

## NOTICE OF PUBLIC HEARING

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A public hearing scheduled to consider the land use case(s) cited and described below.

**Case File:** T3-2021-14962

Scheduled before one of the following County Hearings Officer's on **Friday, March 11, 2022 at 10:30 a.m.** or soon thereafter via virtual meeting.

**Participation Options and Instructions:** This hearing will be open to the public. Interested parties may contact our office to register for this event. Please provide your name, phone number, and email address either by phone to (503) 988-3043 or by email to [land.use.planning@multco.us](mailto:land.use.planning@multco.us) **no later than noon on Thursday, March 10, 2022.**

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**Proposal:** The Corbett School District requests a Community Service Conditional Use permit, Significant Environmental Concern permit, Design Review, and Variance [to the minimum yard requirements] to establish a Middle School and District Office on the subject property. Reynolds School District previously utilized the property. Proposed improvements include a building addition, parking/circulation improvements, updates to the existing septic system, and a new stormwater system.

**Location:** **Address:** 31520 E Woodard Road, Troutdale **Map, Tax Lot:** 1S4E05AB -00200  
**Alternate Account #:** R994050530 **Property ID #:** R341422

**Applicant:** Matt Alexander, Lower Columbia Engineering **Owner:** Corbett School District

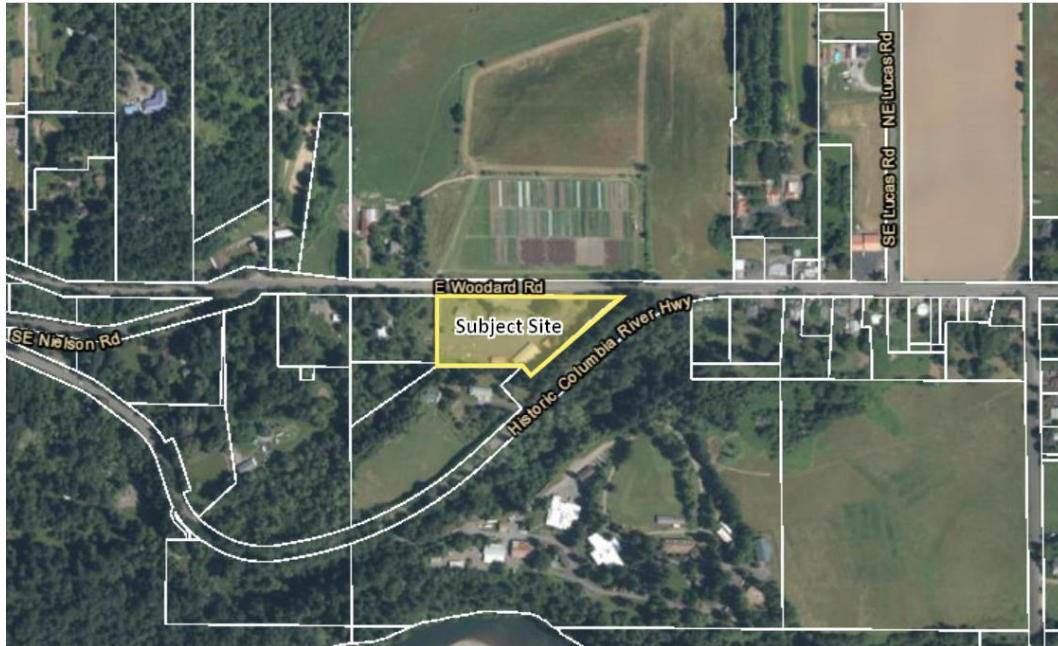
**Zoning:** Rural Residential (RR) **Site Size:** 3.50 acres

**Overlay(s):** Significant Environmental Concern (SEC); Significant Environmental Concern for Streams (SEC-s)

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## Vicinity Map

N↑



## **Public Participation and Hearing Process:**

A digital copy of the application and all evidence submitted in support of the application is available at no cost. A staff report and exhibits will be available for inspection seven (7) days prior to the hearing on our website at [www.multco.us/landuse/hearings-officer](http://www.multco.us/landuse/hearings-officer). Copies of all documents may be purchased at the rate of \$0.40/per page. For further information on this case, contact Chris Liu, Staff Planner via email at [chris.liu@multco.us](mailto:chris.liu@multco.us).

**Public Participation:** All interested parties may appear and testify or submit written comment on the proposal at or prior to the hearing. Comments should be directed toward approval criteria applicable to the request. The hearing procedure will follow the Hearing Officer's *Rules of Procedure* and will be explained at the hearing.

**Hearing Process:** The Hearings Officer may announce a decision at the close of the hearing or on a later date, or the hearing may be continued to a time certain. Notice of the decision will be mailed to the applicant, any persons who submitted written comment, requested a decision in writing, or provided oral testimony at the hearing. A decision by the Hearings Officer may be appealed to the Land Use Board of Appeals (LUBA) by the applicant, the County, or other participants at the hearing.

Failure to raise an issue before the close of the public record in sufficient detail to afford the County and all parties an opportunity to respond may preclude appeal on that issue to the Land Use Board of Appeals (LUBA).

## **Applicable Approval Criteria** [Multnomah County Code (MCC)]:

### General Provisions

MCC 39.1515 Code Compliance and Applications,  
MCC 39.3005 Lot of Record – Generally

MCC 39.3030 Lot of Record – Rural Residential (RR)  
MCC 39.6235 Stormwater Drainage Control  
MCC 39.6850 Dark Sky Lighting Standards

Rural Residential Zone

MCC 39.4370 Conditional Uses – (A) Community Service Uses  
MCC 39.4375 Dimensional Requirements and Standards – (C), (D), (F), (H)  
MCC 39.4385 Lot Sizes for Conditional Uses  
MCC 39.4390 Off-Street Parking and Loading

Community Service Conditional Use

MCC 39.7505 General Provisions  
MCC 39.7510 Conditions and Restrictions  
MCC 39.7515 Approval Criteria – (A) – (H)  
MCC 39.7520 Uses – (A)(11) and (A)(19)  
MCC 39.7525 Restrictions

Design Review

MCC 39.8010 Design Review Plan Approval Required  
MCC 39.8020 Application of Regulations  
MCC 39.8025 Design Review Plan Contents  
MCC 39.8030 Final Design Review Plan  
MCC 39.8040 Design Review Criteria  
MCC 39.8045 Required Minimum Standards  
MCC 39.8050 Minor Exceptions: Yard, Parking, Sign, and Landscape Requirements  
MCC 39.6500 – 39.6600 Parking, Loading, Circulation and Access

Significant Environmental Concern: MCC 39.5510 Uses; SEC Permit Required, MCC 39.5520 Application for SEC Permit, MCC 39.5540 Criteria for Approval of SEC Permit

Variance: MCC 39.8200 Adjustment and Variances; Generally, MCC 39.8205 Scope, MCC 39.8215 Variance Approval Criteria

Comprehensive Plan Policies: Policy 2.7, 6.4, and 11.17

Copies of the referenced Multnomah County Code sections are available by contacting our office at (503) 988-3043 or by visiting our website at <https://multco.us/landuse/zoning-codes/> under the link **Chapter 39: Multnomah County Zoning Code** and at <https://multco.us/landuse/comprehensive-plan> under the link **Multnomah County Comprehensive Plan**.

**Enclosures:**

Site Plans  
Building Plans  
Building Elevations

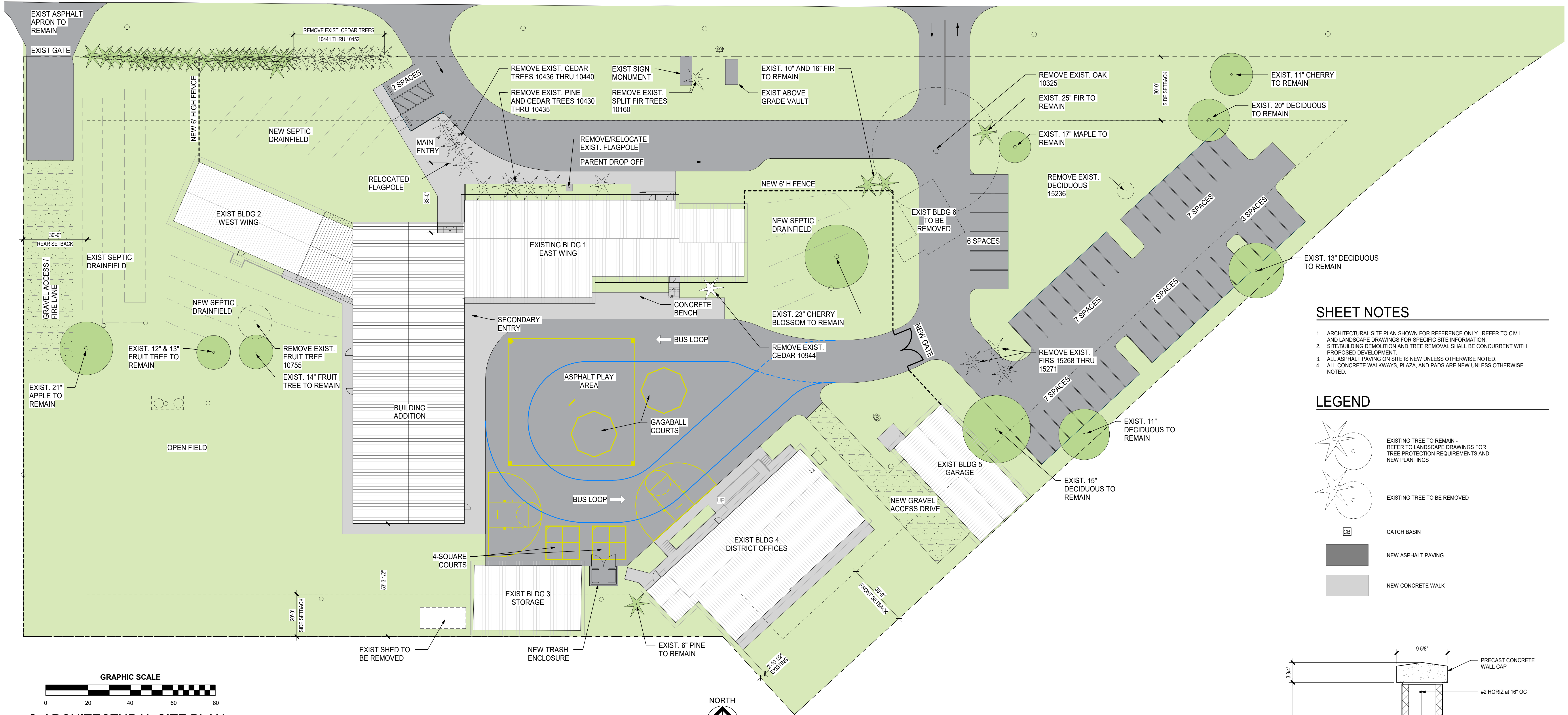
**Notice to Mortgagee, Lien Holder, Vendor, or Seller:**

ORS Chapter 215 requires that if you receive this notice it must be promptly forwarded to the purchaser.



# Exhibit A.14

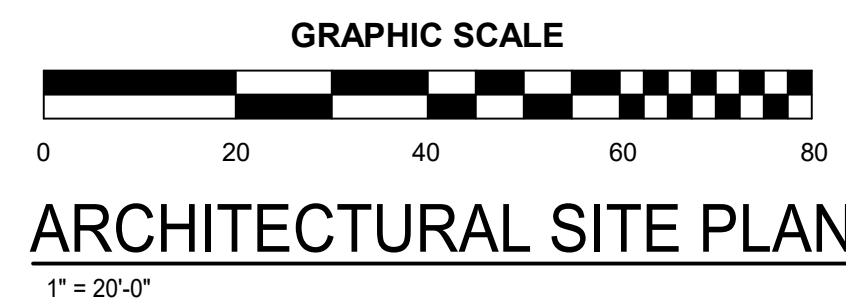
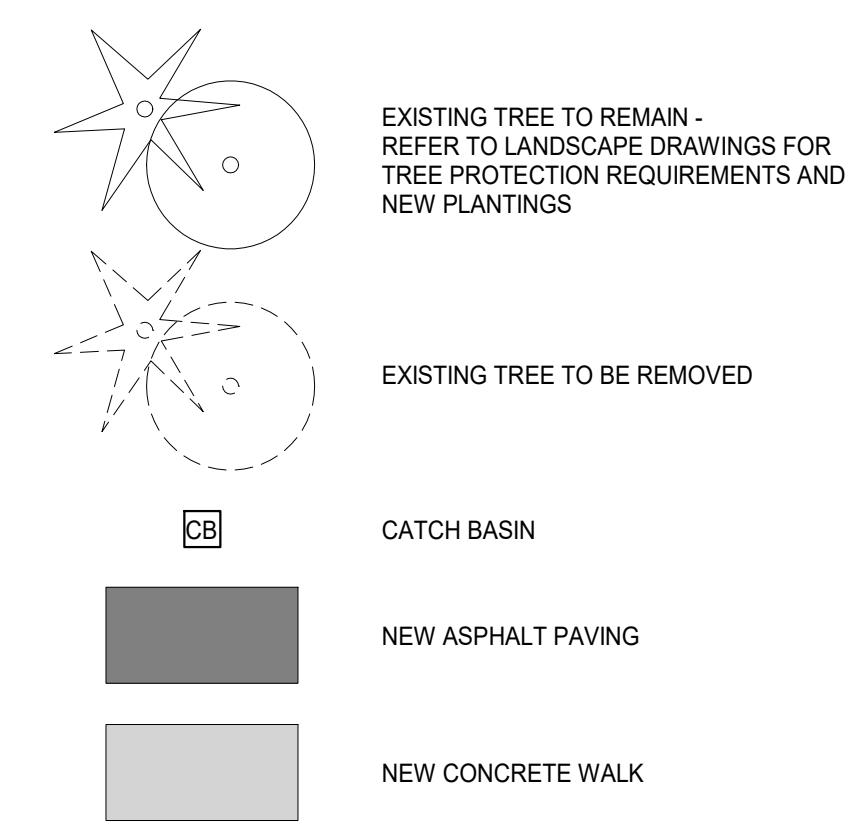
E. WOODARD ROAD



## SHEET NOTES

1. ARCHITECTURAL SITE PLAN SHOWN FOR REFERENCE ONLY. REFER TO CIVIL AND LANDSCAPE DRAWINGS FOR SPECIFIC SITE INFORMATION.
2. SITE BUILDING DEMOLITION AND TREE REMOVAL SHALL BE CONCURRENT WITH PROPOSED DEVELOPMENT.
3. ALL ASPHALT PAVING ON SITE IS NEW UNLESS OTHERWISE NOTED.
4. ALL CONCRETE WALKWAYS, PLAZA, AND PADS ARE NEW UNLESS OTHERWISE NOTED.

