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DEPARTMENT OF COMMUNITY SERVICES  
LAND USE PLANNING DIVISION  
1600 SE 190TH AVENUE  
PORTLAND OREGON 97233

RETURN SERVICE REQUESTED

## NOTICE OF PUBLIC HEARING

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A public hearing scheduled to consider the land use case(s) cited and described below.

**Case File:** T3-2022-15860

Scheduled Before one of the following County Hearings Officer's on **Friday, October 14, 2022, at 1:00 pm** or soon thereafter. The hearing will be held virtually.

**Participation Options and Instructions:** This hearing will be open to the public. Interested parties may contact our office to register for this event. Please provide your name, phone number, and email address either by phone to (503) 988-3043 or by email to [land.use.planning@multco.us](mailto:land.use.planning@multco.us) **no later than noon on Wednesday, October 12, 2022**

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**Proposal:** The applicant is requesting a Variance, Accessory Use Determination, Significant Environmental Concern Review, and Geologic Hazards Exemption for a new 2,375-square-foot accessory structure and a retroactive approval for an existing 880-square-foot accessory structure. The Variance request, which requires a Hearing, is related to the Forest Practice Setbacks of the Commercial Forest Use Zone.

**Location:** 23414 NW Moreland Road, North Plains                      Map, Tax Lot: 2N2W10A -00400  
Alternate Account #: R972100091    Property ID #: R325590

**Applicant(s):** Jon DeLeonardo

**Owner(s):** JFREH LLC

**Zoning:** Commercial Forest Use (CFU-1)

**Site Size:** 41.74 acres

**Overlay(s):** Significant Environmental Concern – Stream (SEC-s), Significant Environmental Concern – Wildlife Habitat (SEC-h), Geologic Hazard (GH)

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**Public Participation and Hearing Process:**

A copy of the application and all evidence submitted in support of the application is available digitally for inspection, at no cost, by contacting Izze Liu, Staff Planner via email at [isabella.liu@multco.us](mailto:isabella.liu@multco.us). A staff report will be available digitally seven (7) days prior to the hearing, also at no cost. Copies of all documents may be purchased at the rate of \$0.40/per page.

**Public Participation:** All interested parties may appear and testify or submit written comment on the proposal at or prior to the hearing. Comments should be directed toward approval criteria applicable to the request. The hearing procedure will follow the Hearing Officer’s *Rules of Procedure* and will be explained at the hearing.

**Hearing Process:** The Hearings Officer may announce a decision at the close of the hearing or on a later date, or the hearing may be continued to a time certain. Notice of the decision will be mailed to the applicant, any persons who submitted written comment, requested a decision in writing, or provided oral testimony at the hearing. A decision by the Hearings Officer may be appealed to the Land Use Board of Appeals (LUBA) by the applicant, the County, or other participants at the hearing.

Failure to raise an issue before the close of the public record in sufficient detail to afford the County and all parties an opportunity to respond may preclude appeal on that issue to the Land Use Board of Appeals (LUBA).

**Applicable Approval Criteria:**

For this application to be approved, the proposal will need to meet the applicable approval criteria below:  
Multnomah County Code (MCC): Multnomah County Code (MCC):

General Provisions: MCC 39.1515 Code Compliance and Applications, MCC 39.2000 Definitions

Lot of Record: MCC 39.3005 Lot of Record – Generally, MCC 39.3020 Lot of Record – Commercial Forest Use (CFU-1)

Commercial Forest Use (CFU): MCC 39.4105 Building Height Requirements, MCC 39.4110 Forest Practices Setbacks and Fires Safety Zones, MCC 39.4115 Development Standards, MCC 39.6850 Dark Sky Lighting Standard

Accessory Use Determination: MCC 39.4075(L)(1) through (7) Review Use, Accessory Structures

Significant Environmental Concern – Wildlife Habitat (SEC-h): MCC 39.5520 Application for SEC Permit, MCC 39.5860 Criteria for Approval of SEC-h Permit – Wildlife Habitat

