENT PER ACI 318-16. LAP SPLICE REINFORCEMENT MINIMUM 24" UNLESS OTHERWISE NOTED.

STORM DRAIN

PIPES- STORM DRAIN PIPES TO BE HPDE CORRUGATED PIPE. CONTRACTOR TO INSTALL STORM DRAINS AS SHOWN ON PLANS AND SHALL HAVE A MINIMUM 2% GRADE.

CATCH BASINS- CATCH BASINS TO BE MANUFACTURED BY NDS, OR APPROVED EQUAL. CATCH BASINS TO INCLUDE SEDIMENT SUMP AND SHALL BE RATED FOR HEAVY TRAFFIC. GRATES SHALL BE GALVANIZED STEEL. INSTALL PER MANUFACTURE'S RECOMMENDATIONS.

SEWER SYSTEM

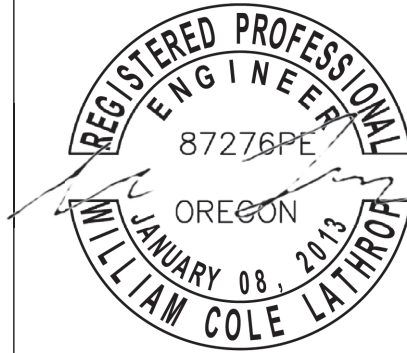
SEPTIC SEWER SYSTEM- SEPTIC SEWER SYSTEMS SHALL BE INSTALLED BY A LICECENED SEPTIC SYSTEM INSTALLATION CONTRACTOR IN THE STATE OF OREGON. DESIGN, APPROVAL AND PERMITTING DOCUEMENTS ARE NOT PART OF THE CIVIL DRAWINGS.

EXISTING SOIL CONDITIONS

THE EXISTING SOIL ON-SITE CONSIST OF THE FOLLOWING:
TOPSOIL: MOIST DARK-BROWN SILT W/ SOME SAND AND ORGANICS
FILL: LIKELY RE-WORKED NATIVE SOILS
NATIVE: BROWN LOW PLASTICITY SILT WITH TRACES OF SAND AND ORANGE/GRAY MOTTLING.

THIS INFORMATION WAS OBTAINED FROM THE PROJECT GEOTECHNICAL REPORT DEVELOPED BY CERTERRA EARTH ENGINEERS DATED FEBRUARY 16, 2026