## LEGEND



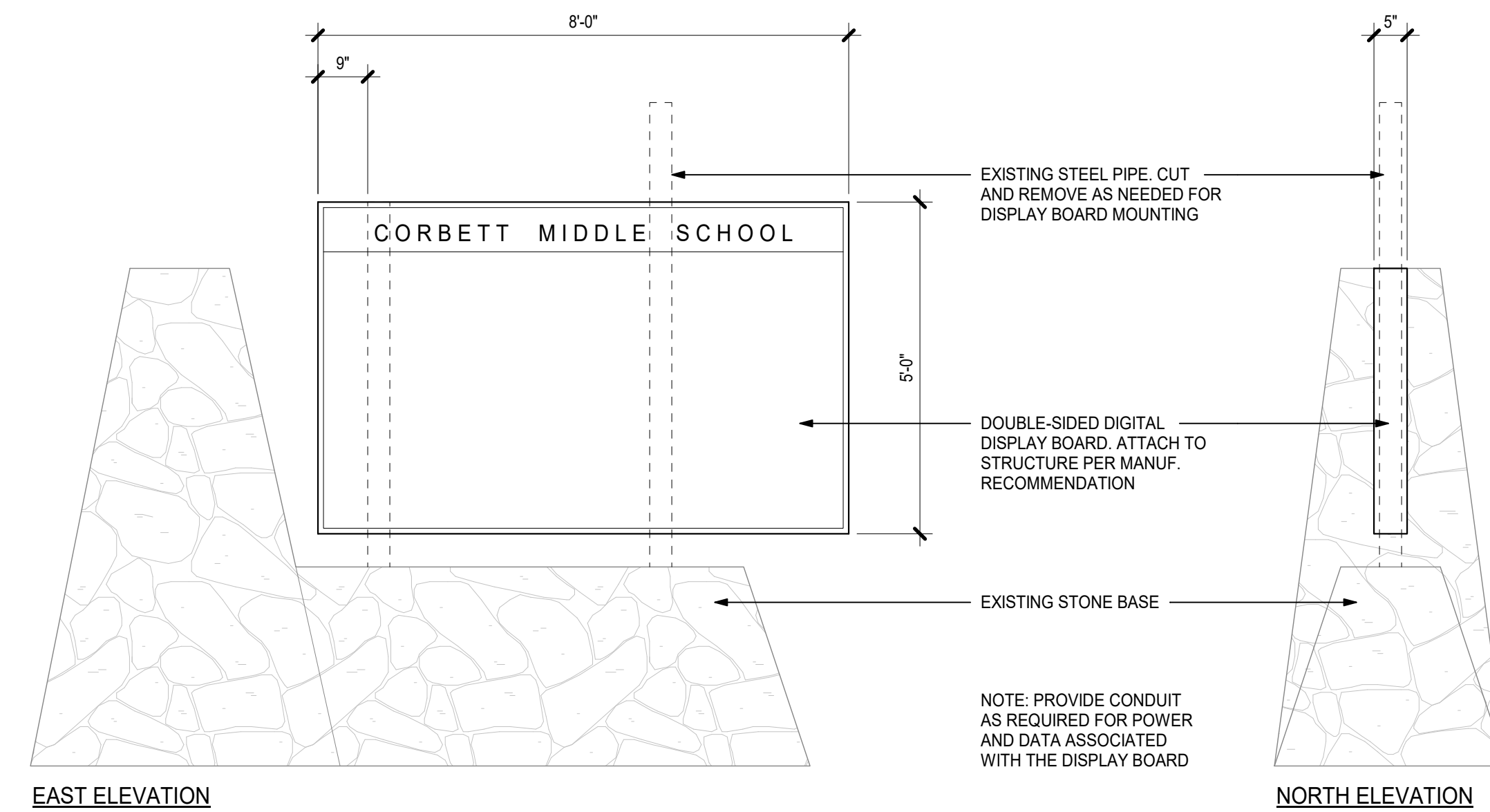
## 1 ARCHITECTURAL SITE PLAN

## TREE REMOVAL SCHEDULE

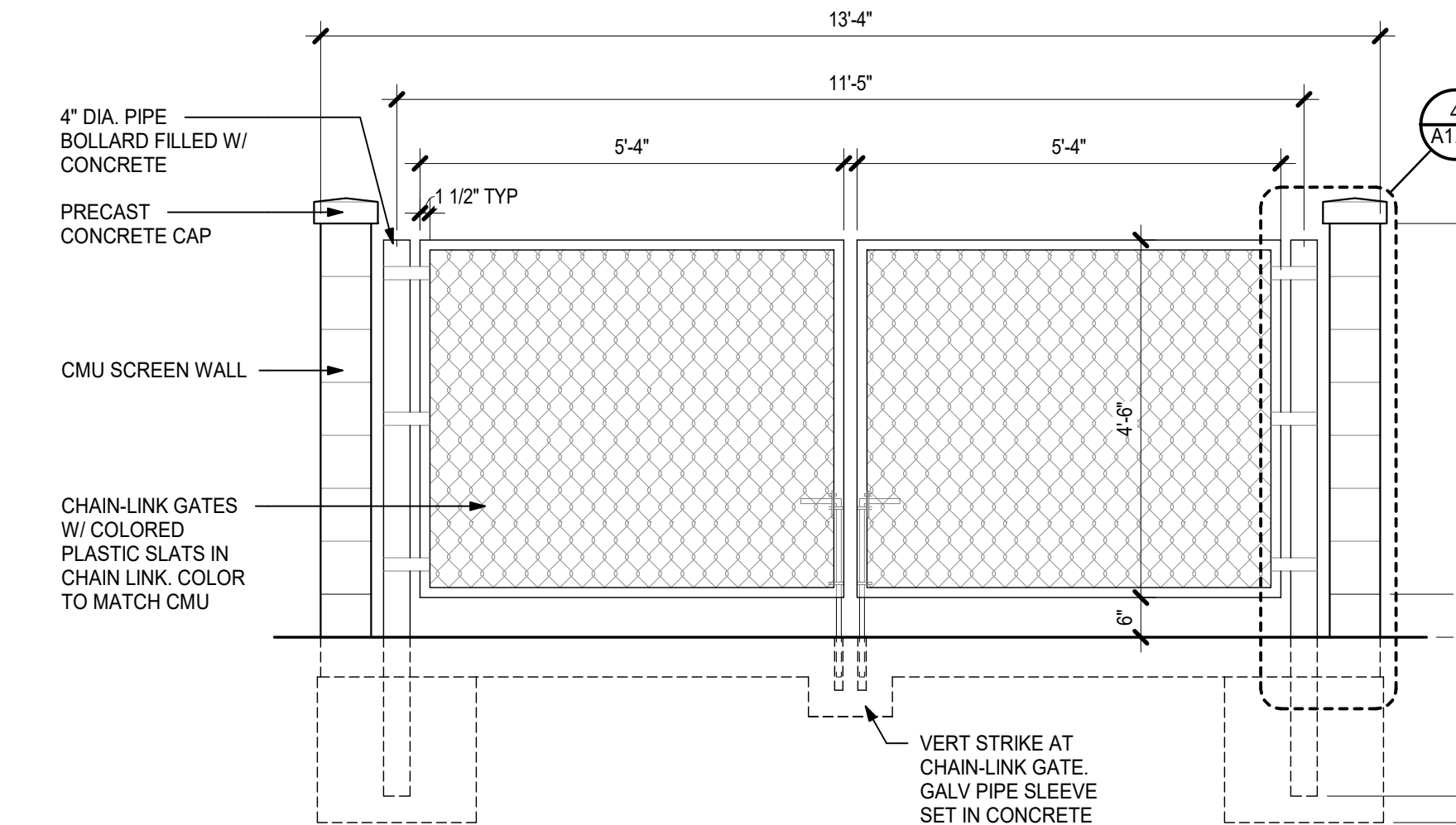
1. REFER TO TREE INFORMATION ON TOPOGRAPHIC SURVEY DRAWING FOR TREE SPECIES AND CALIPER OF ALL ON SITE TREES
2. REFER TO LANDSCAPE DRAWINGS FOR TREE PROTECTION FENCING REQUIREMENTS AND NOTES OF TREES TO REMAIN.

TREES TO BE REMOVED AS IDENTIFIED ON SITE PLAN ARE AS FOLLOWS:

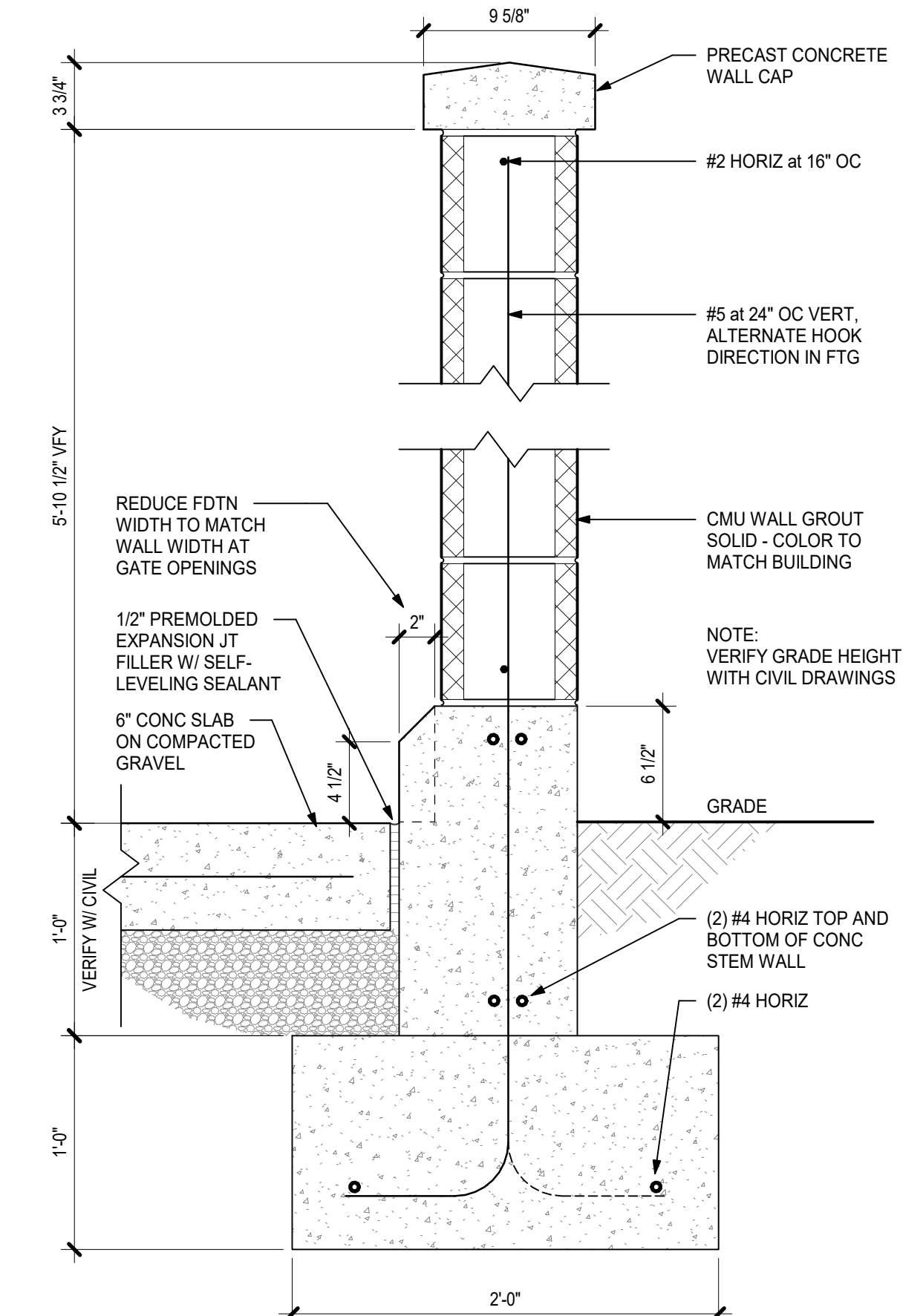
- 10160 - SPLIT 5", 8" & 10" FIR
- 10325 - 31" OAK
- 10430 - 16" PINE
- 10431 - 6" PINE
- 10432 - 20" TRUE CEDAR
- 10434 - 9" CEDAR
- 10435 - 13" PINE
- 10436 - SPLIT 4", 7" & 15" CEDAR
- 10437 - SPLIT 4", 7" & 15" CEDAR
- 10438 - 20" CEDAR
- 10439 - SPLIT 2 1/2" CEDAR
- 10440 - SPLIT 8" & 14" CEDAR
- 10441 - SPLIT 4", 8" & 11" CEDAR
- 10442 - 16" CEDAR
- 10443 - 6" CEDAR
- 10444 - SPLIT 9" & 10" CEDAR
- 10445 - 17" CEDAR
- 10446 - SPLIT 4", 7" & 15" CEDAR
- 10447 - SPLIT 9" & 10" CEDAR
- 10448 - 6" CEDAR
- 10449 - 31" CEDAR
- 10450 - SPLIT 8" & 14" CEDAR
- 10451 - SPLIT 9" & 10" CEDAR
- 10452 - 33" CEDAR
- 10691 - SPLIT 5", 6", 7" & 8" ALDER
- 10755 - SPLIT 2 1/2" & 12" FRUIT TREE
- 10944 - 6" CEDAR
- 15236 - 6" DECIDUOUS
- 15269 - 15" FIR
- 15269 - 12" FIR
- 15271 - 19" FIR



## 2 MONUMENT SIGN ELEVATIONS



## 3 TRASH ENCLOSURE ELEVATION



## 4 TRASH ENCLOSURE WALL SECTION

Corbett School District  
Woodard Campus  
31520 East Woodard Road,  
Troutdale, OR 97060



Project

Consultant

Revisions

No.	Description	Date

Stamp

Issuance

**DESIGN REVIEW**

Date

**06/21/2021**

Project Number

**20019**

Drawing Title

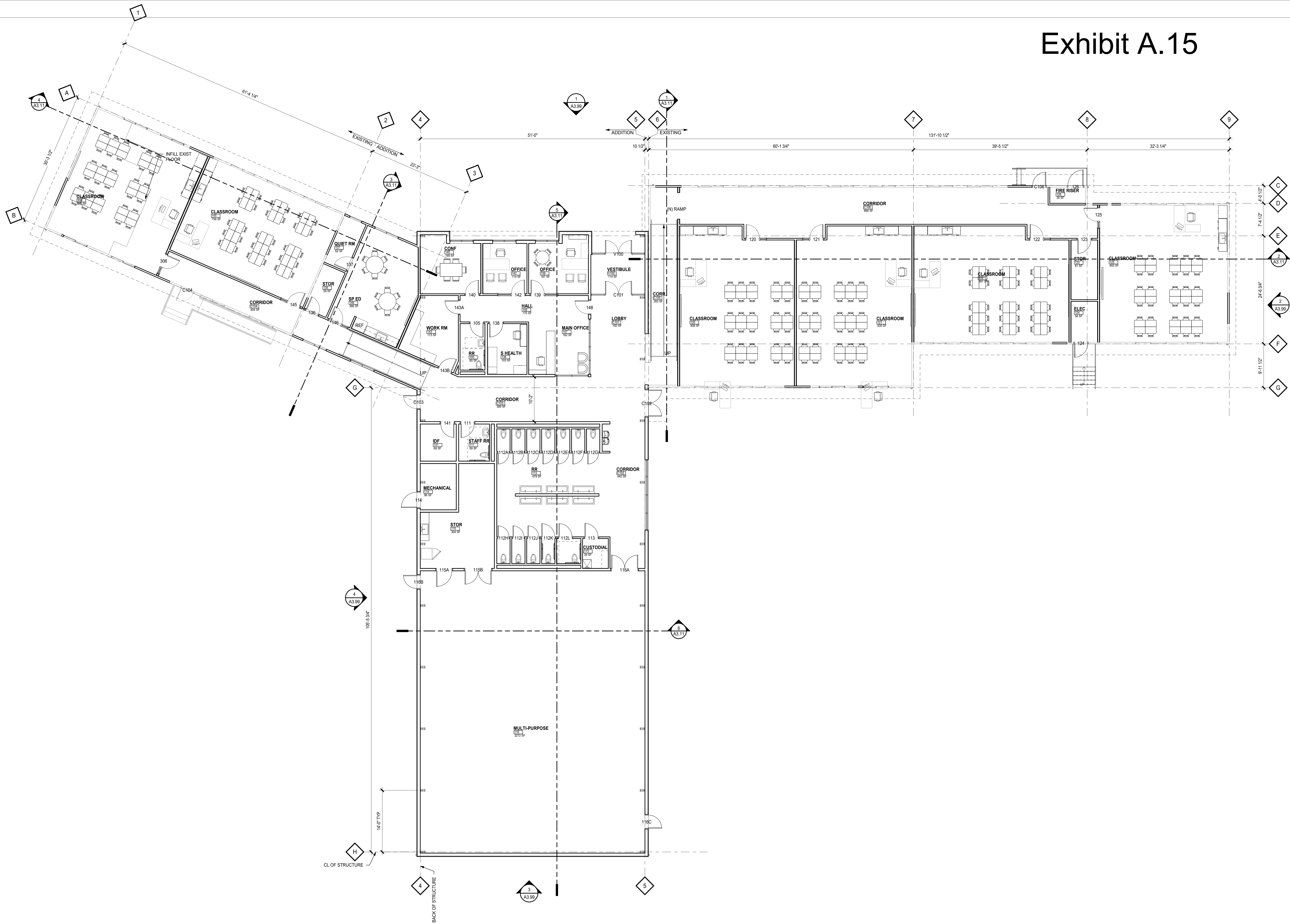
**ARCHITECTURAL  
SITE PLAN &  
DETAILS**

Sheet No.

**A1.01**



# Exhibit A.15



Corbett School District  
**Woodard Campus**  
31520 East Woodard Road,  
Troutdale, OR 97060



Project

Consultant

Revisions

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Drawing Title

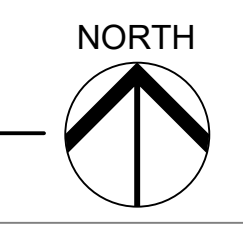
**MAIN BUILDING FLOOR PLAN**

Sheet No.