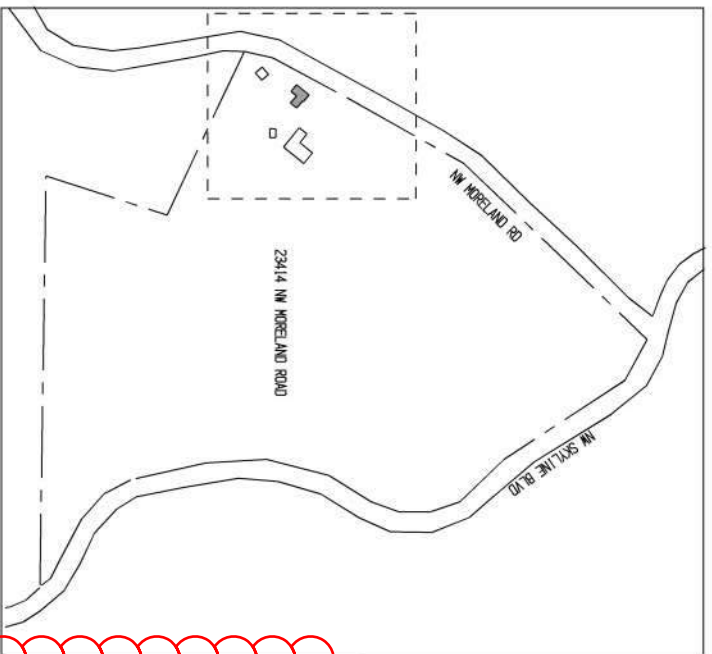
Variances: MCC 39.8205 Scope, MCC 39.8215 Variance Approval Criteria

Geologic Hazard: MCC 39.5075 Permits Required, MCC 39.5080 Exemptions

Copies of the referenced Multnomah County Code sections are available by contacting our office at (503) 988-3043 or by visiting our website at <https://multco.us/landuse/zoning-codes/> under the link **Chapter 39: Multnomah County Zoning Code** and at <https://multco.us/landuse/comprehensive-plan> under the link **Multnomah County Comprehensive Plan**.

**Enclosures:**

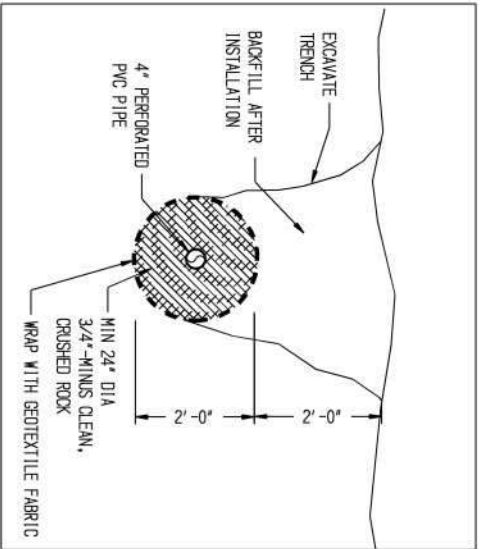
Preliminary Site Plan



VICINITY PLAN  
NO SCALE

ALL EXISTING AND PROPOSED VEHICLE DRIVEWAY WORK IS SHOWN ON THE PROJECT SITE PLAN ON SHEET A0.0.

AERIAL PHOTOGRAPHS MAY SHOW ADDITIONAL TRACTOR MOWING LINES, VINYARD PATHWAYS AND MOWING MAINTENANCE STRIPS ALONG THE FOREST EDGE. THESE ARE PROPERTY MAINTENANCE AREAS AND NOT VEHICLE ACCESS DRIVEWAYS ASSOCIATED WITH THE EXISTING RESIDENCE.



SECTION AT DRAINAGE TRENCH  
NO SCALE

**CURRENT ACCESSORY STRUCTURES:**  
WELL HOUSE - 880 SQ FT  
POOL HOUSE - 330 SQ FT  
GARDEN SHED - 130 SQ FT

TOTAL SQ. FT. OF EXISTING ACCESSORY STRUCTURES = 1,340 SQ. FT.

TOTAL SQ. FT. OF PROPOSED ACCESSORY GARAGE STRUCTURE = 2,375 SQ. FT.

TOTAL SQ. FT. (EXISTING + PROPOSED) = 3,715 SQ. FT.