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EXPIRES: 12/30/2026

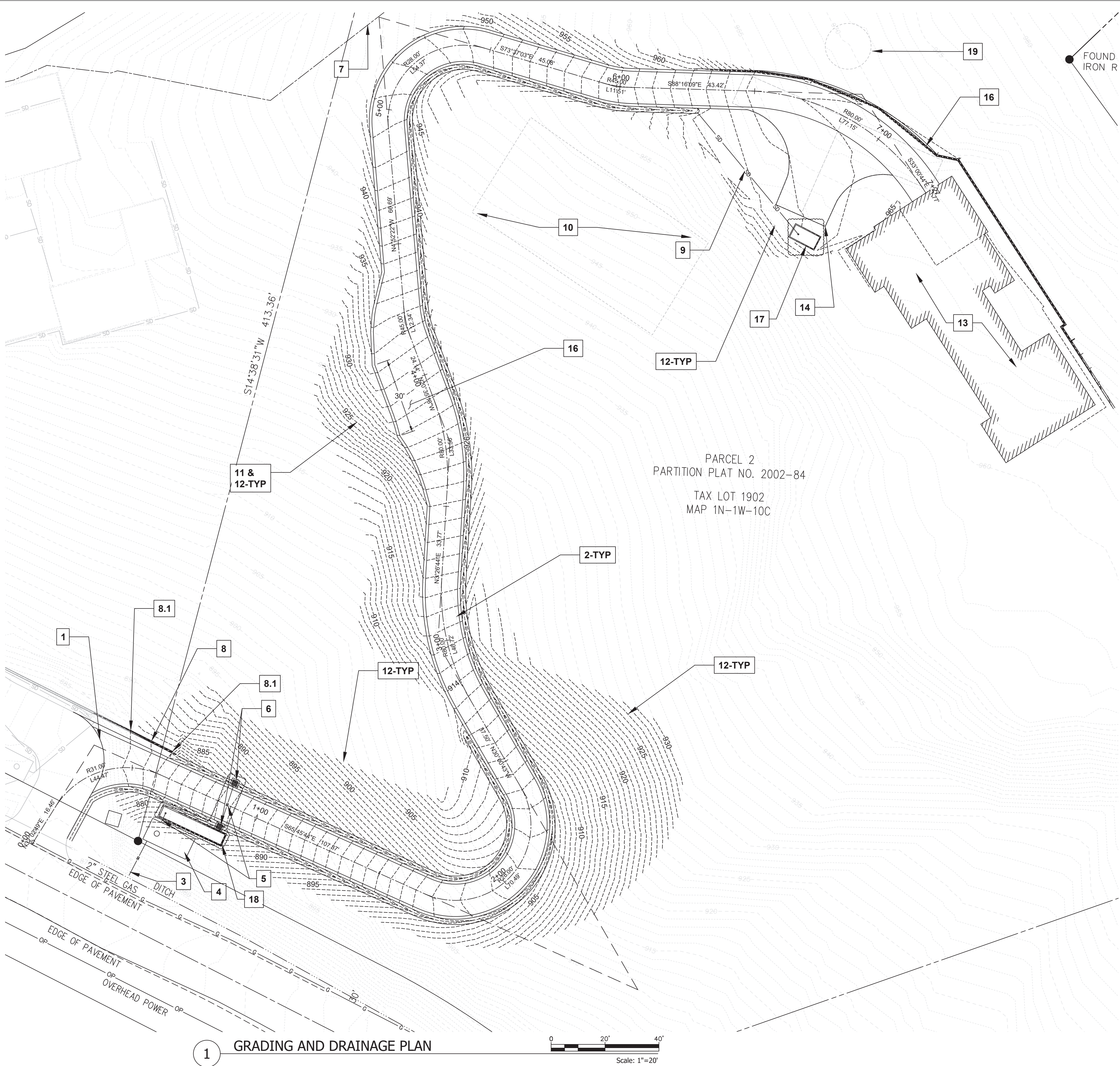
GERMANTOWN
RESIDENTIAL DRIVEWAY
E SIDE / NW GERMANTOWN ROAD
PORTLAND, OR 97229
DRIVEWAY GRADING AND
DRAINAGE PLAN