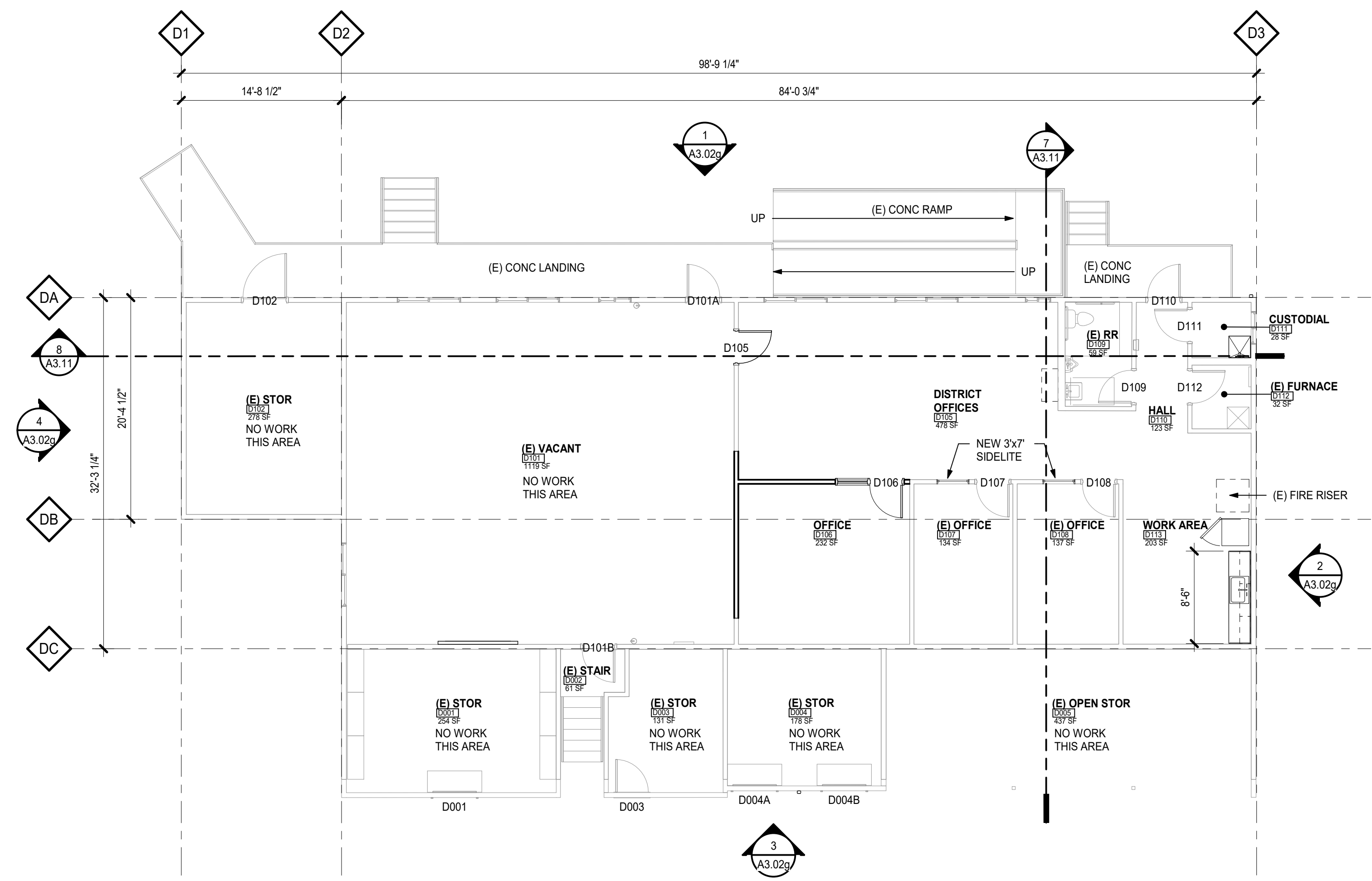
**A2.01**



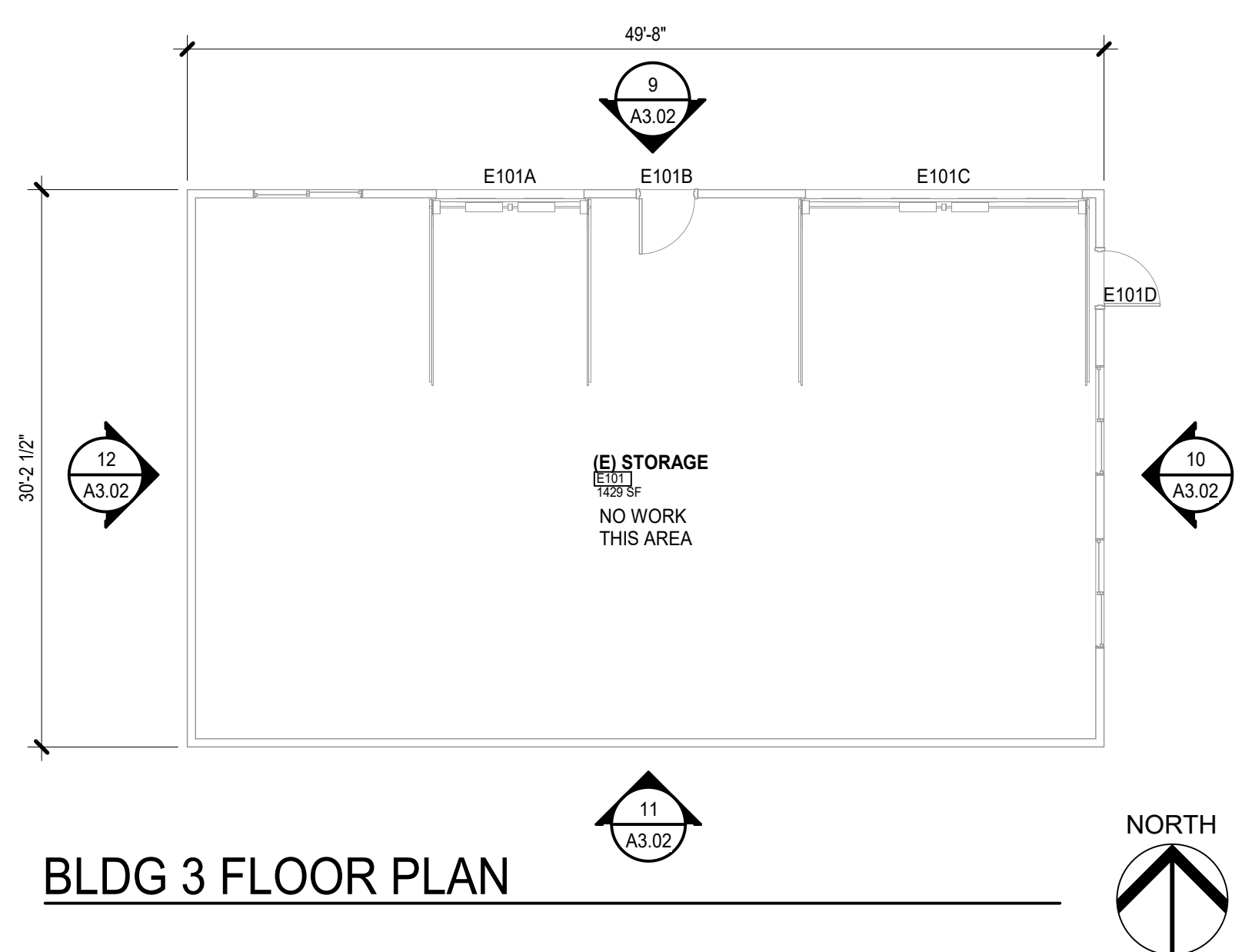
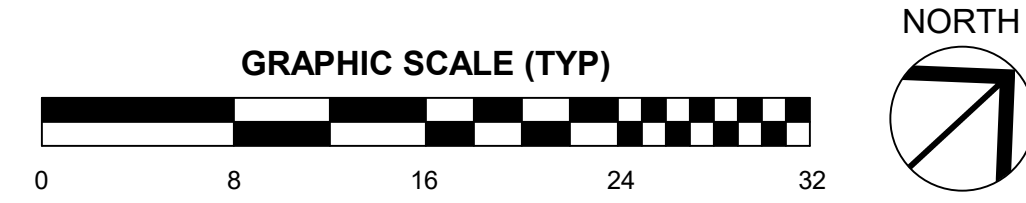
**1 MAIN BLDG FLOOR PLAN**  
1/8" = 1'-0"



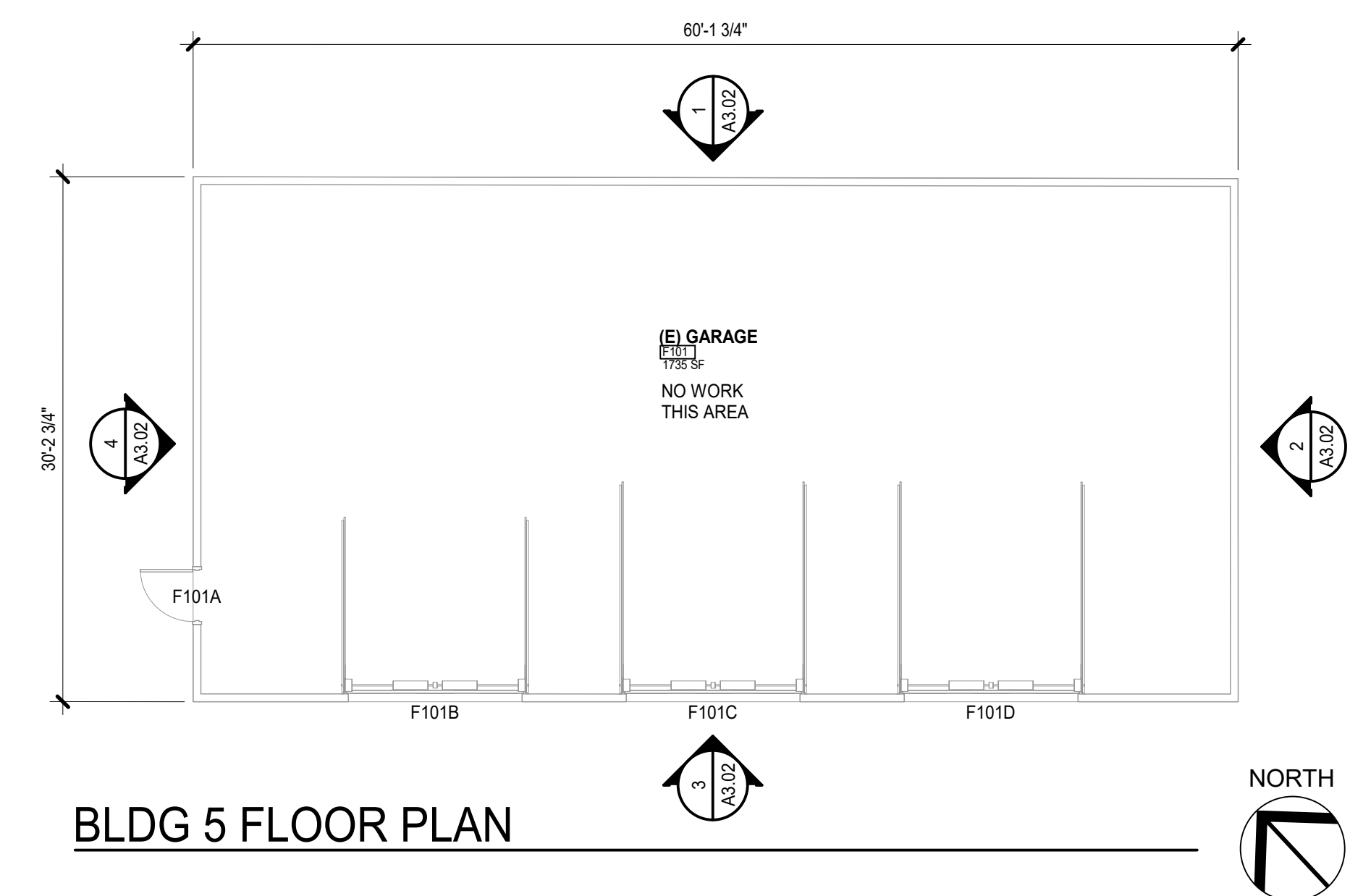
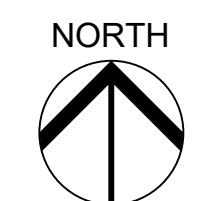
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copyright © 2018



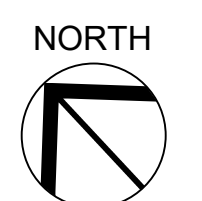
BLDG 4 FLOOR PLAN



BLDG 3 FLOOR PLAN



BLDG 5 FLOOR PLAN



# Exhibit A.16



Project

Consultant

Revisions

No.	Description	Date

Stamp

Issuance

**DESIGN REVIEW**

Date

**09/14/2021**

Project Number

**20019**

Drawing Title

**BUILDINGS 3, 4, 5  
FLOOR PLANS**

Sheet No.

**A2.02**

DATE 9/15/2021 9:25:50 AM  
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copyright © 2018





Project

Consultant

Revisions

No. Description Date

Stamp

Issuance

**DESIGN REVIEW**

Date

06/21/2021

Project Number

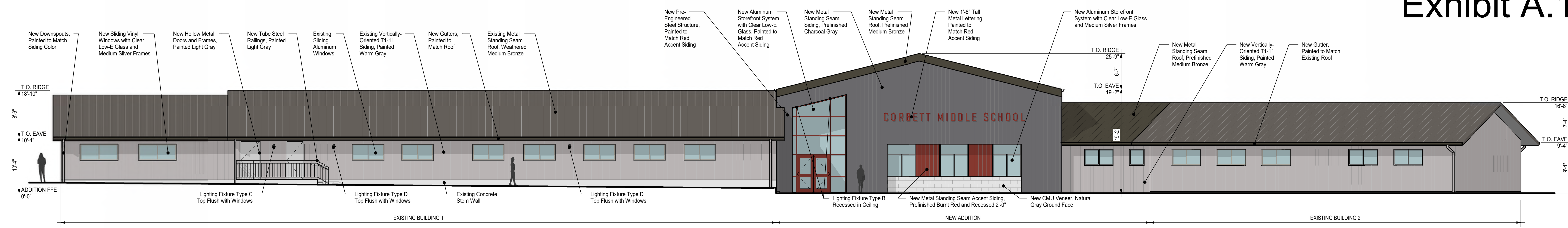
20019

Drawing Title

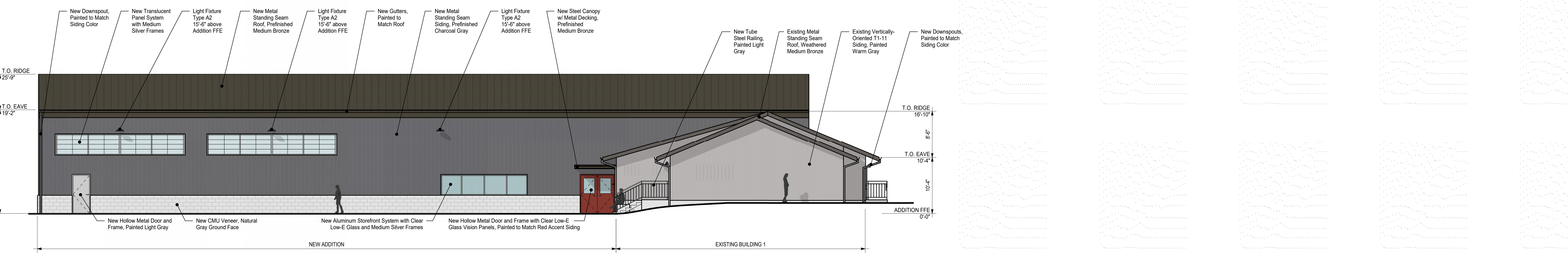
**MAIN BUILDING  
EXTERIOR ELEVS &  
MATERIAL PALETTE**

Sheet No.