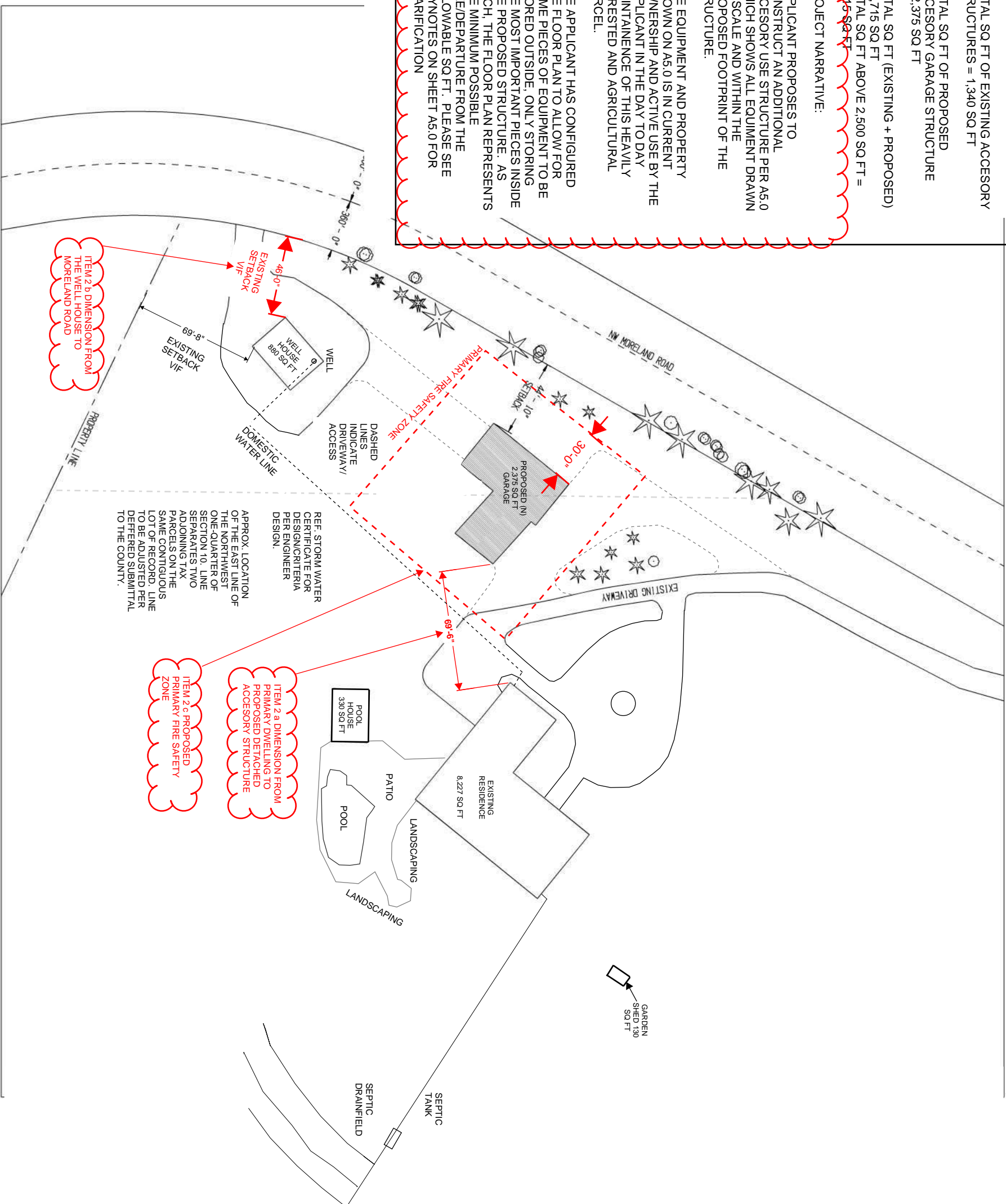
TOTAL SQ. FT. ABOVE 2,500 SQ. FT. = 1,215 SQ. FT.

**PROJECT NARRATIVE:**

APPLICANT PROPOSES TO CONSTRUCT AN ADDITIONAL ACCESSORY USE STRUCTURE PER A5.0 WHICH SHOWS ALL EQUIPMENT DRAWN AT SCALE AND WITHIN THE PROPOSED FOOTPRINT OF THE STRUCTURE.