Date:	2/24/2026
Project #:	N/A
Drawn by:	WCL
Checked by:	WCL

Revisions:	
R1	4/27/2026

CIVIL
NOTES

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SHEET NOTES

- CONNECT TO EXISTING DRIVE, PROTECT EXISTING DRIVE SURFACING AS REQ.
- INSTALL NEW TYPICAL 12 FT WIDE AC PAVEMENT DRIVEWAY PER TYPICAL SECTIONS ON SHEET C03.
 - SEE SHEET C03 FOR PROFILE.
- INSTALL NEW 8" PVC STORMWATER OUTFALL FROM CONTROL STRUCTURE TO DITCH, MINIMUM 2% SLOPE.
- INSTALL NEW 3525 GALLON STORMWATER DETENTION TANK W/ FLOW CONTROL STRUCTURE. SEE 1-C02.
- INSTALL NEW 6" HDPE STORM DRAIN LINE. MINIMUM 2% SLOPE.
- INSTALL NEW NDS 12" SQUARE CATCH BASIN WITH METAL GRATE.
- NO GROUND DISTURBANCE BEYOND 200' CREEK CL OFFSET.
- INSTALL NEW RETAINING WALL PER 6-C02. TOP OF WALL TO SLOPE BETWEEN ELEVATION CALLOUTS BELOW. FOOTINGS TO BE FLAT, STAGGER PER 5-C02.
 - TOW:884.25' +/-, BOF: 875.42' +/-
 - TOW:884.25' +/-, BOF: 875.42' +/-
 - DRILL AND DOWN NEW HORIZONTAL REINFORCEMENT INTO EXISTING WALL W/ SET-3G. 4" MINIMUM EMBEDMENT IN EXISTING CONCRETE & 24" LAP SPLICE IN NEW CONCRETE. SEE RETAINING WALL DETAIL FOR HORIZONTAL REINFORCEMENT SIZE AND SPACING.
- INSTALL NEW 6" HDPE STORM DRAIN LINE FROM PLANTER TO DITCH.
 - MINIMUM 2% SLOPE.
 - DAYLIGHT PIPE @ DITCH, INSTALL 4 FT X 4 FT RIP RAP PAD AROUND PIPE OUTLET.
- SEPTIC DRAINFIELD LOCATION, SEE ARCHITECTURAL SITE PLAN FOR DETAILS.
- INSTALL EMBANKMENT PER 4-C02.
- OVERSEED ALL DISTURBED SOIL PER EROSION CONTROL PLAN, TYPICAL.
- INSTALL GUTTERS AND DOWNSPOUTS ON ROOF DRIP EDGE, SEE ARCH FOR LOCATIONS. CONNECT DOWNSPOUTS TO STORM DRAIN LINES & ROUTE TO STORMWATER PLANTER.
- DASHED LINES SHOW VEHICLE TURN-AROUND (TEE).
 - INSIDE TURN RADIUS: 20 FT
 - TEE DEPTH: 20 FT
 - TEE LENGTH: 60 FT
- RETAINING WALL AT HOUSE SITE, BY OTHERS.
- EMERGENCY VEHICLE TURNOUT
- INSTALL NEW 6 FT X 15 FT LINED WATER QUALITY PLANTER PER DETAIL SW-208 ON SHEET C-04.
 - SURFACE ELEVATION= 962.1' +/-
- INSTALL NEW 4 FT X 25 FT LINED WATER QUALITY PLANTER PER DETAIL SW-208 ON SHEET C-04.
 - SURFACE ELEVATION=881.5' +/-
 - SLOPE PLANTER WALLS AS REQUIRED TO MAINTAIN 6" ABOVE ADJACENT GRADE.
 - MAINTAIN MINIMUM PONDING & FREEBOARD DEPTH AS REQUIRED IN TYPICAL DETAIL
 - ROUTE UNDERDRAINS & OVERFLOW TO STORMWATER DETENTION STRUCTURE.
- APPROXIMATE LOCATION OF DOMESTIC WATER WELL, SEE ARCHITECTURAL SITE PLAN FOR DETAILS.

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GERMANTOWN RESIDENTIAL DRIVEWAY