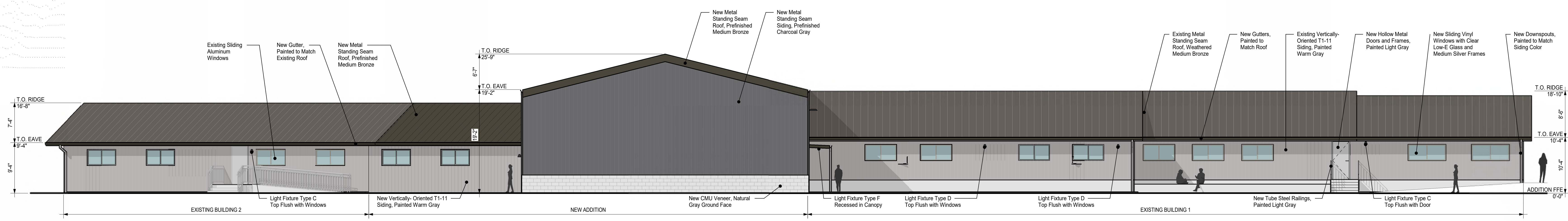
**A3.01**



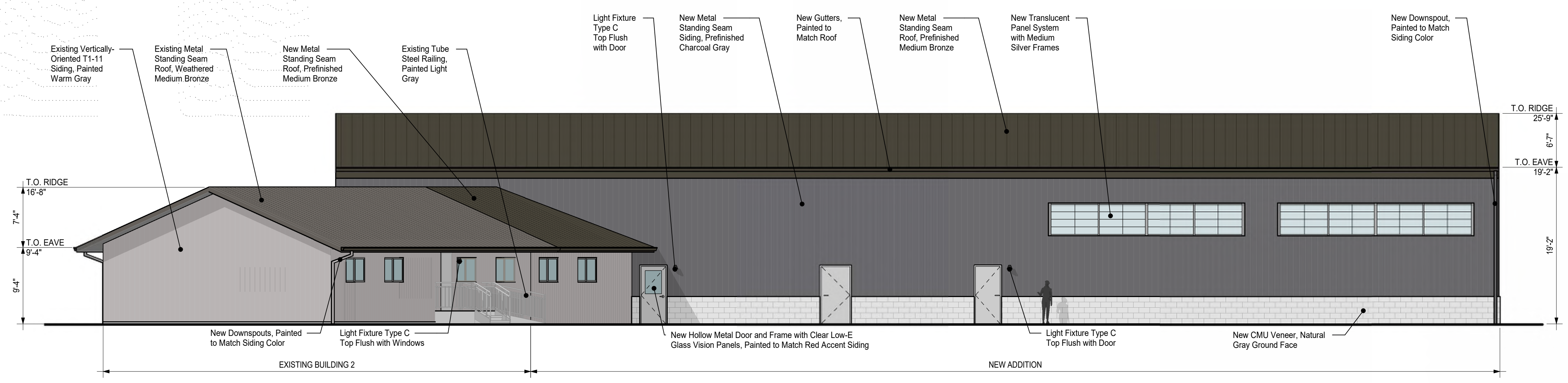
**Main Building - North Elevation**



**Main Building - East Elevation**



**Main Building - South Elevation**

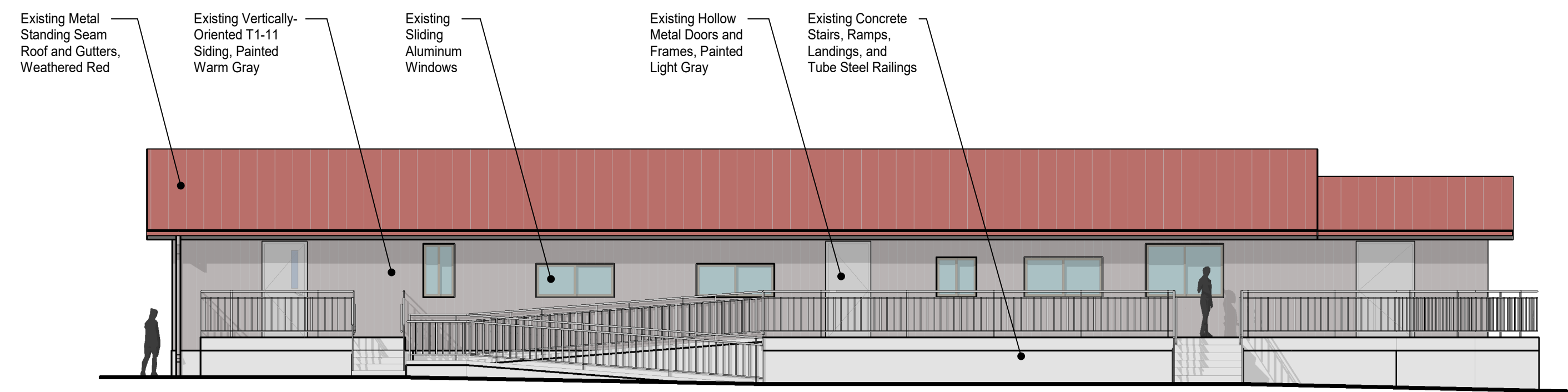


**Main Building - West Elevation**

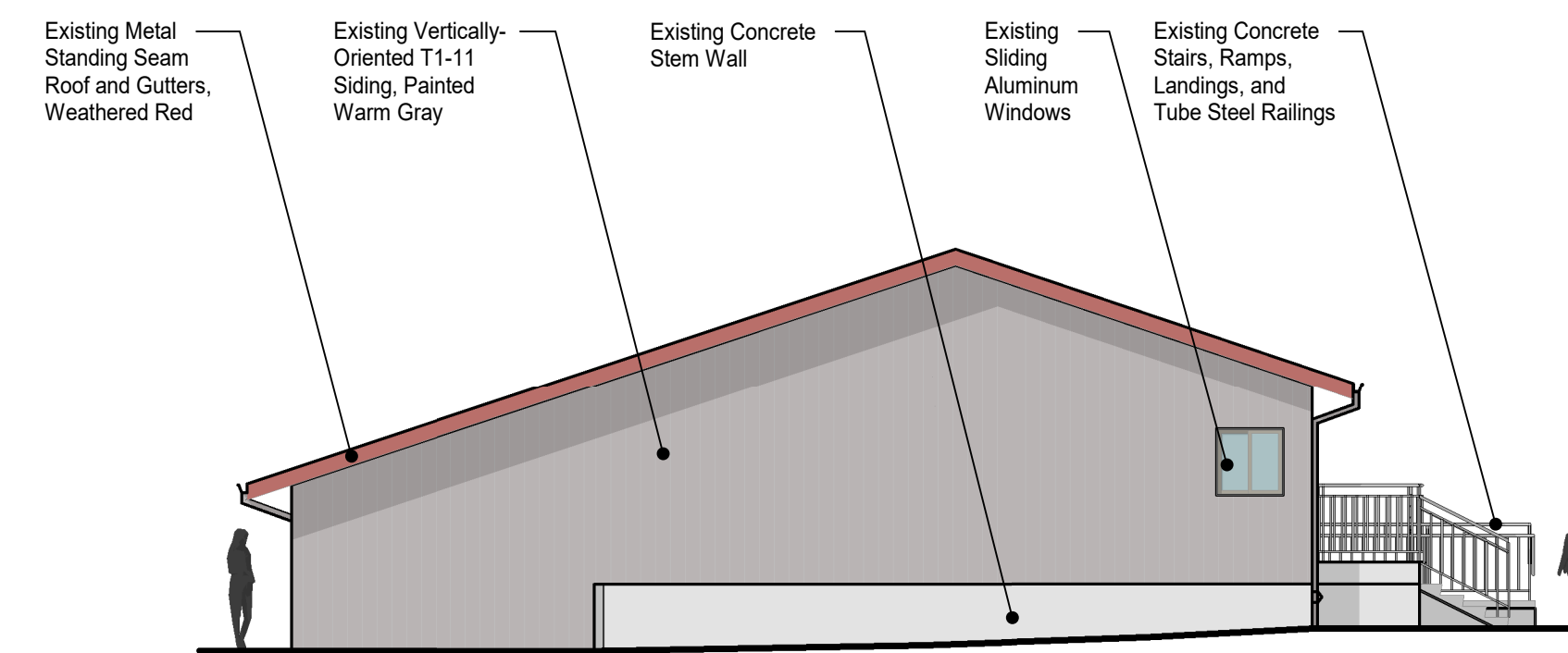
**Material Palette**


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 copyright © 2018

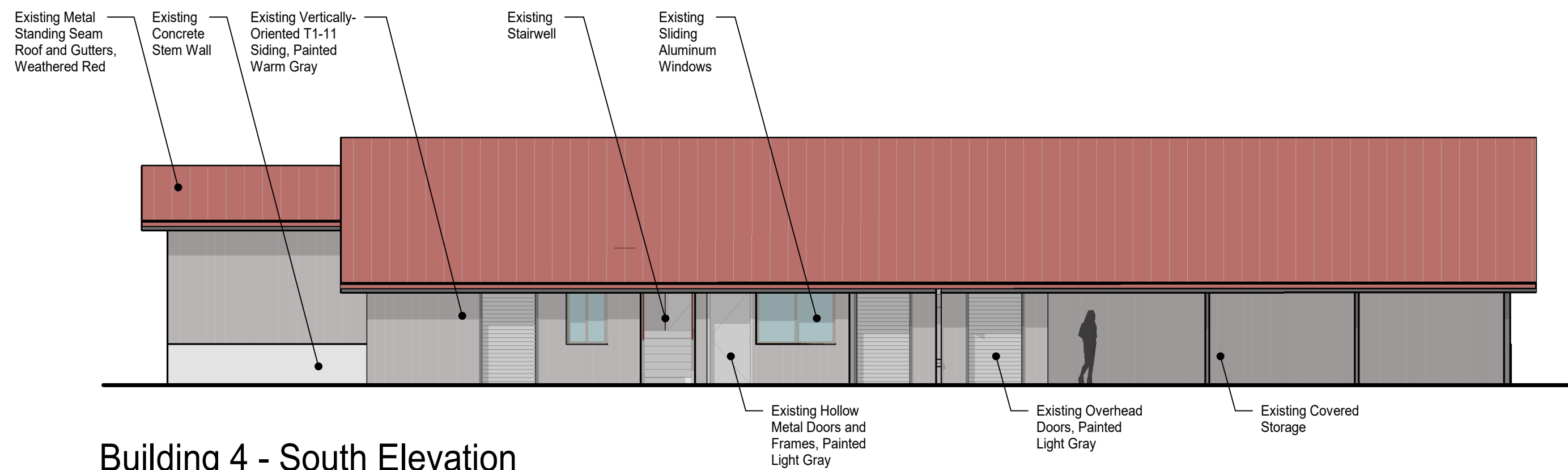




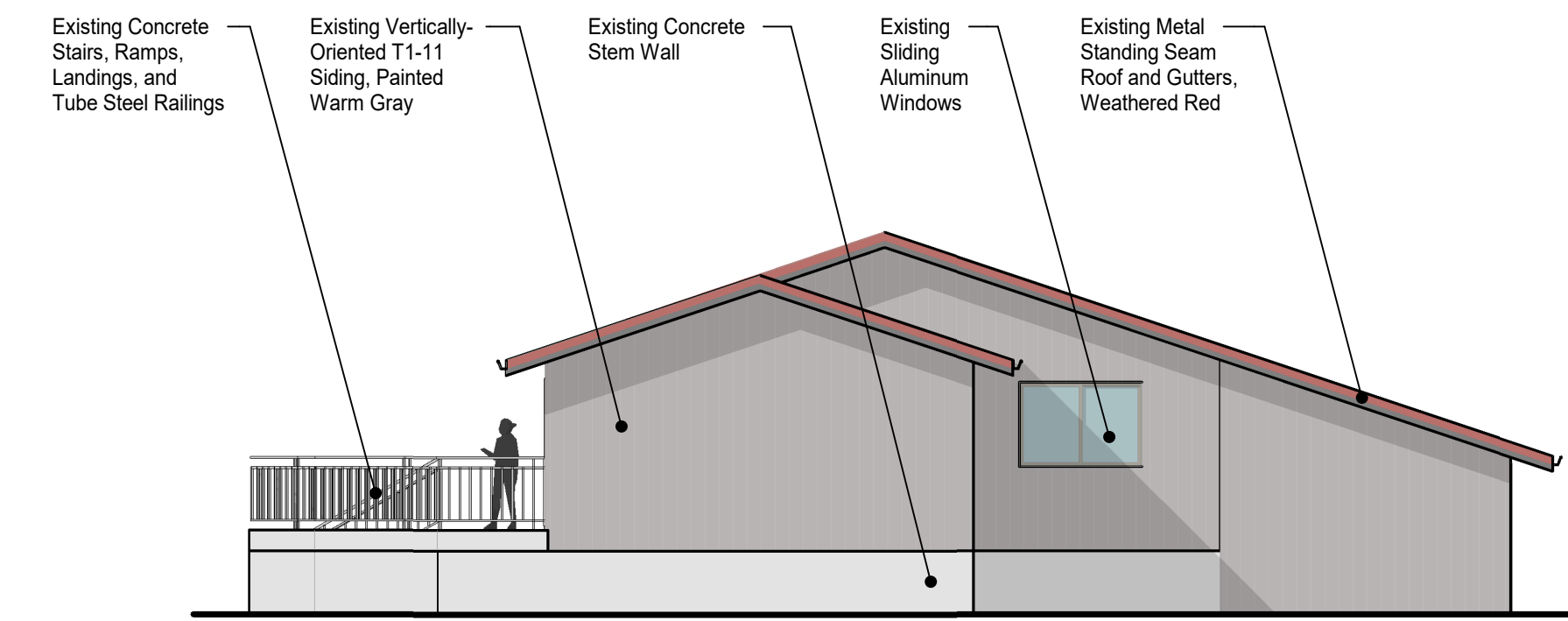
**Building 4 - North Elevation**



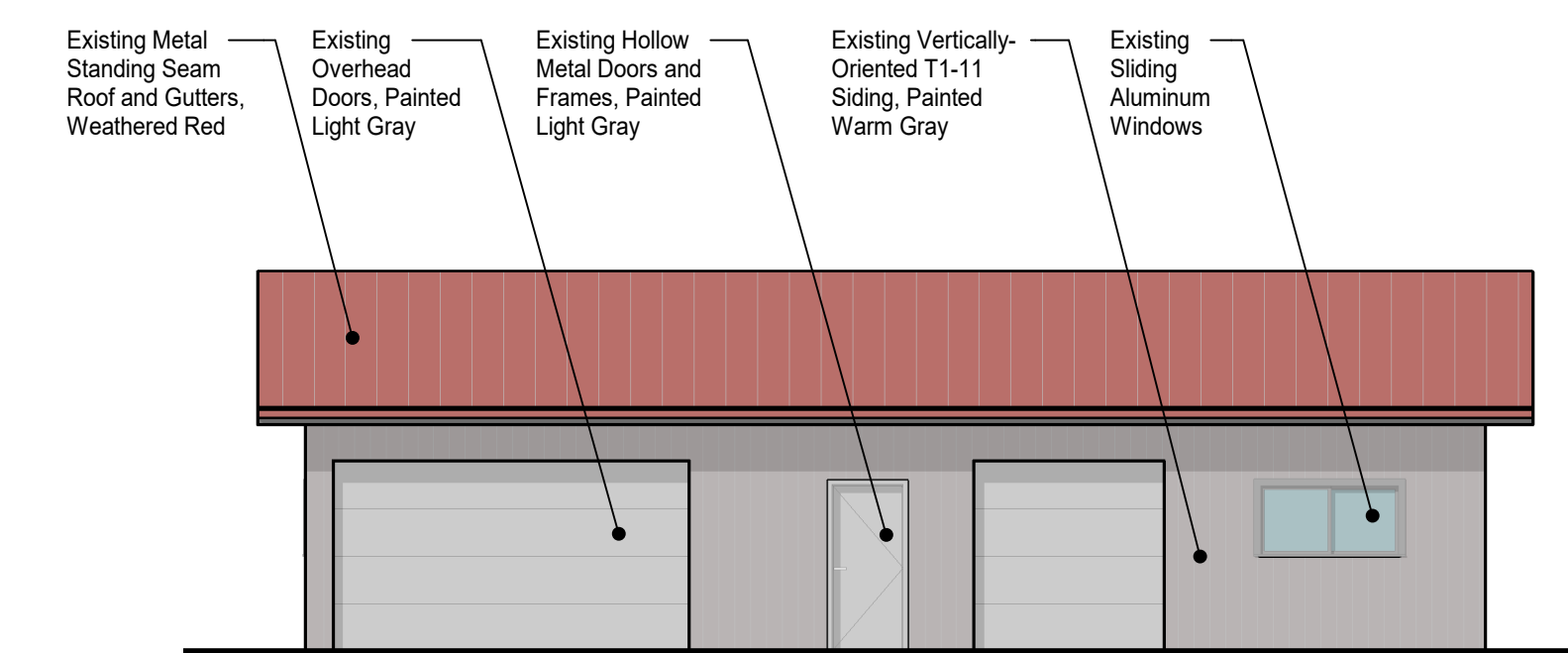
**Building 4 - East Elevation**



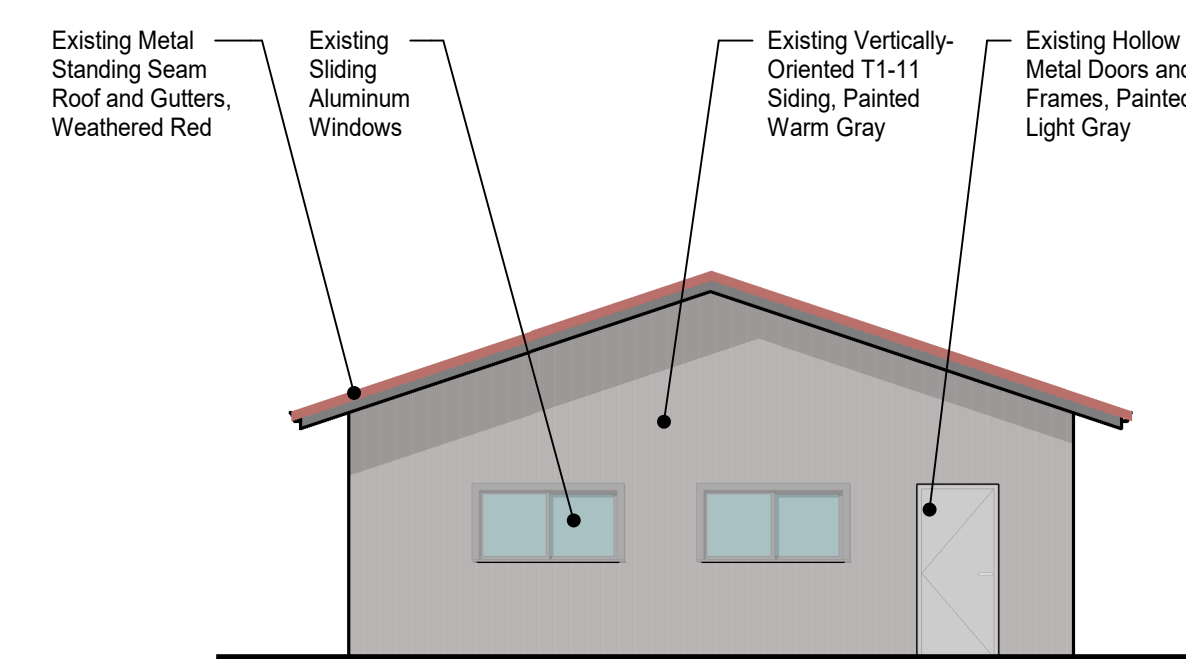