THE EQUIPMENT AND PROPERTY SHOWN ON A5.0 IS IN CURRENT OWNERSHIP AND ACTIVE USE BY THE APPLICANT IN THE DAY TO DAY MAINTENANCE OF THIS HEAVILY FORESTED AND AGRICULTURAL PARCEL.

THE APPLICANT HAS CONFIGURED THE FLOOR PLAN TO ALLOW FOR SOME PIECES OF EQUIPMENT TO BE STORED OUTSIDE. ONLY STORING THE MOST IMPORTANT PIECES INSIDE THE PROPOSED STRUCTURE. AS SUCH, THE FLOOR PLAN REPRESENTS THE MINIMUM POSSIBLE SIZE/DEPARTURE FROM THE ALLOWABLE SQ. FT. PLEASE SEE KEYNOTES ON SHEET A5.0 FOR CLARIFICATION.



SITE PLAN  
1/64" = 1'-0"

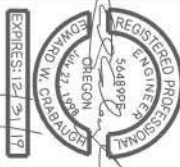
SCALE: 1/16" = 1'-0"	FONT 12.0
PRINT SIZE: 11" X 17"	
REVISIONS: -	
SHEET: A0.0	REV: -

JOHNSON  
23414 NW MORELAND  
PORTLAND, OREGON

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EDWARD CRABAUGH ENGINEERING CONSULTING  
1100 NE 28th AVE #212 PORTLAND OREGON  
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**PROJECT/STRUCTURAL SUMMARY:**  
 PROPOSED FORESTRY EQUIPMENT STORAGE AND MAINTENANCE BUILDING.  
 PRE-FRAMED WOOD TRUSSES AND WOOD STUD WALL FRAMING ON CONCRETE FOUNDATIONS. SLAB ON GRADE.  
 CONVENTIONAL SHEAR WALLS.

**CODE REQUIREMENTS:**  
 CONFORM TO THE REQUIREMENTS OF THE 2014 OSBC.

**DESIGN CRITERIA:**  
 DESIGN IS BASED ON THE STRENGTH AND DEFLECTION CRITERIA OF THE ABOVE-REFERENCED CODE. IN ADDITION TO THE DEAD LOADS, THE FOLLOWING LOADS WERE USED:

**SNOW:**  
 $P_g = 25 \text{ psf}$ ,  $P_f = 16 \text{ psf}$ ,  
 $C_s = 0.9$ ,  $I_s = 1.0$ ,  $C_t = 1.0$

**ALLOWABLE SOIL BEARING: 1500 PSF**

**SEISMIC:**  
 RISK CAT. II,  $I_e = 1.0$ , SITE CLASS D  
 $S_s = .961$ ,  $S_1 = .400$   
 $S_0.5 = 0.72$ ,  $S_0.1 = 0.43$ ,  $SDC = 0^*$   
 LIGHT-FRAMED SHEAR WALLS:  $C_s = .12$ ,  $R = 6.5$   
 EQUIV. LATERAL FORCE PROCEDURE

**WIND:**  
 $V_{ult} = 125 \text{ MPH (3-SEC)}$   
 $V_{asd} = 93 \text{ MPH (3-SEC)}$   
 EXPOSURE C  
 RISK CAT. II  
 $G_{z(1)} = +/- 0.18$   
 DESIGN ROOFING AND CLADDING FOR 30 PSF

**GENERAL:**  
 ALL DETAIL CUTS SHOULD BE CONSIDERED TYPICAL AT LIKE CONDITIONS.

WHERE ANY DISCREPANCIES OCCUR BETWEEN PLANS, DETAILS, NOTES, AND SPECIFICATIONS, THE GREATER REQUIREMENT SHALL GOVERN.

ESTABLISH AND VERIFY ALL GEOMETRY FOR ARCHITECTURAL, MECHANICAL, ELECTRICAL, AND PLUMBING CONCERNS PRIOR TO CONSTRUCTION.

THE CONTRACTOR SHALL FIELD VERIFY ALL EXISTING CONDITIONS, DIMENSIONS, AND ELEVATIONS SHOWN IN THE PLANS, AND NOTIFY THE ENGINEER OF ANY DISCREPANCIES PRIOR TO STARTING WORK.

THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE STRUCTURAL STABILITY OF ALL NEW AND EXISTING STRUCTURES DURING CONSTRUCTION. THIS INCLUDES EXCAVATIONS, COLUMNS, EQUIPMENT LOADS, MATERIAL LOADS, AND OTHERS. OBSERVATIONS BY THE ENGINEER DO NOT INCLUDE INSPECTIONS OF TEMPORARY LOADING AND STABILITY DURING CONSTRUCTION.

**SAW LUMBER:**  
 ALL LUMBER SHALL BE DRY DOUGLAS FIR, WITH MOISTURE CONTENT < 19%, OF THE FOLLOWING GRADES U.N.O.:

STUDS, JOISTS, PLATES, HEADERS, BLGS: NO.2  
 BEAMS AND POSTS: NO.1

**PRESSURE-TREATED LUMBER:**

ALL LUMBER EXPOSED TO WEATHER AND MOISTURE OR IN CONTACT WITH CONCRETE SHALL BE PRESSURE-TREATED. FOLLOW ALL MFR RECOMMENDATIONS REGARDING COATINGS ON FASTENERS AND LIGHT GAGE PLATE CONNECTORS IN CONTACT WITH TREATED WOOD.

**CARPENTRY:**

SAW LUMBER DESIGN IS BASED ON NOS. LUMBER SHALL CONFORM TO WEST COAST LTB OR NPA GRADING RULES. ALL LUMBER NOT SPECIFICALLY NOTED OTHERWISE SHALL BE DOUG-FIR NO. 2 OR BETTER. ALL WOOD IN PERMANENT CONTACT WITH CONCRETE OR CMU SHALL BE PRESSURE-TREATED, UNLESS AN APPROVED BARRIER IS PROVIDED. FRAMING ACCESSORIES AND FASTENERS SHALL BE MANUFACTURED BY SIMPSON STRONG-TIE CO. OR ENGINEER-APPROVED SUBSTITUTE. HANGERS NOT SPECIFICALLY SHOWN IN THE DRAWINGS SHALL BE "HUI" TYPE. OF THE SIZE RECOMMENDED BY SIMP FOR THE MEMBER. ALL FRAMING NAILS SHALL BE COMMON NAILS. NO BOX NAILS ALLOWED U.N.O. FASTENING OF FRAMING ELEMENTS SHALL BE IN ACCORDANCE WITH TABLE 2304.9.1 OF THE OSBC.

ALL LUMBER SHALL BE 15% MAXIMUM MOISTURE CONTENT, OR INSTALLED TO ACCOMMODATE SHRINKAGE ACCORDINGLY.

PLYWOOD PANELS SHALL CONFORM TO APA PERFORMANCE STDS. PANELS SHALL BE APA RATED SHEATHING, EXPOSURE 1, U.N.O. ALLOW 1/8" GAP BETWEEN PANELS U.N.O. ROOF SHEATHING SHALL HAVE BLOCKED PANEL EDGES, TAB EDGES, OR CLIPS. WALLING NOT SPECIFICALLY ADDRESSED ON THE DWGS SHALL COMPLY WITH OSBC TABLE 2304.9.1.

**PRE-FRAMED TRUSSES:**

ALL TRUSSES SHALL BE DESIGNED PER THE NOS AND DESIGN SPECIFICATIONS FOR LIGHT METAL CONSTRUCTION\* BY TP1. TRUSSES SHALL BE FABRICATED ACCORDATELY TO PROVIDE TIGHTLY FITTED JOINTS. TRUSSES SHALL BE DESIGNED TO ACCOMMODATE ALL FRAMING HARDWARE AND CONNECTORS SHOWN ON DETAILS. TRUSSES SHALL BEAR 10 MARKS. TRUSS MFR SHALL SUPPLY ALL REQ'D TRUSS-TO-TRUSS CONNECTIONS.