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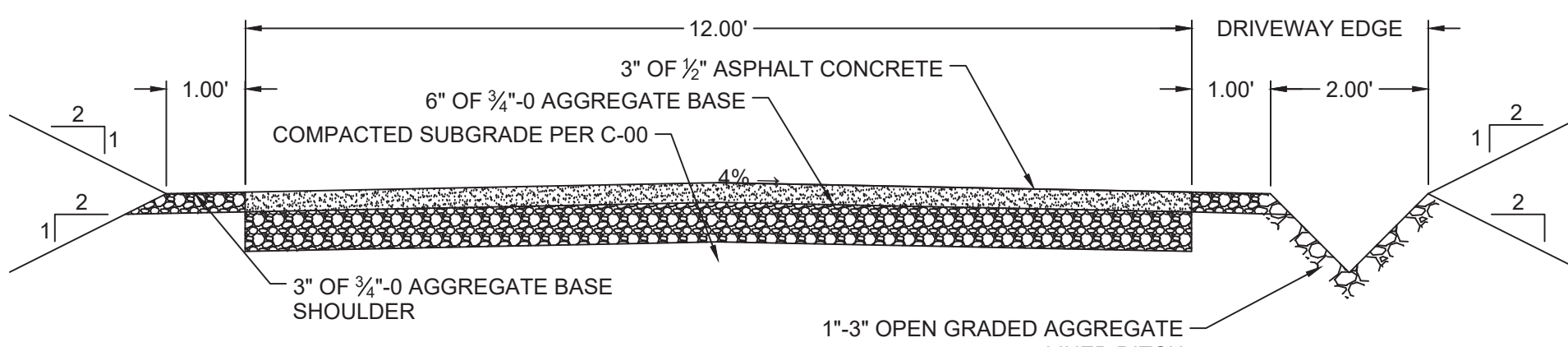
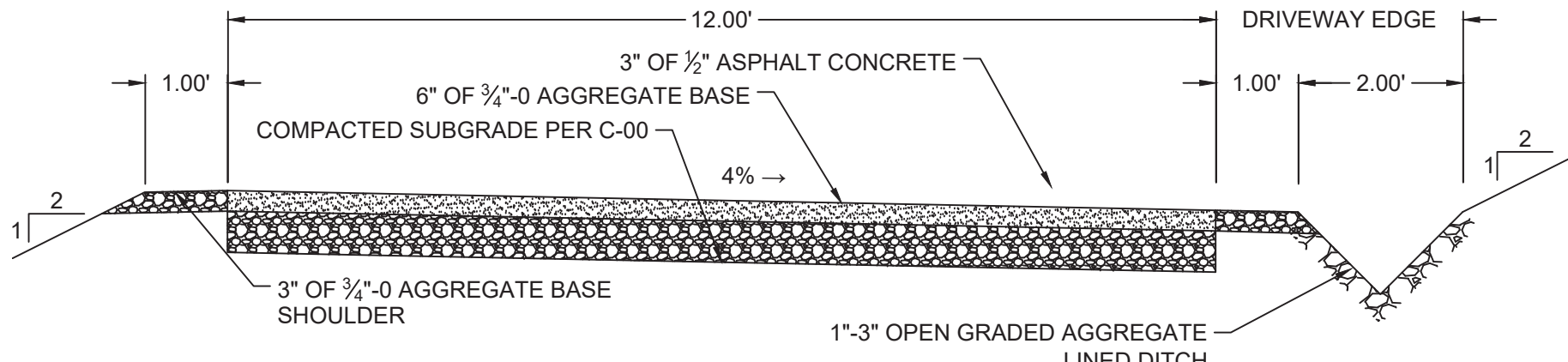