**Building 4 - South Elevation**



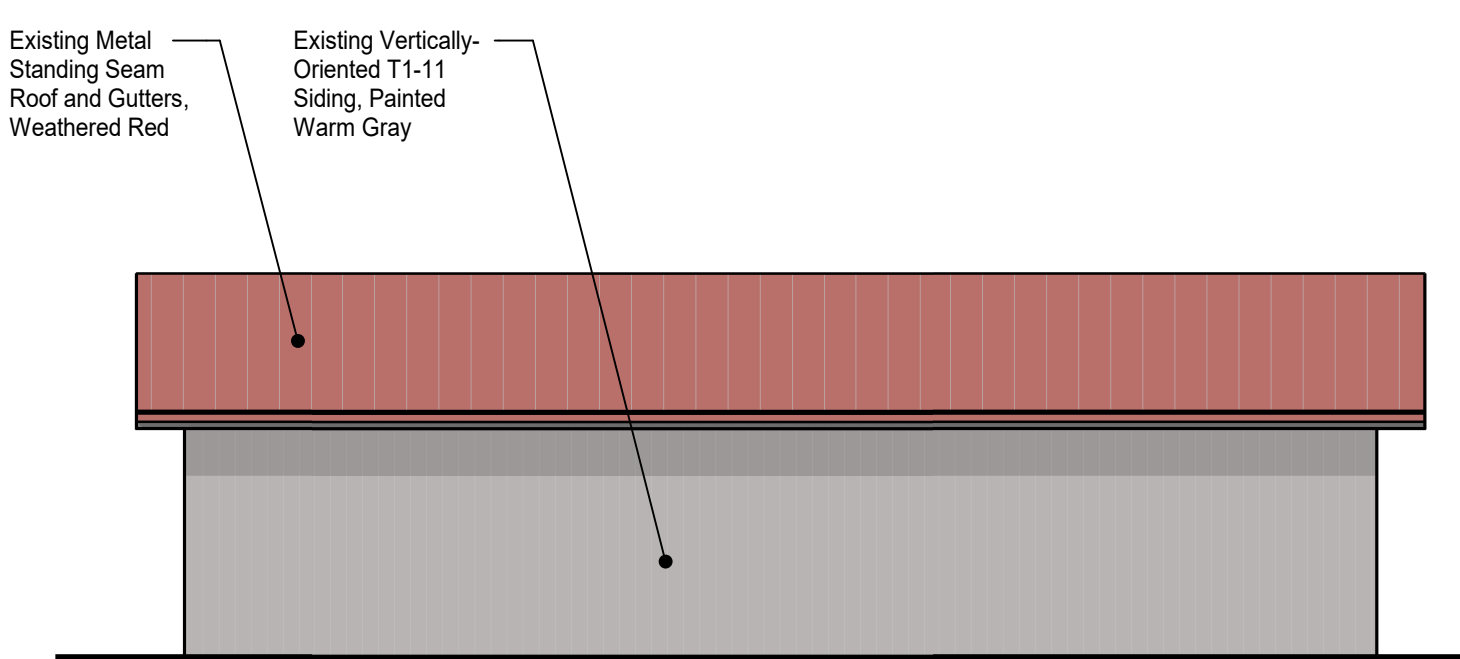
**Building 4 - West Elevation**



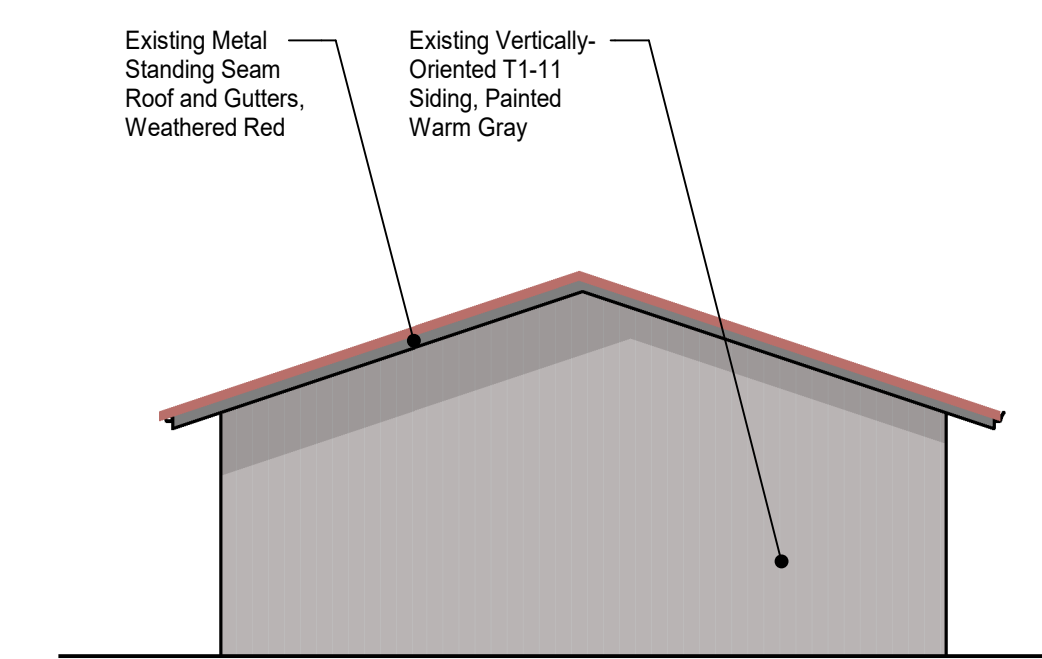
**Building 3 - North Elevation**



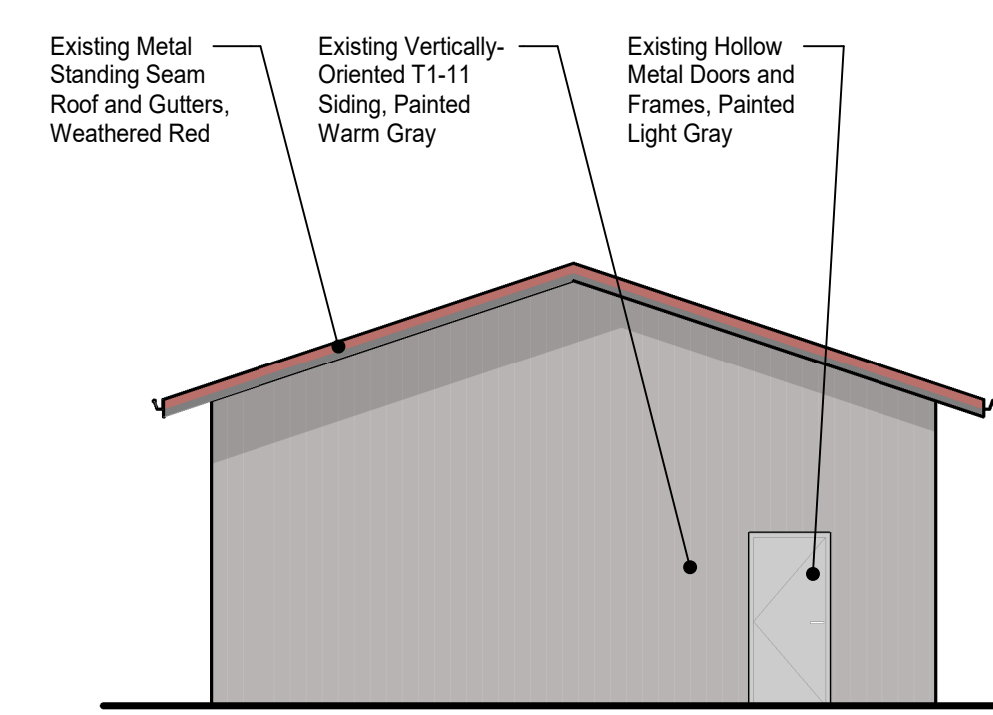
**Building 3 - East Elevation**



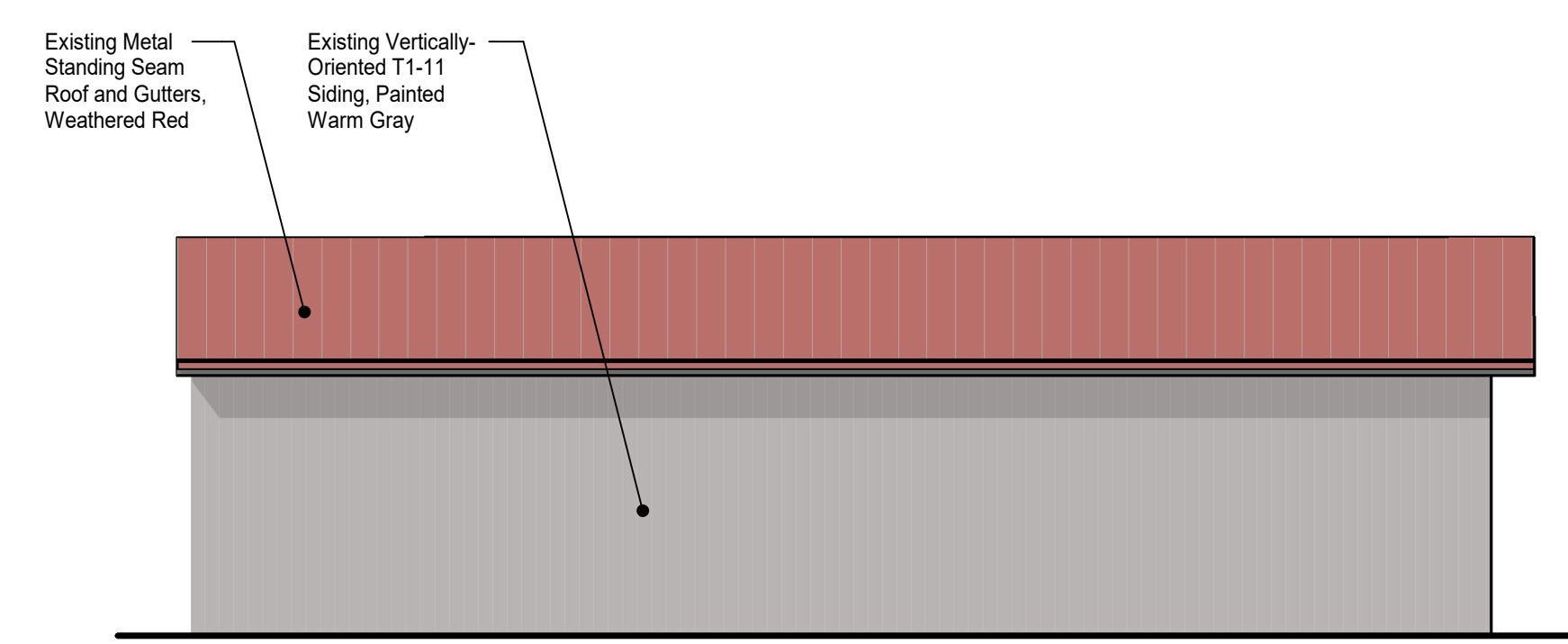
**Building 3 - South Elevation**



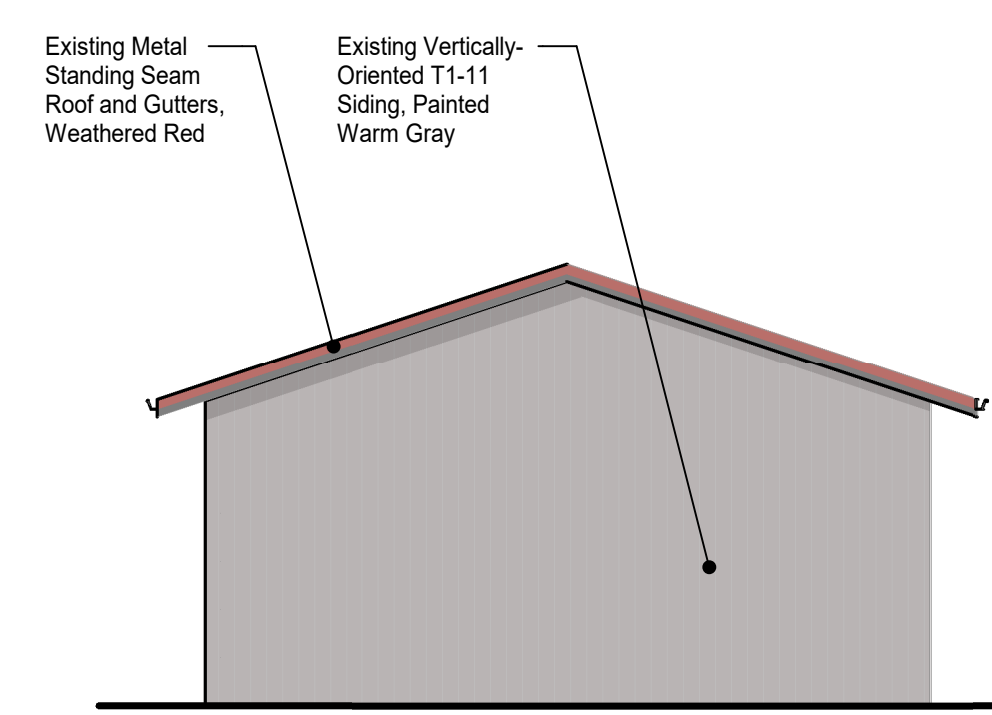
**Building 3 - West Elevation**



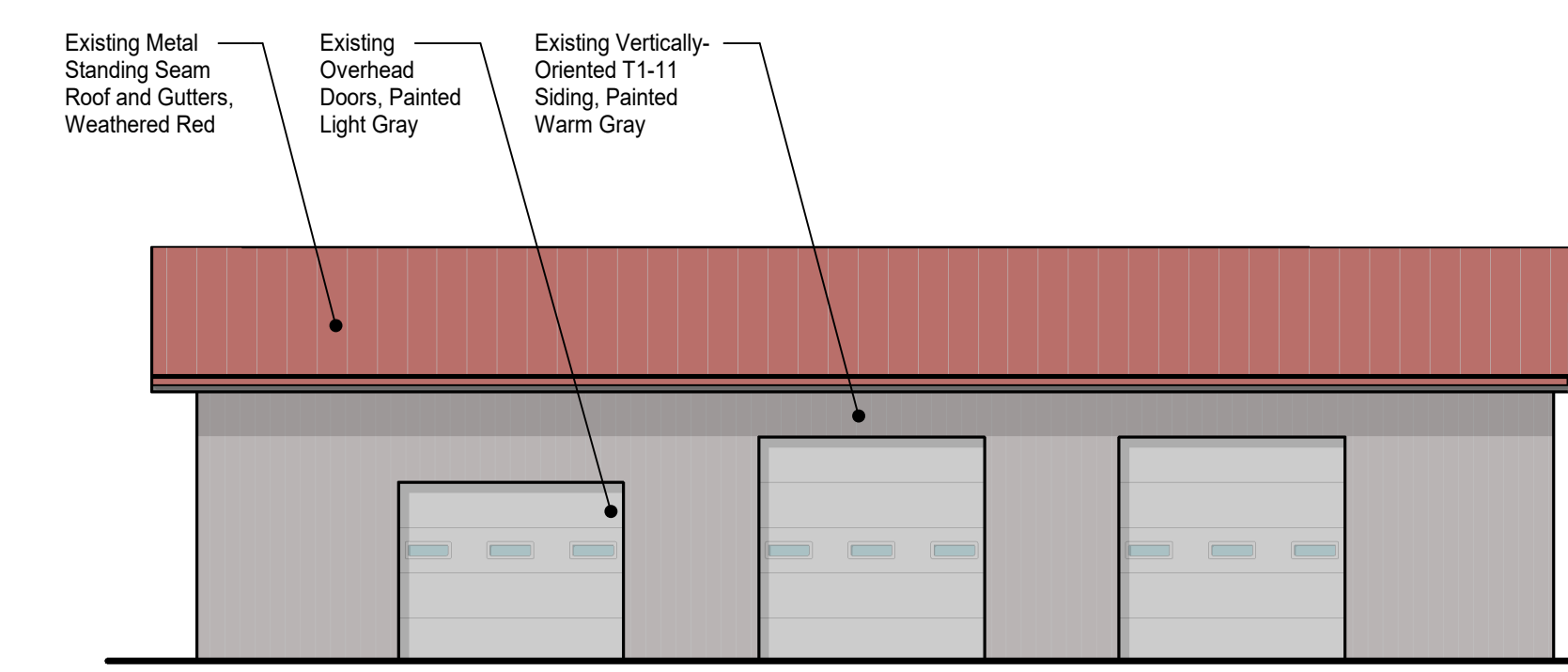
**Building 5 - North Elevation**



**Building 5 - East Elevation**



**Building 5 - South Elevation**



**Building 5 - West Elevation**

Corbett School District  
**Woodard Campus Middle School**  
31520 East Woodard Road  
Troutdale, OR 97060