TOP CHORDS SHALL BE MIN 2 X 4 D-F NO. 2 OR BETTER. ALL COMPRESSION CHORDS NOT IN CONTACT WITH SHEATHING SHALL BE BRACED APPROPRIATELY WITH BRACING SUPPLIED BY TRUSS MFR AND SHOWN ON SHOP DRAWINGS. ALL TRUSS CONNECTORS SHALL BE GALVANIZED SHEET METAL CONFORMING TO ASTM A653, GRADE 33.

SHOP DRAWINGS SHALL INCLUDE MFR DATA FOR LUMBER, METAL PLATES, HARDWARE, AND COMPLETE CALCULATIONS FOR EACH TRUSS. DESIGN AND DIMENSIONS SHALL BE BASED ON FIELD MEASUREMENTS (EXCLUDED FROM THE SCOPE OF WORK BY ECEC) CORRESPONDING TO GENERAL PLACEMENTS SHOWN ON ECEC DRAWINGS. SHOP DRAWINGS SHALL INCLUDE A LIST OF DESIGN LOADS USED AND LOAD DETERMINATIONS FOR EACH TRUSS DESIGN, AND SHALL BE STAMPED BY A LICENSED ENGINEER. SHOP DRAWINGS SHALL BE SUBMITTED TO ECEC FOR APPROVAL PRIOR TO FABRICATION.

**CONCRETE:**

MIX DESIGN: PREPARE DESIGNS FOR EACH TYPE OF CONCRETE. PROPORTION MIXES BY EITHER LABORATORY TRIAL OR FIELD EXPERIENCE. FINISH CERTIFIED REPORTS FOR EACH PROPOSED MIX. AIR ENTRAINING AGENTS PER ASTM C390 AND WATER-REDUCING ADJUTIVE PER ASTM 494, USED ACCORDING TO MFR SPECS. MAY BE INDOOR-APPLIED. AIR ENTRAINMENT PER ASTM C390 SHALL BE USED IN MIXES FOR EXTERIOR HORIZONTAL SURFACES EXPOSED TO WEATHER, AND SHALL BE 5%-7% BY VOL. FLY ASH SHALL NOT EXCEED 15% OF CEMENT CONTENT BY WT.

CONCRETE WORK SHALL CONFORM TO ACI 301. STRENGTHS OF VERIFIED BATCHES OF SAME MIX DESIGN SHALL HAVE BEEN PROVIDED BY THE SUPPLIER AS FOLLOWS:  
 - FOOTINGS: 2500 PSI AT 28 DAYS, SLUMP 3" +/- 1"  
 - SLABS: 2500 PSI AT 28 DAYS. REBAR AND WELDED WIRE REINFORCEMENT PER SLAB DESIGNER.

**ROOF SHEATHING:**

1/2" APA-RATED PLYWOOD WITH EXPOSURE RATING PER ROOFING PRODUCT MANUFACTURER'S SPECS. WALL PANEL EDGES W/ 8d @ 6" ON CENTER (1/2" FIELD). BLOCK PANEL EDGES OR USE SIMP PSLD PANEL CLIPS.

**EXTERIOR WALL SHEATHING:**

APPLY 1/2" NOMINAL PLYWOOD USING 8d @ 6" o.c. PANEL EDGE WALLING (12" FIELD WALLING) TO 2X STUDS @ 16" o.c. ALSO SEE SHEAR WALL SCHEDULE.

**FLOOR SHEATHING:**

APPLY 3/4" NOMINAL PLYWOOD USING 10d @ 6" o.c. PANEL EDGE WALLING (12" FIELD WALLING) TO 2X JOISTS @ 16" o.c. RECOMMENDED PRACTICE IN EXCESS OF CODE: APPLY 3/8" BEAD OF HEAVY DUTY POLY-URETHANE CONSTRUCTION ADHESIVE TO CLEAN, DRY JOIST SURFACES AND FASTEN PANELS USING #7 X 3-1/2" DECK SCREWS @ 6" o.c. ALONG ALL JOISTS.

**CODE SUMMARY:**

OCCUPANCY: U  
 CONSTRUCTION TYPE: VB  
 SPRINKLERS: NO  
 1 LEVEL  
 TOTAL: 2257 SQ. FT.