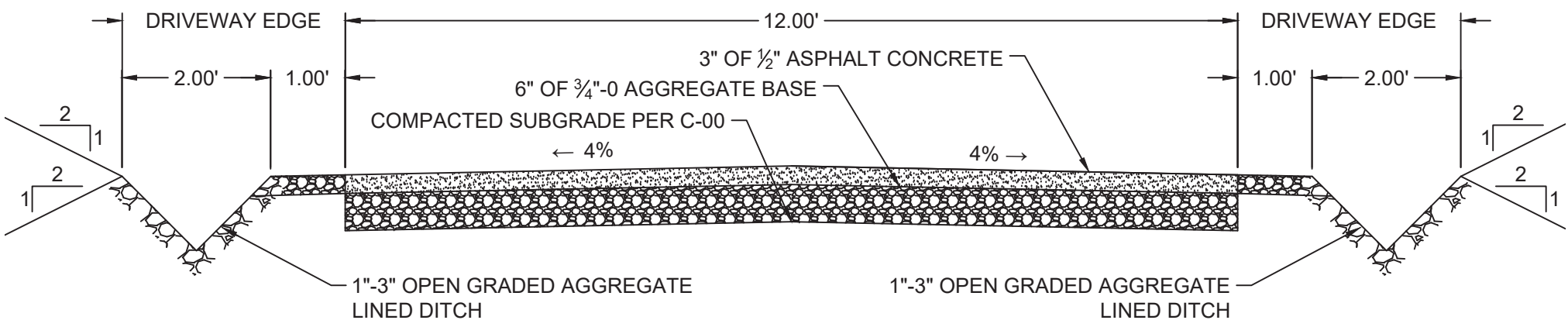
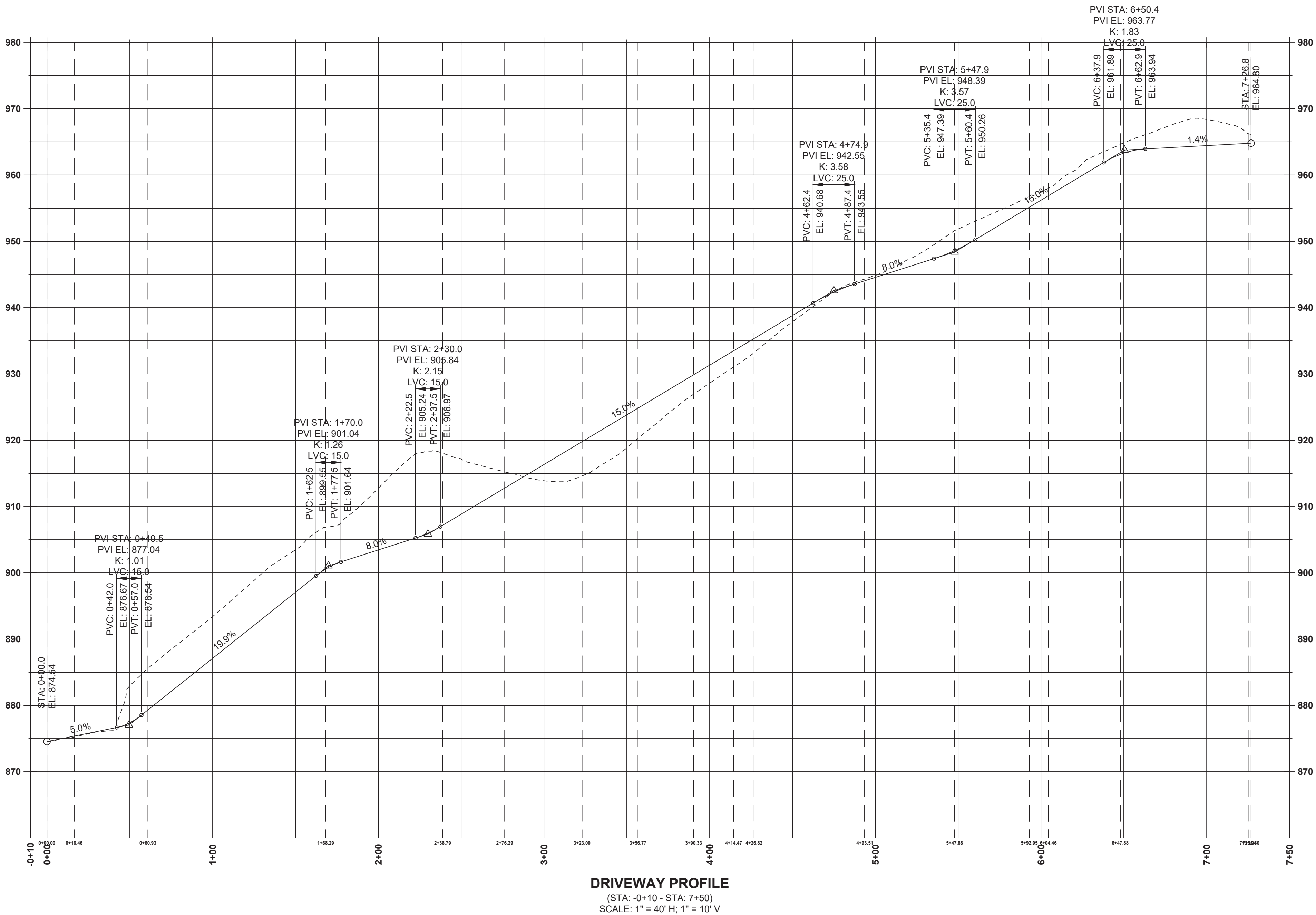
Date: 2/24/2026
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Checked by: WCL