Project

Consultant

Revisions

No.	Description	Date

Stamp

Issuance

**DESIGN REVIEW**

Date

**09/14/2021**

Project Number

**20019**

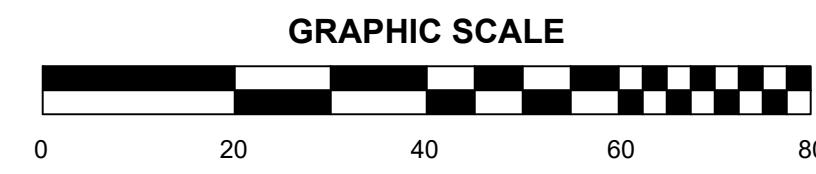
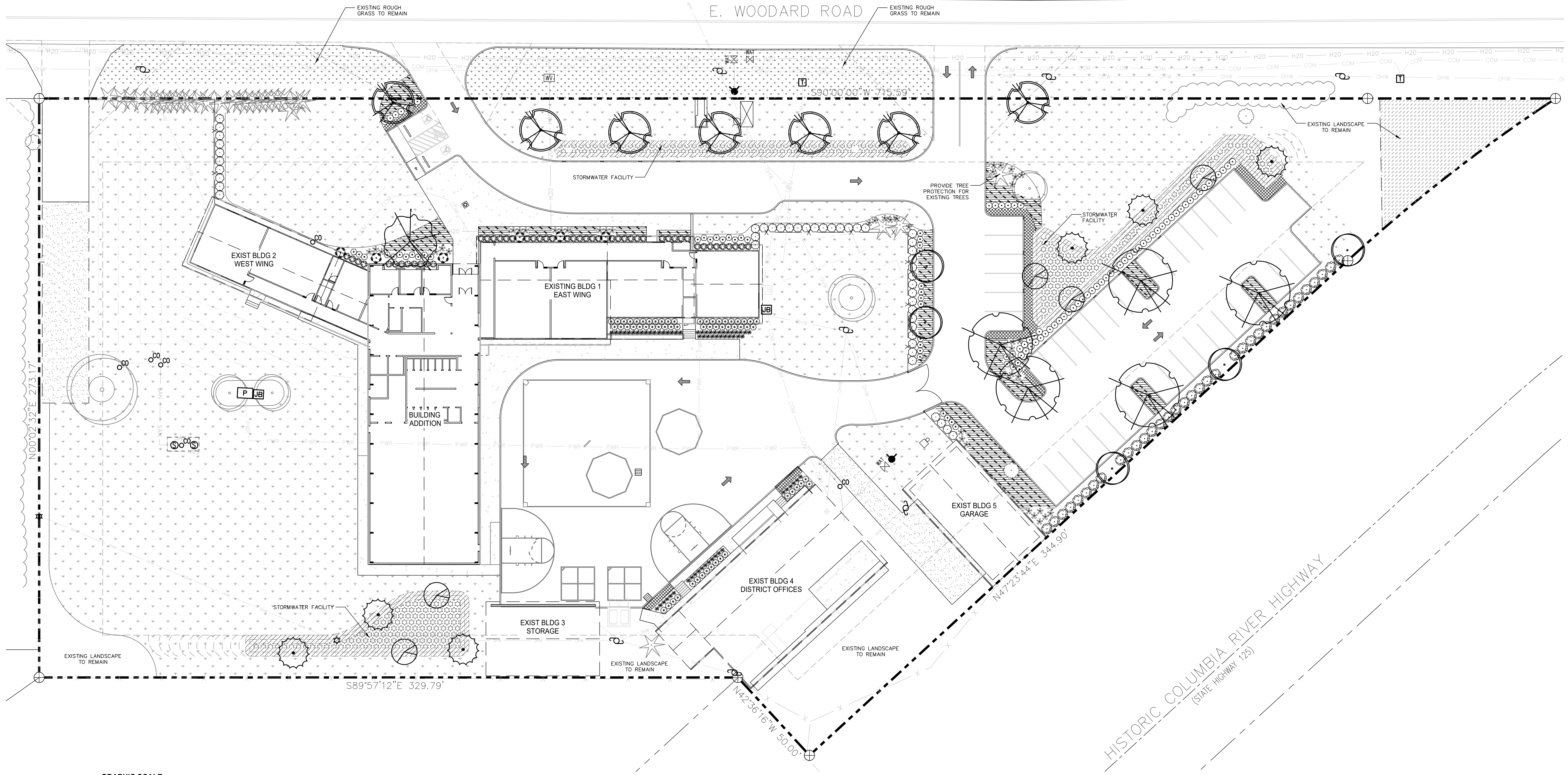
Drawing Title

**BUILDINGS 3, 4, 5  
EXTERIOR  
ELEVATIONS**

Sheet No.

**A3.02**

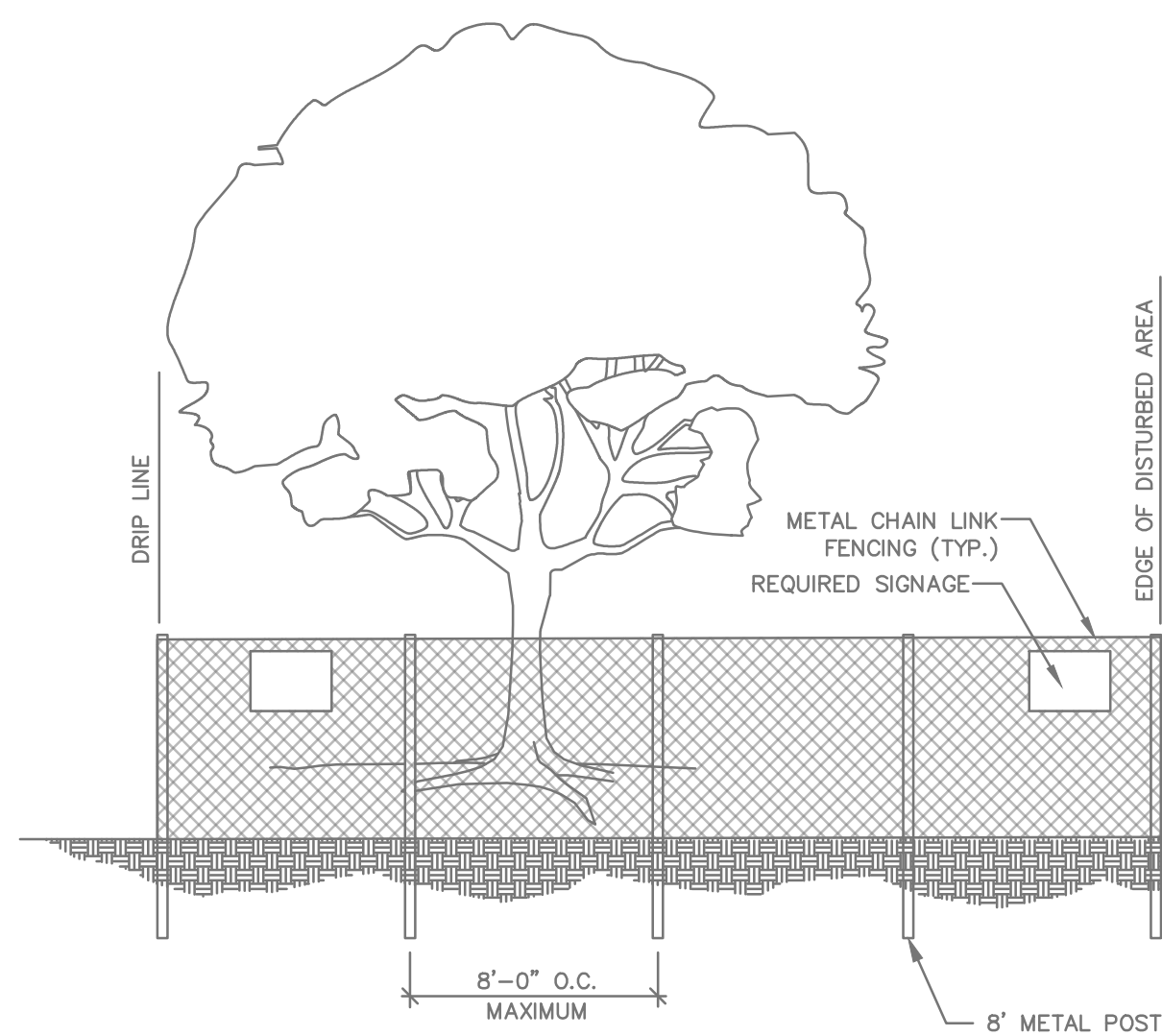




LANDSCAPE PLAN



- NOTES:**
1. ALL EXISTING TREES DESIGNATED TO BE PRESERVED SHALL BE PROTECTED BY FENCING, AS ILLUSTRATED.
  2. INSTALL TREE PROTECTION FENCE AT TREE DRIP LINE OR AT EDGE OF DISTURBED AREA, AS SHOWN ON PLANS, OR PER ARBORIST DIRECTION IN THE FIELD PRIOR TO CONSTRUCTION.
  3. AVOID DAMAGE TO CRITICAL ROOT ZONE. DO NOT DAMAGE OR SEVER LARGE ROOTS WHEN INSTALLING POSTS.
  4. THERE SHALL BE NO CONSTRUCTION ACTIVITY OR STORAGE OF MATERIAL WITHIN THE BOUNDARIES OF THE TREE PROTECTION FENCING.
  5. TREE PROTECTION FENCING SHALL BE MAINTAINED THROUGHOUT THE DURATION OF THE PROJECT.
  6. SIGNAGE DESIGNATING THE PROTECTION ZONE AND PENALTIES FOR VIOLATIONS SHALL BE SECURED IN A PROMINENT LOCATION ON EACH PROTECTION FENCE.



TREE PROTECTION FENCING

N.T.S.

**PLANT LIST: GENERAL LANDSCAPING**

SYMBOL	QTY.	LATIN NAME / Common Name	SIZE	SPACING
<b>TREES</b>				
(Symbol)	5	CARPINUS BETULCUS 'FASTIGIATA' Pyramidal European Hornbeam	1.5" cal.	As Shown
(Symbol)	7	MALUS TSCHONSKII Tschonoskii Flowering Crabapple	2" cal.	As Shown
(Symbol)	5	ZELKOVA SERRATA 'VILLAGE GREEN' Village Green Zelkova	2" cal.	As Shown
(Symbol)	1	CORNUS x 'VENUS' Venus Flowering Dogwood	1.5" cal.	As Shown
<b>EXISTING TREES TO REMAIN</b>				

**PLANT LIST: GENERAL LANDSCAPING (CONTINUED)**

SYMBOL	QTY.	LATIN NAME / Common Name	SIZE	SPACING
<b>SHRUBS</b>				
(Symbol)	59	ABELIA GRAND 'KALEIDOSCOPE' Kaleidoscope Abelia	2 gal.	3' o.c.
(Symbol)	64	ILEX GLABRA 'CHAMZIN' Naxos Holly	5 gal.	3' o.c.
(Symbol)	49	LEUCOTHOE FONTANESIANA 'NANA' Rainbow Fetterbush	2 gal.	3' o.c.
(Symbol)	35	MAHONIA AQUIFOLIUM Tall Oregon Grape	5 gal.	5' o.c.
(Symbol)	6	RIBES SANGUINEUM Red Flowering Currant	5 gal.	4' o.c.
(Symbol)	43	SPIRAEA BETULIFOLIA Birchleaf Spirea	2 gal.	3' o.c.
(Symbol)	46	VACCINIUM OVATUM Evergreen Huckleberry	5 gal.	4' o.c.
<b>PERENNIALS</b>				
(Symbol)	64	HELICTOTRICHON SEMPERVIRENS Blue Out Grass	1 gal.	2' o.c.
(Symbol)	42	POLYSTICHUM MUNITUM Sword Fern	1 gal.	3' o.c.
<b>GROUNDCOVER</b>				
(Symbol)	93	FRAGARIA CHILOENSIS Coast Strawberry	1 gal.	3' o.c.
(Symbol)	300	MAHONIA REPENS Creeping Oregon Grape	1 gal.	3' o.c.
(Symbol)	54,068 SF	ECO-LAWN GRASS MIX	Seed	

**PLANT LIST: STORMWATER FACILITIES**

Per 2020 City of Portland Stormwater Management Manual

SYMBOL	QTY.	LATIN NAME / Common Name	SIZE	SPACING
<b>TREES</b>				
(Symbol)	5	RHAMNUS PURSHIANA Coccoloba	2 gal.	3' o.c.
(Symbol)	6	THUJA PLICATA Western Red Cedar	2 gal.	3' o.c.
<b>ZONE A PLANTS</b> 80 Herbaceous Plants per 100 SF				
<b>ZONE B PLANTS</b> 7 Shrubs & 70 Groundcover Plants per 100 SF				

**GENERAL NOTES:**

1. Contractor is to verify all plant quantities.
2. Adjust plantings in the field as necessary.
3. Project is to be irrigated by an automatic, underground system, which will provide full coverage for all plant material. System is to be design/build by Landscape Contractor. Alternately, plants may be watered by hand or by other temporary means for a minimum period of two growing seasons or until plant establishment.
4. All plants are to be fully foliated, well branched and true to form.
5. Contractor is to notify Landscape Architect or Owner's Representative of any site changes or unforeseen conditions that may be detrimental to plant health, or cause future problems to any structural elements of the project.
6. Landscaping shall be continuously maintained to meet the requirements of the local governing jurisdiction.

Corbett School District  
**Woodard Campus**  
31520 East Woodard Road,  
Troutdale, OR 97060



Project

Consultant

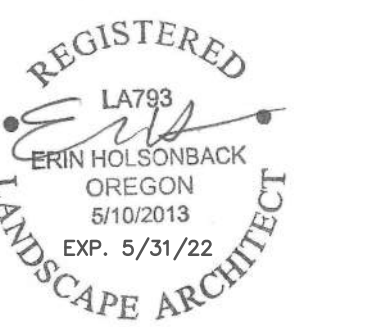
**OTTEN + ASSOCIATES**  
LANDSCAPE ARCHITECTURE

3933 South Kelly Avenue, Suite B  
Portland, OR 97239  
(503) 972-0311  
www.ottenla.com

Revisions

No.	Description	Date

Stamp



Issuance

**DESIGN REVIEW**

Date  
**07/20/2021**

Project Number  
**20019**

Drawing Title  
**LANDSCAPE PLAN**

Sheet No.