**ENERGY SUMMARY:**

R-27 EXTERIOR 2 X 8 WALLS  
 R-21 INTERIOR 2 X 6 WALLS  
 R-25 VAULTED CEILING  
 R-15 FLOOR SLAB EDGE PERIMETER  
 U = 0.35 MIN WINDOWS  
 U = 0.20 EXTERIOR DOORS

**FASTENERS:**

ALL NAILS SHALL BE COMMON (U.N.O.) W/ F<sub>1</sub>b = 90 KSI. ALL BOLTS AND THREADED RODS SHALL BE A307 OR BETTER. PRE-DRILL 70% OF SHANK DIAMETER FOR LAG SCREWS. ALL LIGHT GAGE METAL CONNECTORS SHALL BE BY SIMPSON-STRONGTIE AND INSTALLED PER MFR SPECIFICATIONS. MATCH FASTENER FINISHES TO WOOD PRESERVATIVES AND TREATMENTS TO PREVENT CORROSION.

DEFERRED SUBMITTALS:  
 TRUSS SHOP DRAWINGS, REVIEWED AND APPROVED BY ECEC, SHALL BE SUBMITTED FOLLOWING PERMIT ISSUANCE.

**SPECIAL INSPECTIONS:**  
 SPECIAL INSPECTIONS SHALL BE PERFORMED IN ACCORDANCE WITH CHAPTER 17 OF THE IBC AND APPLICABLE SECTIONS OF THE PROJECT SPECIFICATIONS. SPECIAL INSPECTIONS ARE TO BE PERFORMED BY AN INDEPENDENT TESTING LABORATORY EMPLOYED BY THE OWNER FOR THE FOLLOWING AREAS OF WORK - NONE REQUIRED

**HOLDOWN SCHEDULE**

HOLDOWN TYPE/MARK	HOLDOWN & VALUE	END LENGTH /CAPACITY	MINIMUM MEMBER	FASTENERS REQ'D	ANCHOR ROD DIA
1	SIMPSON HDL2-S052.5 HOLDOWN	N/A 3075 LBS	(2) 2X	(6) 1/4" X 1-1/2" SIMPSON SIS SCREWS	5/8" A307
2	SIMPSON HDL6-S052.5 HOLDOWN	N/A 6970 LBS	3-1/2"	(20) 1/4" X 2-1/2" SIMPSON SIS SCREWS	7/8" A307

**SHEARWALL SCHEDULE**

SHEARWALL TYPE/MARK	SHEAR SET/SWIND	SHEATHING / FRAMING	PANEL FASTENERS	SILL PLATE / ANCHORAGE	TOP/8TH PLATE FASTENERS
1	280 PLF / 392 PLF	15/32" APA-RATED STRUCTURAL I SHEATHING ON 2X STUDS @ 16"	8d COMMONS @ 6" PANEL EDGE WALLING (12" FIELD WALLING).	P.1. 3X WITH 1/2" A307 ANCHORS @ 4'-0"	16d COMMONS @ 6"
2	430 PLF / 602 PLF	15/32" APA-RATED STRUCTURAL I SHEATHING ON 2X STUDS @ 16"	8d COMMONS @ 4" PANEL EDGE WALLING (12" FIELD WALLING). BLOCK ALL PANEL EDGES.	P.1. 3X WITH 1/2" A307 ANCHORS @ 4'-0"	16d COMMONS @ 4"
3	320 PLF / 320 PLF	1/2" GYP WALLBOARD SHEATHING BOTH SIDES OF 2X STUDS @ 16"	#6 TIE S X 1-1/4" @ 4" PANEL EDGE FASTENERS (12" FIELD WALLING). BLOCK ALL PANEL EDGES.	P.1. 2X WITH 1/2" A307 ANCHORS @ 6'-0"	16d COMMONS @ 6"
4	860 PLF / 1200 PLF	15/32" APA-RATED STRUCTURAL I SHEATHING ON 4X STUDS @ 16" BOTH SIDES OF WALL	8d COMMONS @ 4" PANEL EDGE WALLING (12" FIELD WALLING). BLOCK ALL PANEL EDGES.	P.1. 3X WITH (2) 1/2" A307 ANCHORS @ EA PILLAR	16d COMMONS @ 2"

REGISTERED PROFESSIONAL ENGINEER  
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 5448096  
 OREGON  
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EXP. 12/31/19

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