Revisions:
R1 4/27/2026

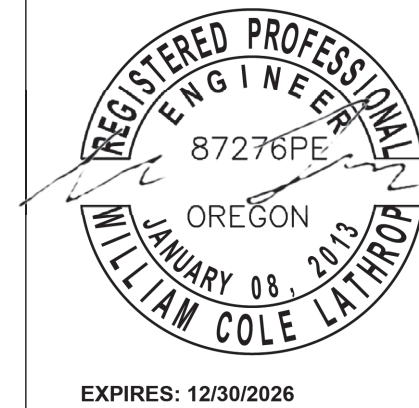
DRIVEWAY GRADING & DRAINAGE PLAN

C02

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GERMANTOWN
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DRIVEWAY GRADING AND
DRAINAGE PLAN

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DRIVEWAY
PROFILE
AND
TYPICAL
SECTIONS

C03



1. INSTALL SILT FENCE PER DETAIL 4.3-A
2. INSTALL CONSTRUCTION GRAVEL ENTRANCE PER DETAILS 4-2A
3. INSTALL STRAW WATTLES ON DISTURBED SLOPES SPACED AT 50' O.C. INSTALL PERPENDICULAR TO SLOPE AND PER DETAIL 4.3-C.
4. ROUGHEN DISTURBED SOIL SURFACE PER DETAIL 4.5-B
5. INSTALL FILTER BAGS IN SWALES SPACED AT 50' O.C. (TYP) PER DETAIL 4.3-D
6. CONSTRUCTION MATERIAL LAY-DOWN AREA
7. INSTALL INLET PROTECTION PER DETAIL 4.3-B
8. NO GROUND DISTURBANCE BEYOND 200' CREEK OFFSET

A. EROSION CONTROL PLAN TO CONFORM TO CITY OF PORTLAND'S EROSION CONTROL MANUAL, 2022.

B. 24-HOUR EMERGENCY CONTACT INFORMATION:

B.A. NAME: STEPHEN KAPLAN

B.B. COMPANY: CRAFTED HOMES

B.C. PHONE: 503-457-7984

B.D. EMAIL: STEPHEN@CRAFTED-HOMES.COM

C. CONSTRUCTION SEQUENCING TO BE PERFORMED AS SUCH:

C.A. PHASE 1- MASS GRADING, STORM DRAIN AND DRIVEWAY BASE CONSTRUCTION

C.B. PHASE 2- CONCRETE, FOUNDATION AND SEPTIC SYSTEM CONSTRUCTION

C.C. PHASE 3- REMOVAL OF GRAVEL ENTRANCE, PAVE DRIVEWAY

C.D. PHASE 4- BUILDING CONSTRUCTION

C.E. PHASE 5- STORMWATER PLANTER SOIL INSTALLATION AND LANDSCAPING

C.F. PHASE 6- REMOVE TEMPORARY BMPs

- EROSION CONTROL SCHEDULE
- SEE GENERAL NOTE C FOR PHASES OF CONSTRUCTION.
- PHASE 1- 6/1/26 - 7/1/26
PHASE 2- 7/1/26 - 9/1/26
PHASE 3- 9/1/26 - 10/1/26
PHASE 4- 10/1/26 - 4/1/27
PHASE 5- 4/1/27 - 4/10/27
PHASE 6- 4/10/27



REGISTERED PROFESSIONAL
ENGINEER
87276PE
OREGON
JANUARY 08, 2013
WILLIAM COLE LATHROP
EXPIRES: 12/30/2026

**GERMANTOWN
CENTIAL DRIVE**

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