**L1.01**



**OUTLINE SPECIFICATIONS PLANTING AND SEEDING:**

**GENERAL:** All plants shall conform to all applicable standards of the latest edition of the "American Association of Nurserymen Standards", A.N.S.I. Z60.1 — 1973. Meet or exceed the regulations and laws of Federal, State, and County regulations, regarding the inspection of plant materials, certified as free from hazardous insects, disease, and noxious weeds, and certified fit for sale in Oregon.

The apparent silence of the Specifications and Plans as to any detail, or the apparent omission from them of a detailed description concerning any point, shall be regarded as meaning that only the best general practice is to prevail and that only material and workmanship of first quality are to be used. All interpretations of these Specifications shall be made upon the basis above stated.

Landscape contractor shall perform a site visit prior to bidding to view existing conditions.

**PERFORMANCE QUALITY ASSURANCE:** Use adequate numbers of skilled workmen who are thoroughly trained and experienced in the necessary horticultural practices and who are completely familiar with the specified requirements and methods needed for the proper performance of the work of this section.

**NOTIFICATION:** Give Landscape Architect minimum of 2 days advance notice of times for inspections. Inspections at growing site does not preclude Landscape Architect's right of rejection of deficient materials at project site. Each plant failing to meet the above mentioned "Standards" or otherwise failing to meet the specified requirements as set forth shall be rejected and removed immediately from the premises by the Contractor and at his expense, and replaced with satisfactory plants or trees conforming to the specified requirements.

**SUBSTITUTIONS:** Only as approved by the Landscape Architect or the Owner's Representative.

**GUARANTEE AND REPLACEMENT:** All plant material shall be guaranteed from final acceptance for one full growing season or one year, whichever is longer. During this period the Contractor shall replace any plant material that is not in good condition and producing new growth (except that material damaged by severe weather conditions, due to Owner's negligence, normally unforeseen peculiarities of the planting site, or lost due to vandalism). Guarantee to replace, at no cost to Owner, unacceptable plant materials with plants of some variety, age, size and quality as plant originally specified. Conditions of guarantee on replacement plant shall be same as for original plant.

Landscape Contractor shall keep on site for Owner's Representative's inspection, all receipts for soil amendment and topsoil deliveries.

**PROTECTION** Protect existing roads, sidewalks, and curbs, landscaping, and other features remaining as final work. Verify location of underground utilities prior to doing work. Repair and make good any damage to service lines, existing features, etc. caused by landscaping installation.

**PLANT QUALITY ASSURANCE:** Deliver direct from nursery. Maintain and protect roots of plant material from drying or other possible injury. Store plants in shade and protect them from weather immediately upon delivery, if not to be planted within four hours.

Nursery stock shall be healthy, well branched and rooted, formed true to variety and species, full foliaged, free of disease, injury, defects, insects, weeds, and weed roots. Trees shall have straight trunks, symmetrical tips, and have an intact single leader. Any trees with double leaders will be rejected upon inspection. All Plants: True to name, with one of each bundle or lot tagged with the common and botanical name and size of the plants in accordance with standards of practice of the American Association of Nurserymen, and shall conform to the Standardized Plant Names, 1942 Edition.

Container grown stock: Small container-grown plants, furnished in removable containers, shall be well rooted to ensure healthy growth. **Grow container plants in containers a minimum of one year** prior to delivery, with roots filling container but not root bound. Bare root stock: Roots well-branched and fibrous. Balled and burlapped (B&B): Ball shall be of natural size to ensure healthy growth. Ball shall be firm and the burlap sound. No loose or made ball will be acceptable.

**TOPSOIL AND FINAL GRADES:** Landscape Contractor is to supply and place 12" of topsoil in planting beds and 6" in lawn areas. Landscape Contractor is to verify with the General Contractor if the on-site topsoil is or is not conducive to proper plant growth. The topsoil shall be a sandy loam, free of all weeds and debris inimical to lawn or plant growth. Furnish soil analysis by a qualified soil testing laboratory stating percentages of organic matter; gradation of sand, silt and clay content; cation exchange capacity; deleterious material; pH; and plant nutrient content of the topsoil. Report suitability of topsoil for plant growth and recommended quantities of nitrogen, phosphorus and potash nutrients and soil amendments (including compost) to be added to produce satisfactory topsoil. If stockpiled topsoil on site is not conducive to proper plant growth, the Landscape Contractor shall import the required amount.

Landscaping shall include finished grades and even distribution of topsoil to meet planting requirements. Grades and slopes shall be as indicated. Planting bed grades shall be approximately 3" below adjacent walks, paving, finished grade lines, etc., to allow for bark application. Finish grading shall remove all depressions or low areas to provide positive drainage throughout the area.

**PLANTING SPECIFICATIONS:**

**HERBICIDES:** Prior to soil preparation, all areas showing any undesirable weed or grass growth shall be treated with Round-up in strict accordance with the manufacturer's instructions.

**SOIL PREPARATION:** Work all areas by rototilling to a minimum depth of 8". Remove all stones (over 1 1/2" size), sticks, mortar, large clumps of vegetation, roots, debris, or extraneous matter turned up in working. Soil shall be of a homogeneous fine texture. Level, smooth and lightly compact area to plus or minus .10 of required grades.

In groundcover areas add 2" of compost (or as approved) and till in to the top 6" of soil.

**PLANTING HOLE:** Lay out all plant locations and excavate all soils from planting holes to 2 1/2 times the root ball or root system width. Loosen soil inside bottom of plant hole. Dispose of any "subsoil" or debris from excavation. Check drainage of planting hole with water, and adjust any area showing drainage problems.

**SOIL MIX:** Prepare soil mix in each planting hole by mixing:  
2 part native topsoil (no subsoil)  
1 part compost (as approved)

Thoroughly mix in planting hole and add fertilizers at the following rates:  
Small shrubs - 1/8 lb./ plant  
Shrubs - 1/3 to 1/2 lb./ plant  
Trees - 1/3 to 1 lb./ plant

**FERTILIZER:** For trees and shrubs use Commercial Fertilizer "A" Inorganic (5-4-3) with micro-nutrients and 50% slow releasing nitrogen. For initial application in fine seed lawn areas use Commercial Fertilizer "B" (8-16-8) with micro-nutrients and 50% slow-releasing nitrogen. For lawn maintenance use Commercial Fertilizer "C" (22-16-8) with micro-nutrients and 50% slow-releasing nitrogen. DO NOT apply fertilizer to Water Quality Swale.

**PLANTING TREES AND SHRUBS:** Plant upright and face to give best appearance or relationship to adjacent plants and structures. Place 6" minimum, lightly compacted layer of prepared planting soil under root system. Loosen and remove twine binding and burlap from top 1/2 of root balls. Cut off cleanly all broken or frayed roots, and spread roots out. Stagger plants in rows. Backfill planting hole with soil mix while working each layer to eliminate voids.

When approximately 2/3 full, water thoroughly, then allow water to soak away. Place remaining backfill and dish surface around plant to hold water. Final grade should keep root ball slightly above surrounding grade, not to exceed 1". Water again until no more water is absorbed. Initial watering by irrigation system is not allowed.

**STAKING OF TREES:** Stake or guy all trees. Stakes shall be 2" X 2" (nom.) quality tree stakes with point. They shall be of Douglas Fir, clear and sturdy. Stake to be minimum 2/3 the height of the tree, not to exceed 8'-0". Drive stake firmly 1'-6" below the planting hole. Tree ties for deciduous trees shall be "Chainlock" (or better). For Evergreen trees use "Gro-Strait" Tree Ties (or a reinforced rubber hose and guy wires) with guy wires of a minimum 2 strand twisted 12 ga. wire. Staking and guying shall be loose enough to allow movement of tree while holding tree upright.

**MULCHING OF PLANTINGS:** Mulch planting areas with dark, aged, medium grind fir or hemlock bark (aged at least 6 months) to a depth of 2" in ground cover areas and 2 1/2" in shrub beds. Apply evenly, not higher than grade of plant as it came from the nursery, and rake to a smooth finish. Water thoroughly, then hose down planting area with fine spray to wash leaves of plants.

**SEED INSTALLATION:** Apply Commercial Fertilizer Mix "B" at 4.5 lbs. per 1,000 sq.ft. and Lime at the recommended rates and rake into soil surface. Establish an even, fine textured seeded meeting grades, surfaces and texture. Sow seed with a mechanical spreader at the uniform rates as noted below. Rake seed lightly to provide cover.

**SEED:** Blue-tag grass seed conforming to applicable State laws. No noxious weed seeds. Submit Guaranteed analysis.  
**Grass Seed Mix:** To Contain 80% Perennial Ryegrass, 15% Eureka Hard Fescue, and 20% Herbaceous Plants and Clover (Hobbs and Hopkins Pro-Time 705 PDX, or approved equal). Sow at 2 lbs. Per 1,000 sq.ft.

**MAINTENANCE OF SEEDING AREAS:** Seeded areas shall be maintained by watering, mowing, reseeding, and weeding for a minimum of 60 days after seeding. After 30 days, or after the second mowing, apply Commercial Fertilizer Mix "C" at 5 lbs. per 1,000 sq. ft. Mow and keep at 1 1/2" to 2" in height. Remove clippings and dispose of off site.

**GENERAL MAINTENANCE:** Protect and maintain work described in these specifications against all defects of materials and workmanship, through final acceptance. Replace plants not in normal healthy condition at the end of this period. Water, weed, cultivate, mulch, reset plants to proper grade or upright position, remove dead wood and do necessary standard maintenance operations. Irrigate when necessary to avoid drying out of plant materials, and to promote healthy growth.

**CLEAN-UP:** At completion of each division of work all extra material, supplies, equipment, etc., shall be removed from the site. All walks, paving, or other surfaces shall be swept clean, mulch areas shall have debris removed and any soil cleared from surface. All areas of the project shall be kept clean, orderly and complete.

**WATER QUALITY SPECIFICATIONS PER THE 2016 CITY OF PORTLAND STORMWATER MANAGEMENT MANUAL:**

**SITE PREPARATION:** Existing vegetation to be saved must be clearly marked and securely protected. If native plants are present, they should be salvaged and stored for replanting once construction is complete. The location of all future stormwater facilities should be clearly marked before site work begins. All stormwater facility areas should be fenced or covered to protect them from damage or misuse during construction. Fencing is required around all infiltration facilities to prevent soil compaction during construction. The subgrade in proposed infiltration areas must not be compacted. At least 8 inches of native material must be maintained above the proposed bottom of the facility until construction is scheduled for the facility. No vehicular traffic, material storage or heavy equipment is allowed within 10 feet of the infiltration facility area after site clearing and grading have been completed, except that needed to excavate, grade, and construct the facility. Lined facilities must be covered with plywood or other sheeting to prevent misuse, such as temporary storage or construction debris. No stormwater facility area should be used for dumping concrete or other construction waste, mixing grout, cleaning tools or washing paint brushes.

Once the facility is graded, all native subsoil must be scarified before installing a minimum of 18" stormwater facility growing medium. No disturbance should occur within the dripline of existing trees. After scarifying, no other construction traffic should be allowed in the area, except for planting and related work. All construction and other debris must be removed before the growing medium is placed. Furthermore, the soil must not be exposed during wet weather conditions and must be covered with the growing medium within 1 day of being exposed.

**GROWING MEDIUM:** For public facilities, refer to City of Portland Standard Construction Specification Section 1040.14(d) Stormwater Facility Blended Soil. For private facilities, topsoil growing medium may include stormwater facility blended soil, blended topsoil, three-way mix, or native soils. Soil analysis for all growing media is required for all public facilities and may be required for private facilities. Soil placement and planting should occur in conditions that do not result in over-compaction or erosion. Temperature, moisture levels and handling can have a huge influence on the infiltration rate of the facility and on plant survivability.

**TIMING:** For best results, plantings should be installed between February 1 and May 1 or between October 1 and November 15. Bare root stock shall be installed only from December 15 through April 15. When plantings must be installed outside these times, additional measures may be needed to assure survival.

**EROSION CONTROL:** Grading, soil preparation, and seeding shall be performed during optimal weather conditions to minimize sediment impacts. See Civil sheets for grading information and erosion control measures.

**HERBICIDES:** Herbicide use is not allowed without written permission from BES.

**FERTILIZER:** Do not apply fertilizer to any plantings within the stormwater facilities.

**MULCHING:** Mulch is not required in wet area (Zone A) of stormwater facilities, nor for public facilities in the right of way. Trees, shrubs, and groundcovers planted in the upland areas of private facilities shall be mulched with aged, hemlock bark to a depth of two to three inches between all plantings. Mulch shall not be over-applied. Manure mulching and high-fertilizer hydroseeding are prohibited in stormwater facilities.

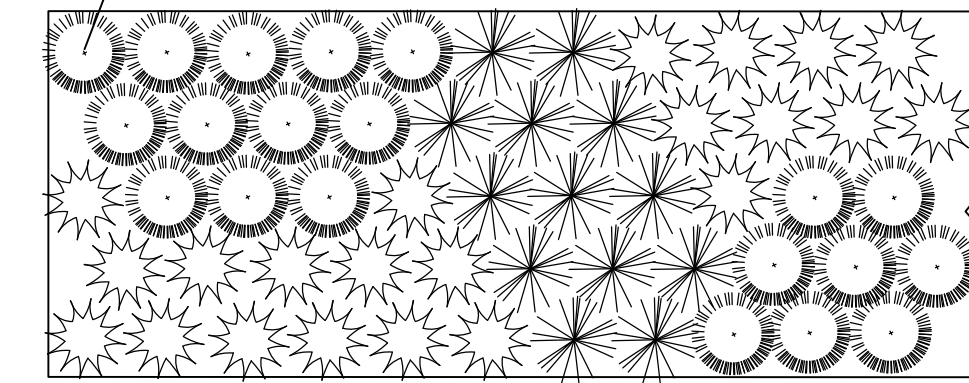
**IRRIGATION:** Permanent irrigation systems are not allowed for BES maintained facilities, unless approved by BES. Project is to be irrigated by a temporary, automatic, above ground system, which will provide full coverage for all plant material. Alternative methods of irrigation may also be allowed if approved by BES. Irrigation system is to be design/build by landscape contractor. Guarantee system for a minimum period of two years.

**MAINTENANCE:** Stormwater facilities must be maintained so they function as intended and limit offsite environmental impacts. Operations and maintenance (O&M) is the responsibility of the property owner or designated responsible party. Refer to Chapters 1.4 and Chapter 3 of the City of Portland Stormwater Management Manual for additional information and forms.

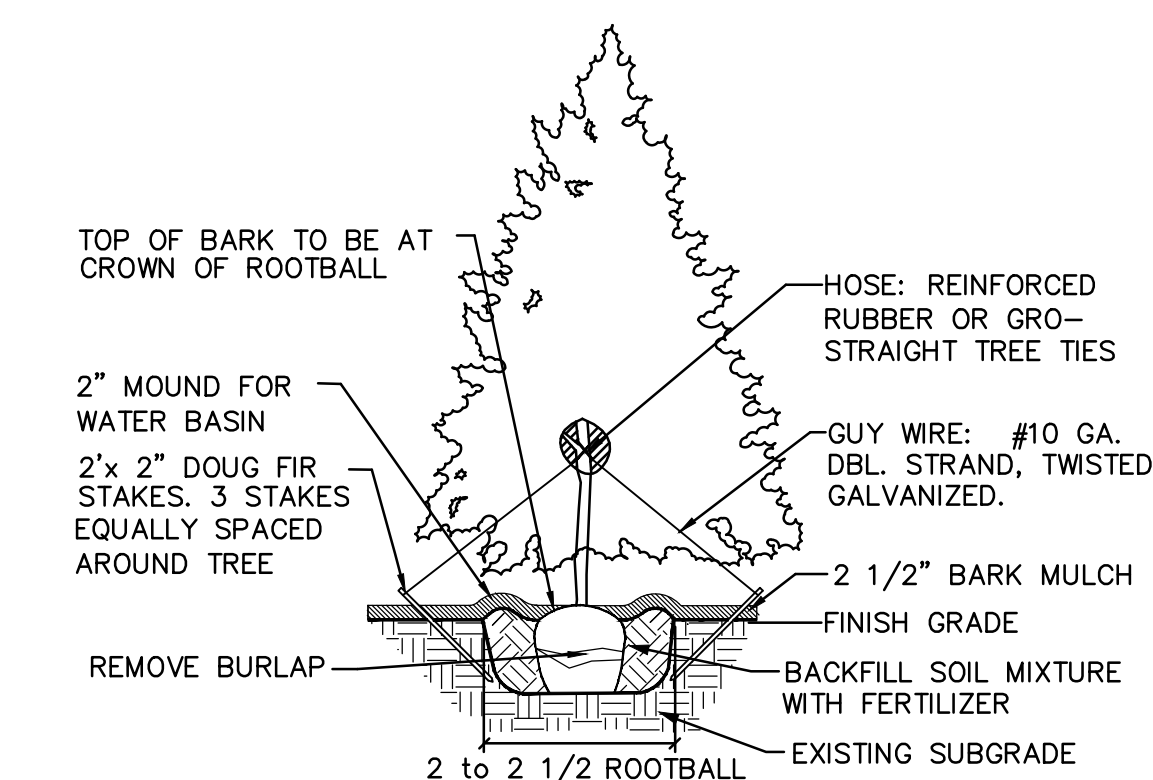
Every project on private property with at least one stormwater facility is required to submit an Operations & Maintenance Form prior to permit issuance. Owners of private facilities are required to check their stormwater systems regularly to determine maintenance needs.

Stormwater facilities in the public right of way or in public easements are the responsibility of the permittee until accepted by the City following completion of a 2-year warranty and establishment period. Permittee is required to submit an Operations & Maintenance Form, and Operations & Maintenance Plan prior to permit issuance. During the warranty period, regular maintenance tasks must be performed; this includes inspecting, maintaining, repairing, and/or replacing the associated vegetative components; any structural or functional repairs; and the general maintenance of the facility as outlined in the O&M Plan. Deferred maintenance may result in extension of the warranty period if City inspection determines that the facilities are not established per the requirements.

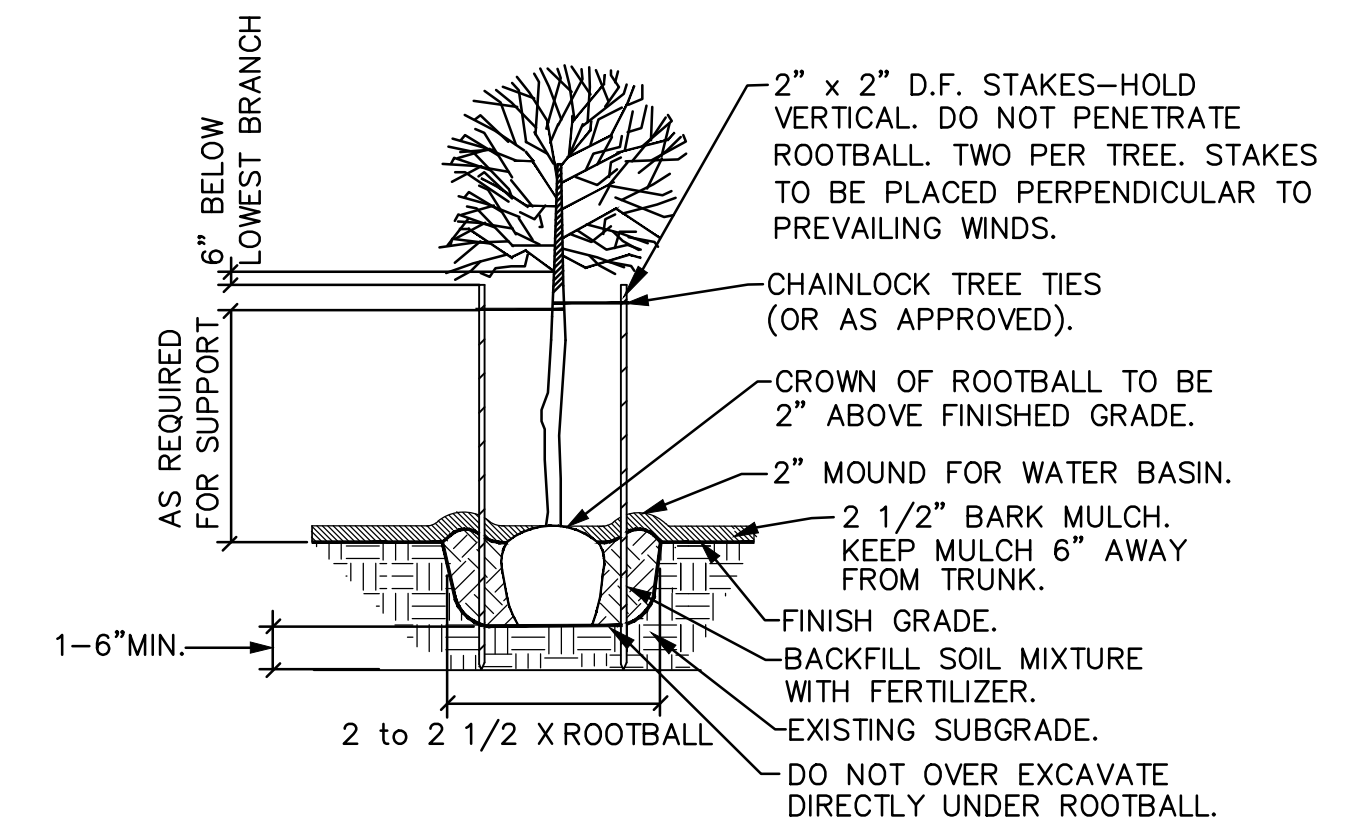
INSTALL TREATMENT AREA  
PLANTS IN ALTERNATING  
GROUPS OF 9 TO 15 PLANTS



STORMWATER FACILITY PLANTING DETAIL  
NOT TO SCALE

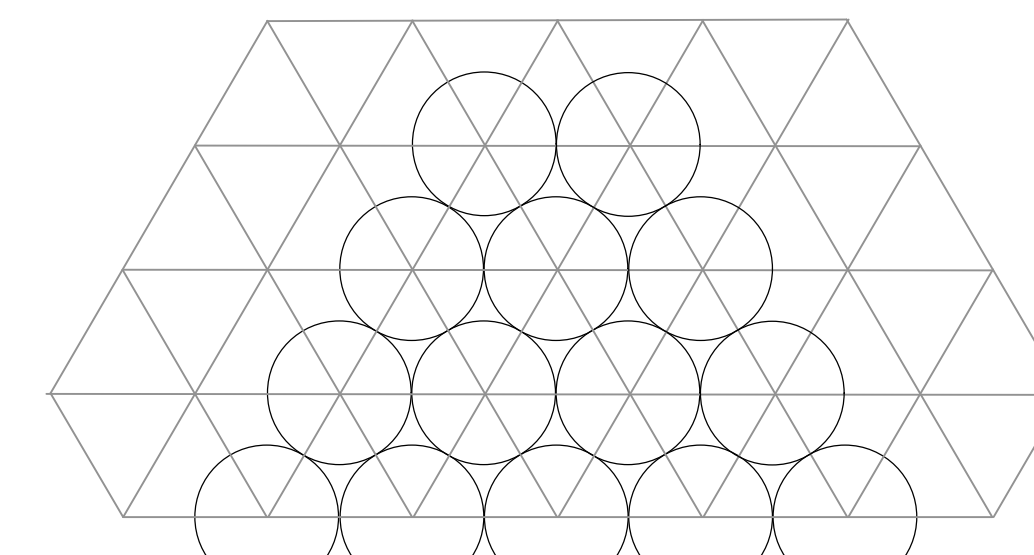


EVERGREEN TREE STAKING DETAIL  
NOT TO SCALE

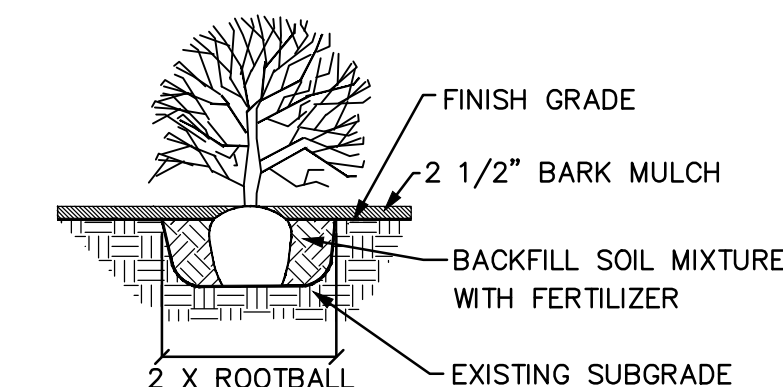


NOTE: ANY PROPOSED CHANGES TO OUR SPECIFICATION OR DETAIL SHOULD BE APPROVED BY THE LANDSCAPE ARCHITECT. LIKEWISE, IN ACCORDANCE WITH BEST PRACTICES OF LOCAL LANDSCAPE INSTALLATION, SHOULD THE LANDSCAPE CONTRACTOR FIND A PREFERRED ALTERNATE METHOD, THE LANDSCAPE ARCHITECT MAY BE SO ADVISED.

GENERAL DECIDUOUS TREE PLANTING DETAIL  
NOT TO SCALE



GROUNDCOVER PLANTING DETAIL  
NOT TO SCALE



SHRUB PLANTING DETAIL  
NOT TO SCALE

Corbett School District  
Woodard Campus  
31520 East Woodard Road,  
Troutdale, OR 97060



Project

Consultant

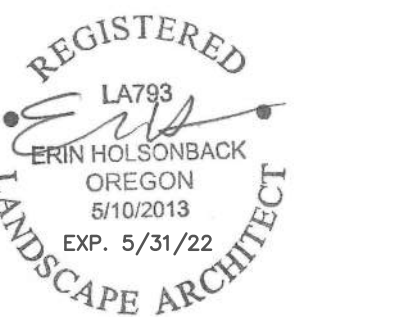
OTTEN + ASSOCIATES  
LANDSCAPE ARCHITECTURE

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Revisions

No. Description Date

Stamp



Issuance

DESIGN REVIEW

Date

07/20/2021

Project Number

20019

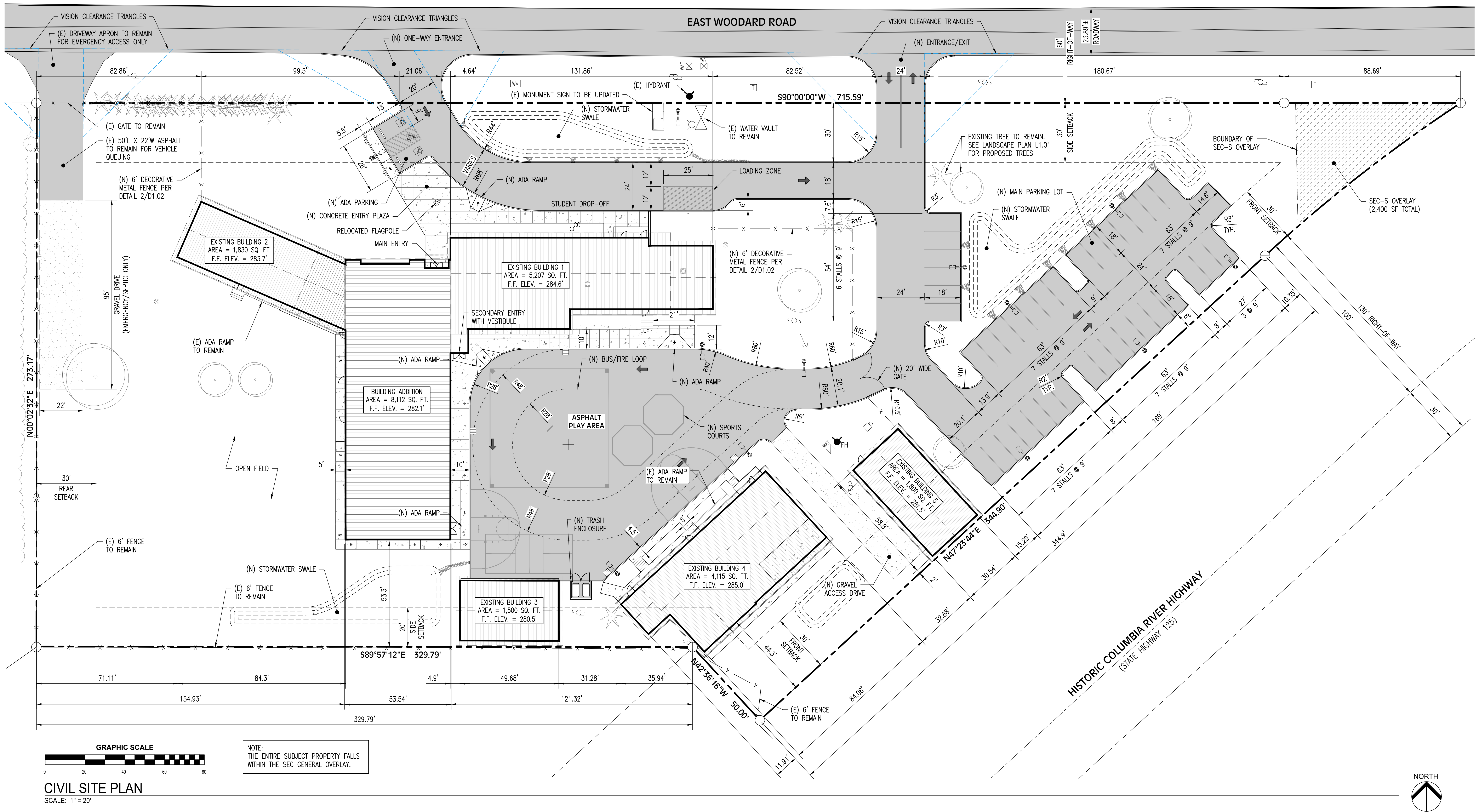
Drawing Title

LANDSCAPE  
SPECIFICATIONS  
& DETAILS

Sheet No

L2.01





AREA CALCULATIONS	
GROSS LOT AREA:	152,670 SQ FT (100%)
MAIN BUILDING FOOTPRINT:	15,190 SQ FT (9.9%)
MAIN BUILDING ROOF AREA:	16,884 SQ FT
BUILDING 3 FOOTPRINT:	1,500 SQ FT (1.0%)
BUILDING 3 ROOF AREA:	1,880 SQ FT
BUILDING 4 FOOTPRINT:	4,115 SQ FT (2.7%)
BUILDING 4 ROOF AREA:	4,812 SQ FT
BUILDING 5 FOOTPRINT:	1,800 SQ FT (1.2%)
BUILDING 5 ROOF AREA:	2,200 SQ FT
TOTAL BUILDING FOOTPRINT:	22,605 SQ FT (15%)
TOTAL ROOF AREA:	25,776 SQ FT
SIDEWALK / PAVED AREA:	41,732 SQ FT (27%)
TOTAL IMPERVIOUS AREA:	67,508 SQ FT (44%)
OPEN / LANDSCAPED AREAS:	85,162 SQ FT (56%)

LEGEND		
EOG	EDGE OF GRAVEL	---
EOP	EDGE OF PAVEMENT	---
EOC	EDGE OF CONCRETE	---
TOP	TOP OF PAVEMENT	---
TOC	TOP OF CONCRETE	---
TO/CURB	TOP OF CURB	---
(E)	EXISTING	---
(N)	NEW	---
o	CLEAN OUT	---
⊙	STORM SEWER MANHOLE	---
⊙	SANITARY SEWER MANHOLE	---
⊙	FIRE HYDRANT	---
⊙	FIRE DEPARTMENT CONNECTION	---
⊙	WATER VALVE	---
⊙	UTILITY POLE	---
⊙	WATER METER	---
⊙	TELCO PEDESTAL/RISER	---
---	SUBJECT PROPERTY LINE	---
---	ADJACENT PROPERTY LINE	---
---	STORM LINE	---
---	SANITARY SEWER LINE	---
---	SEPTIC DRAINFIELD LINE	---
---	WATER LINE	---
---	COMMUNICATIONS LINE	---
---	BURIED POWER LINE	---
---	OVERHEAD POWER LINE	---
---	FENCE	---
---	MAJOR CONTOUR (EXISTING)	---
---	MINOR CONTOUR (EXISTING)	---
---	MAJOR CONTOUR (NEW)	---
---	MINOR CONTOUR (NEW)	---
---	CONCRETE	---
---	AC PAVING	---
---	PAVING TO BE REMOVED	---

Corbett School District  
**Woodard Campus**  
31520 East Woodard Road,  
Troutdale, OR 97060



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Revisions  
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Stamp

Issuance  
**DESIGN REVIEW**

Date  
**09/17/2021**

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Drawing Title  
**CIVIL SITE PLAN**

Sheet No.  
**C4.01**

DATE: 09/17/21  
FILE PATH: C:\projects\20019\civil\c4.01.dwg  
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